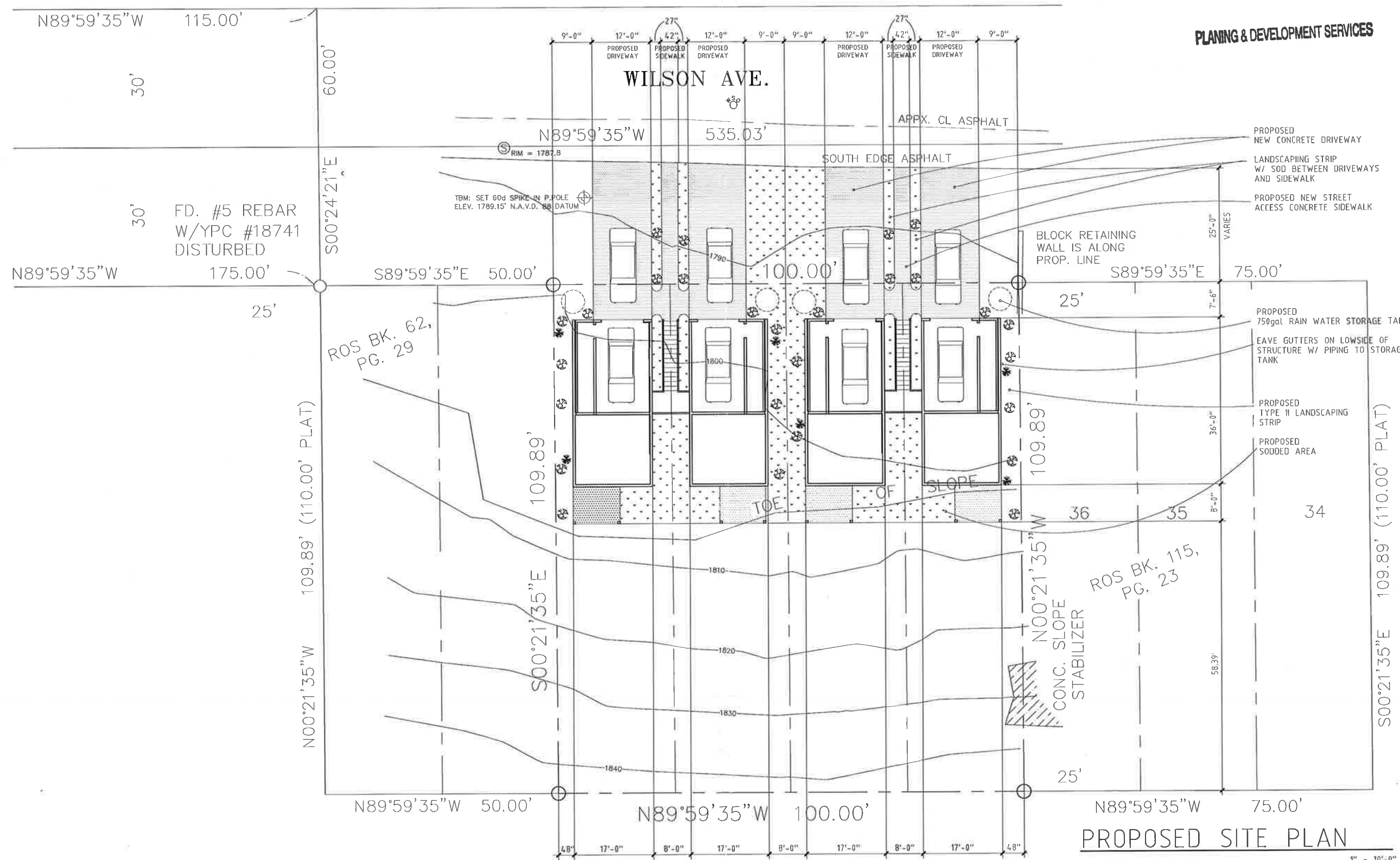


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THESE PLANS WERE NOT PREPARED OR REVIEWED BY A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER IN THE STATE OF VIRGINIA. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL DETAILS, DIMENSIONS AND OVERLAPPING COORDINATES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL DETAILS, DIMENSIONS AND OVERLAPPING COORDINATES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL DETAILS, DIMENSIONS AND OVERLAPPING COORDINATES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL DETAILS, DIMENSIONS AND OVERLAPPING COORDINATES.

**INDEPENDENT HOME DESIGNS INC.**

INDEPENDENT HOME DESIGNS, INC. ENGINEERING AND ARCHITECTURE  
 ENGINEERING BASED ON GOVERNING AND LOCAL CODES. THE ENGINEERING AND ARCHITECTURE IS BASED ON THE INFORMATION PROVIDED AND/OR ALTHOUGH ARE THE SOLE PROPERTY OF INDEPENDENT HOME DESIGNS, INC. AND MAY BE USED IN ANY MANNER BY INDEPENDENT HOME DESIGNS, INC.

PROPOSED SITE PLAN	
R.H. BOB COOKE	
DATE JULY 2015	
SCALE 1" = 10'-0"	
1	OF 51 SHEETS

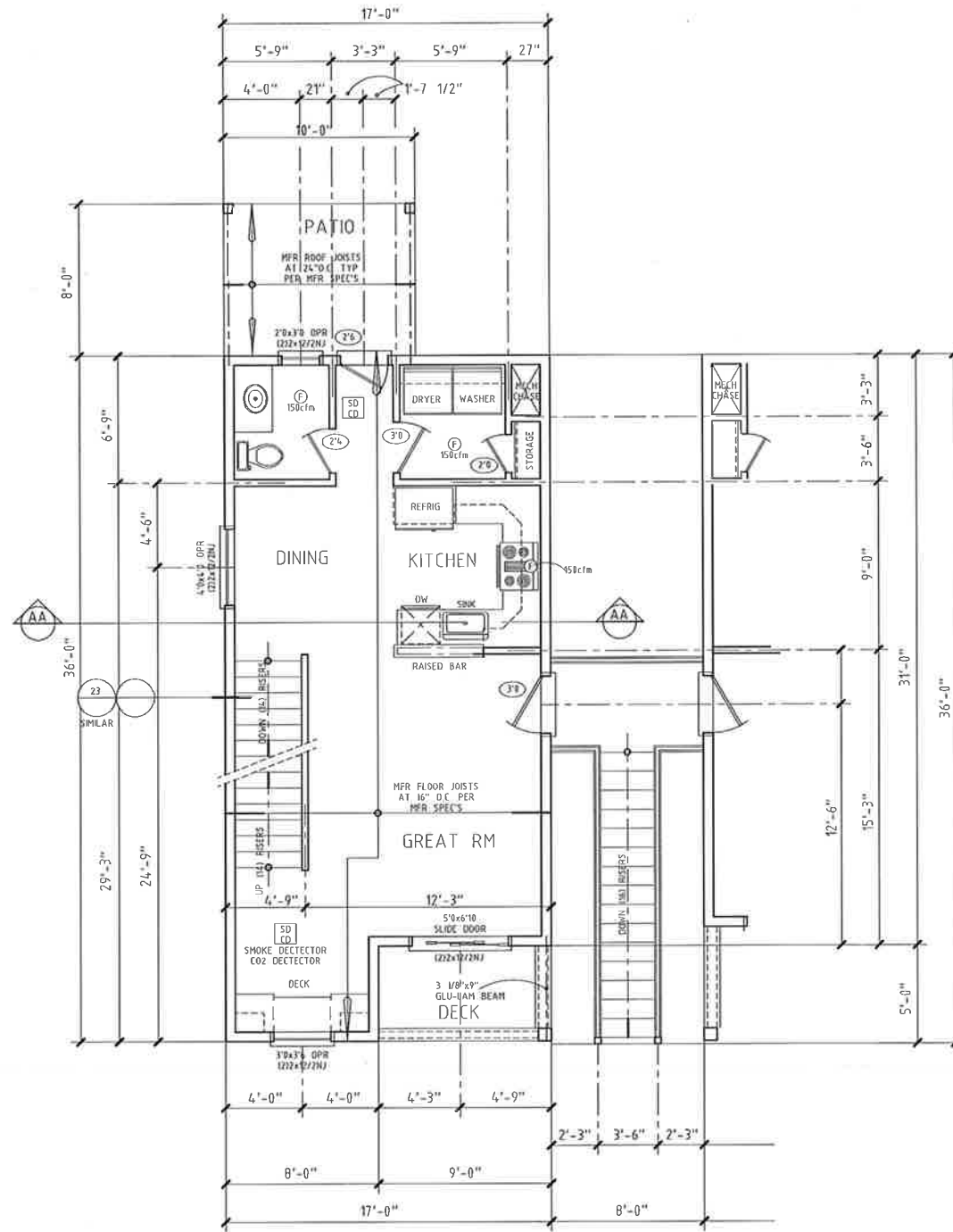
PROPOSED SITE PLAN

1" = 10'-0"

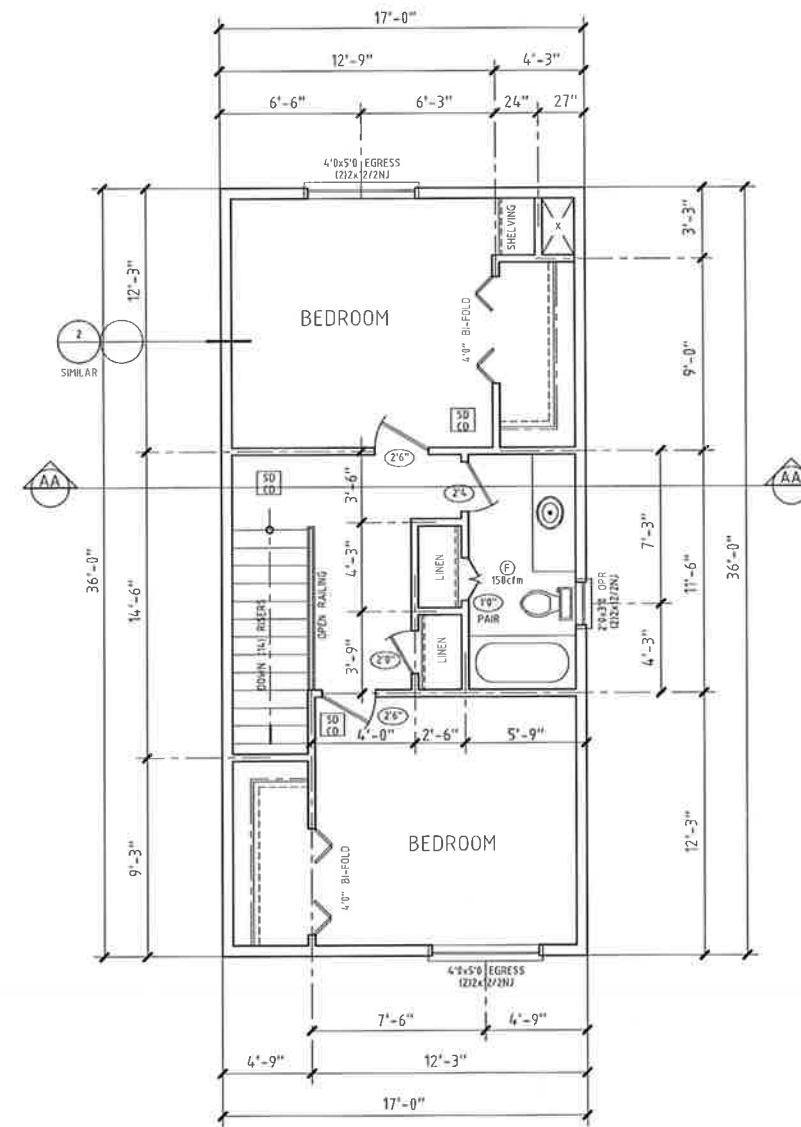
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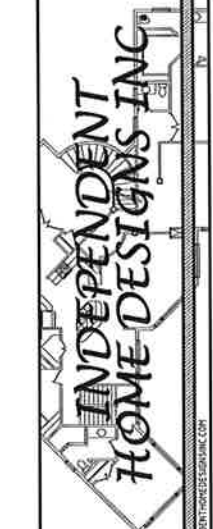


567 S.F. MAIN FLOOR



612 S.F. SECOND FLOOR

THESE PLANS WERE NOT PREPARED OR REVIEWED BY A LICENSED ARCHITECT OR ENGINEER. HOWEVER, THESE PLANS HAVE BEEN PREPARED TO PROFESSIONAL STANDARDS AND ACCURACY OF THESE PLANS, THIS, PRIOR TO CONSTRUCTION THE BUILDER, OWNER OR SAID PURCHASER OF PLANS MUST OBTAIN AN INDEPENDENT PROFESSIONAL VERIFICATION OF ALL STRUCTURAL MEMBERS BY LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. INDEPENDENT HOME DESIGNS, INC. WILL NOT BE HELD RESPONSIBLE TO CORRECT ANY OF THE ABOVE WILL RELEASE INDEPENDENT HOME DESIGNS, INC. ON ANY AND ALL LIABILITIES.



INDEPENDENT HOME DESIGNS, INC. WORKING DOCUMENTS MAY REQUIRE SPECIFIC ENGINEERING AND/OR ARCHITECTURAL AND LOCAL CODES. THE ENGINEER'S RESPONSIBILITY OF THE CLIENT AND/OR CONTRACTOR. ALL WORKING DOCUMENTS SOLD, PRODUCED AND/OR ALTERED ARE THE SOLE PROPERTY OF INDEPENDENT HOME DESIGNS, INC. AND MAY BE USED IN ANY MANNER BY INDEPENDENT HOME DESIGNS, INC.  
 233 E. PATIOLA, SPOKANE, WA 99202 | 803-454-3578 | FAX 803-454-3773 | WWW.INDEPENDENTHOMEDSIGNS.COM

DATE
SCALE
OF SHEETS

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NOTES:

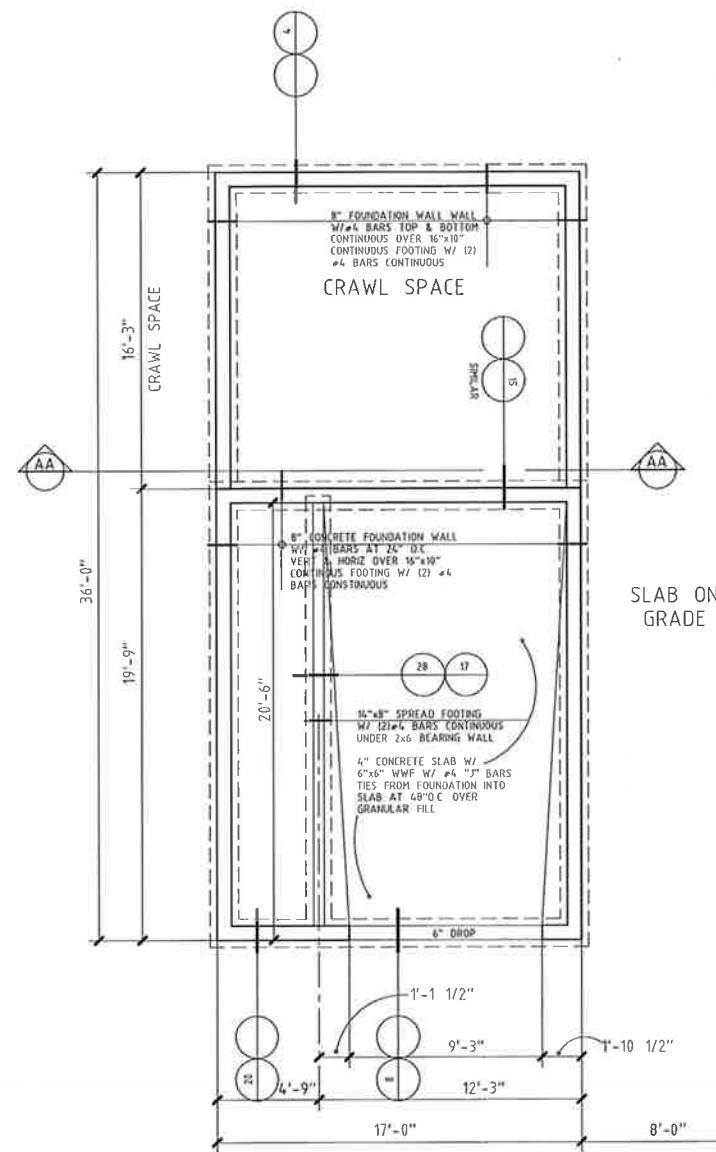
- THIS RESIDENCE SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2012 FOR ONE AND TWO FAMILY DWELLING.
- CLIENT AND/OR CONTRACTOR SHALL VERIFY THE FOLLOWING PRIOR TO SUBMITTING FOR BUILDING PERMITS:
- VERIFICATION OF SOIL TYPES I.E. GEOTECH ANALYSIS, DRAIN FIELD PERK TEST INFORMATION, OR DEVELOPMENT SITE INFORMATION, SOIL TYPES REQUIRED TO VERIFY FOUNDATION WALL SIZE AND REINFORCEMENT (I.E. REBAR SIZE AND SPACING) AND FOOTING SIZE.
  - FLOOR JOISTS LAYOUT AND/OR ENGINEERING FROM FLOOR JOISTS MANUFACTURER.
  - ROOF TRUSS LAYOUT AND/OR ENGINEERING FROM ROOF TRUSS MANUFACTURER.
  - FOUNDATION AND WATERPROOFING AND DAMPPROOFING REFER TO SPECIFICATION SHEET SECTION R4.06.
  - WINDOWS TO BE INSTALLED, FLASHED AND SEALED PER MANUFACTURER'S SPECIFICATIONS.
  - OWNER AND/OR CONTRACTOR SHALL REVIEW ALL WORKING DOCUMENTS, DETAIL AND SPECIFICATION SHEETS PRIOR TO CONSTRUCTION.
  - ALL CONSTRUCTION SHALL BE IN FULL COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2012 FOR ONE AND TWO FAMILY DWELLINGS.
  - INTERNATIONAL RESIDENTIAL CODE 2012 IS A STAND-ALONE CODE. WASHINGTON STATE WILL CONTINUE TO FOLLOW:
    - UNIFORM PLUMBING CODE (UPC) GOVERNING EDITION
    - STATE ELECTRICAL CODE (NEC) AS ADOPTED BY THE STATE LMA AND LOCAL GOVERNING CITIES
    - STATE ENERGY CODE (WSEC GOVERNS)
    - STATE VIA
  - ALL WORKING DOCUMENTS PRODUCED, ALTERED AND/OR SOLD BY INDEPENDENT HOME DESIGNS, INC. ARE THE SOLE PROPERTY OF INDEPENDENT HOME DESIGNS, INC. THESE WORKING DOCUMENTS CAN BE USED IN ANY MANNER BY INDEPENDENT HOME DESIGNS, INC.
  - INDEPENDENT HOME DESIGNS, INC. WORKING DOCUMENTS MAY REQUIRE SPECIAL ENGINEERING BASED ON THE REQUIREMENTS OF INTERNATIONAL RESIDENTIAL CODE 2012. THESE ENGINEERING FEES ARE THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.
  - OWNER AND/OR CONTRACTOR SHALL VERIFY ALL AREA COVENANTS OR RESTRICTIONS, SITE CONDITIONS, BUILDING SETBACKS, EASEMENTS, ETC. PRIOR TO CONSTRUCTION.
  - CONTRACTOR, SUBCONTRACTOR AND/OR OWNER SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE GIVEN PROJECT. INDEPENDENT HOME DESIGNS, INC. MUST BE NOTIFIED OF ANY DISCREPANCIES OF DIMENSIONS ON WORKING DOCUMENTS PRIOR TO CONSTRUCTION.
  - INDEPENDENT HOME DESIGNS, INC. BEARS NO LIABILITIES FOR ANY ALTERATIONS TO WORKING DRAWINGS OR CHANGES ON SITE WITHOUT PRIOR WRITTEN NOTIFICATION AND AUTHORIZATION.

NOTE

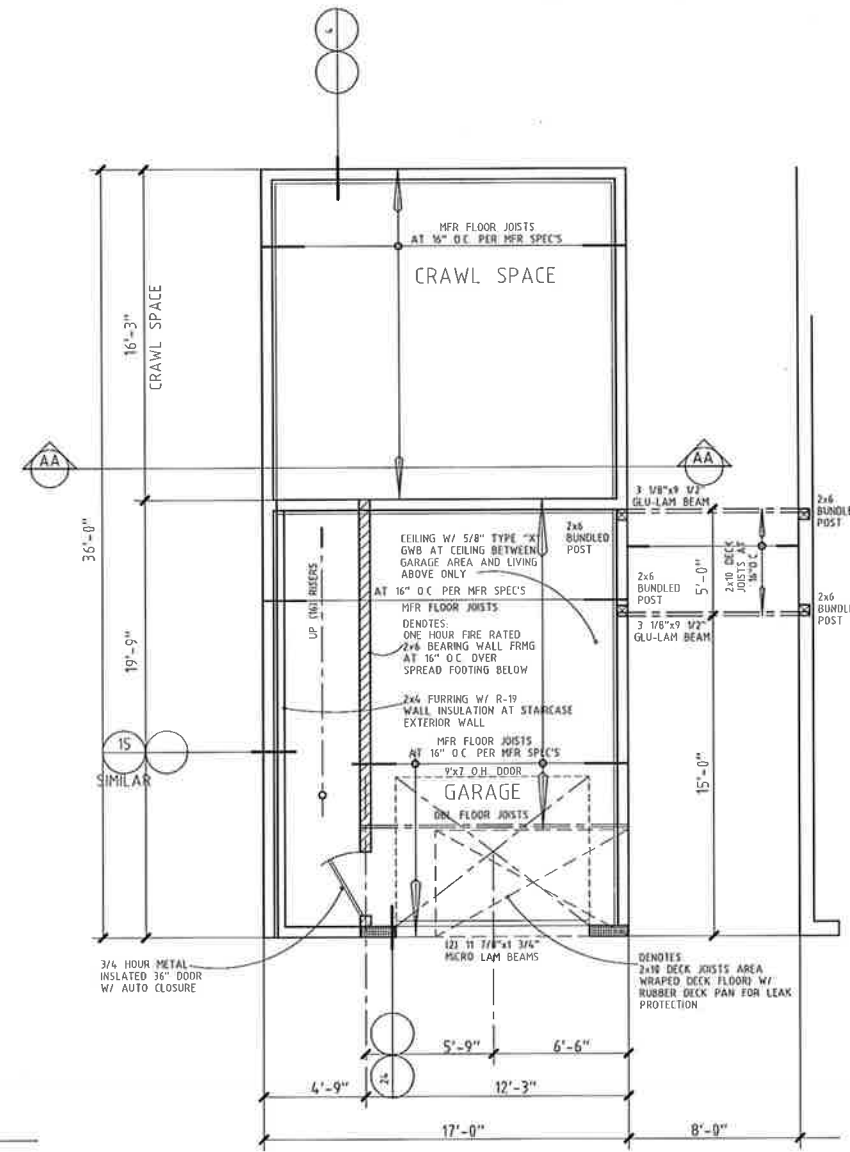
THIS RESIDENCE SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2012 FOR ONE AND TWO FAMILY DWELLING. THIS RESIDENCE SHALL MEET WASHINGTON STATE ENERGY CODE, RESIDENTIAL PROVISIONS WHERE APPLICABLE. THIS RESIDENCE SHALL MEET WASHINGTON STATE ENERGY CODE, RESIDENTIAL PROVISIONS WHERE APPLICABLE.

THE CLIENT UNDERSTANDS THAT THE LISTED CODES ARE SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. INDEPENDENT HOME DESIGNS, INC. WILL USE PROFESSIONAL EFFORTS AND JUDGEMENT TO INTERPRET APPLICABLE REQUIREMENTS OF THE LISTED CODES AND OTHER FEDERAL, STATE, AND LOCAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS AS THEY APPLY TO THE PROJECT. INDEPENDENT HOME DESIGNS, INC. HOWEVER, CANNOT AND DOES NOT REPRESENT OR GUARANTEE THAT THE PROJECT WILL COMPLY WITH ALL INTERPRETATIONS OF THE LISTED CODES AND/OR THE REQUIREMENTS OF OTHER FEDERAL, STATE AND LOCAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS AS THEY APPLY TO THE PROJECT.

THE FOLLOWING NOTES AND DETAILS DO NOT REFLECT ALL INTERNATIONAL RESIDENTIAL CODES OR LOCAL BUILDING CODES. PLEASE REFER TO YOUR LOCAL BUILDING DEPARTMENT FOR YOUR LOCAL BUILDING CODES AND TO THE INTERNATIONAL RESIDENTIAL CODES 2012 FOR COMPLETE BUILDING REQUIREMENTS.



FOUNDATION PLAN



LOWER FLOOR PLAN

THESE PLANS ARE NOT PREPARED OR REVIEWED BY A LICENSED ARCHITECT OR ENGINEER. HOWEVER, THESE PLANS HAVE BEEN PREPARED TO PROFESSIONAL INDUSTRY STANDARDS AND IRC CODES. THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION. THE BUILDER, OWNER OR SAID PURCHASER OF PLANS MUST VERIFY ALL DETAILS, DIMENSIONS AND GOVERNING CODES. ALL STRUCTURAL MEMBERS BY LICENSED PROFESSIONAL AND/OR MANUFACTURE PRIOR TO CONSTRUCTION. INDEPENDENT HOME DESIGNS, INC. RELEASES INDEPENDENT HOME DESIGNS, INC. ON ANY AND ALL LIABILITIES.

**INDEPENDENT HOME DESIGNS, INC.**

INDEPENDENT HOME DESIGNS, INC. WORKING DOCUMENTS MAY REQUIRE SPECIFIC ENGINEERING BASED ON GOVERNING AND LOCAL CODES. THE ENGINEERING AND ENGINEERING FEE REQUIRED FOR THE WORKING DOCUMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE CLIENT. ALL WORKING DOCUMENTS SOLD, PROVIDED AND/OR ALTERED ARE THE SOLE PROPERTY OF INDEPENDENT HOME DESIGNS, INC. AND MAY BE USED IN ANY MANNER BY INDEPENDENT HOME DESIGNS, INC.

232 E. PACIFIC, SPokane, WA 99202 509-455-5778 FAX 509-455-5773 WWW.INDEPENDENTHOMEDSIGNS.COM

DATE
SCALE
OF SHEETS

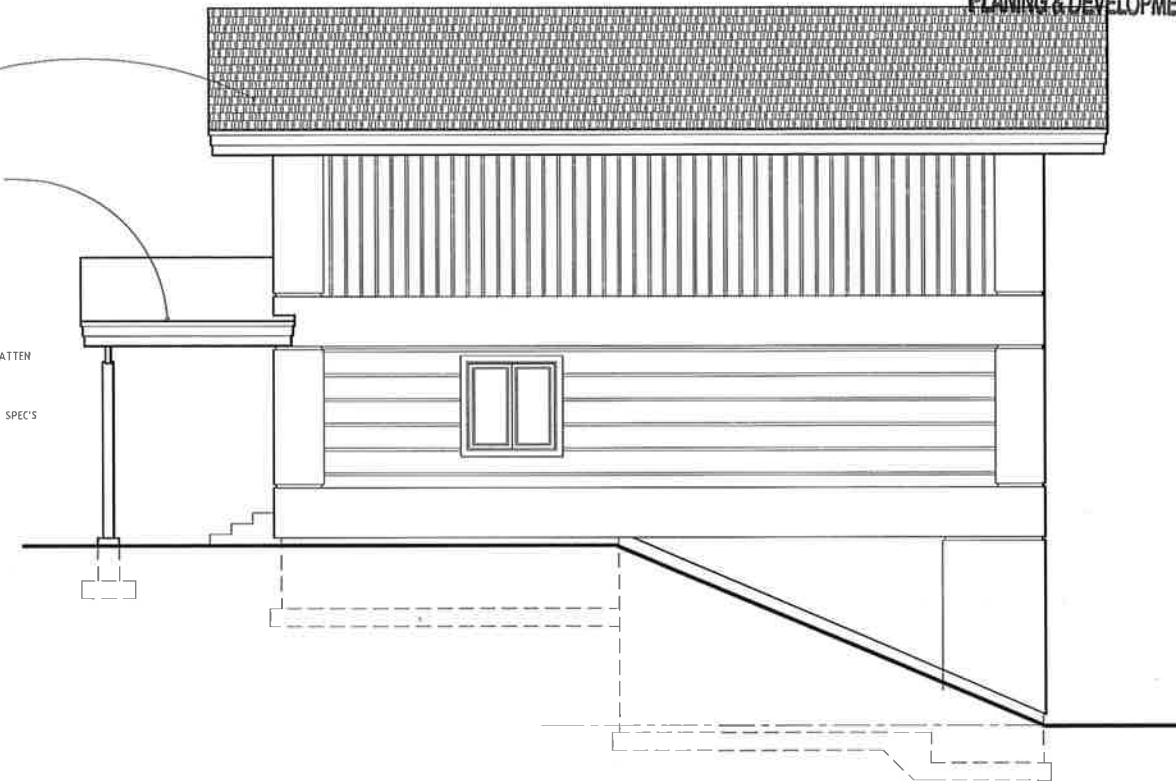
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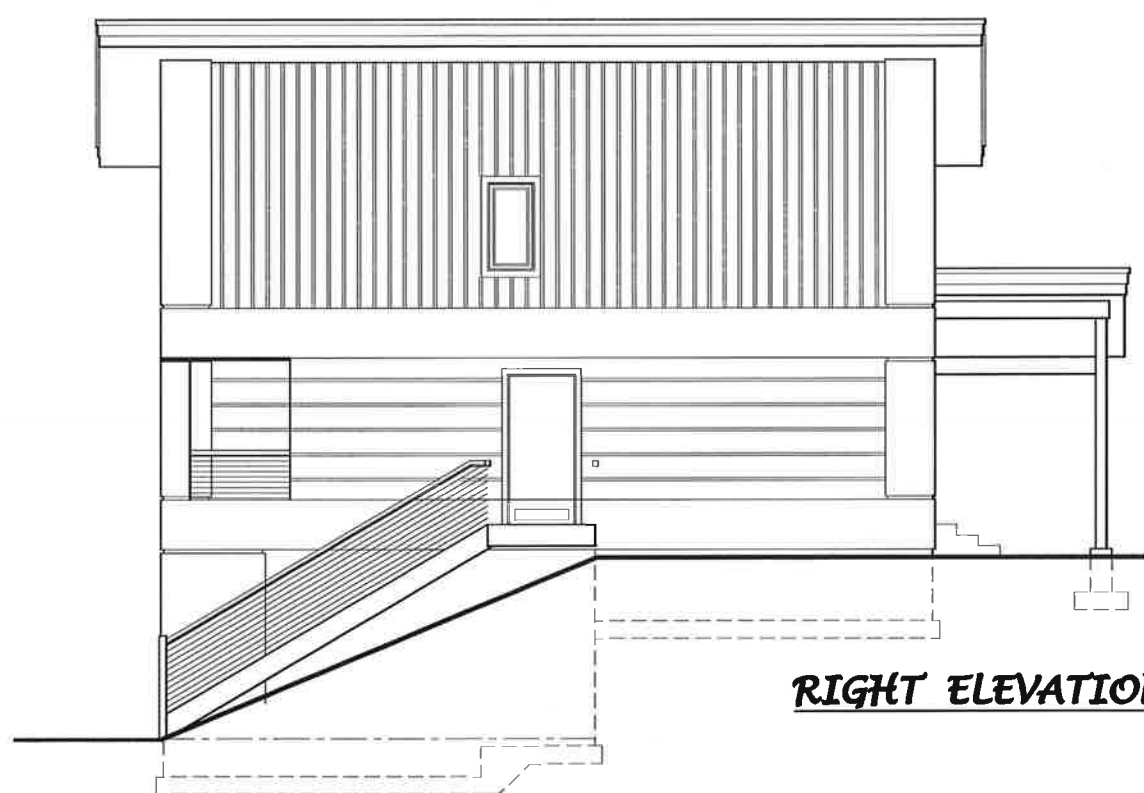
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FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

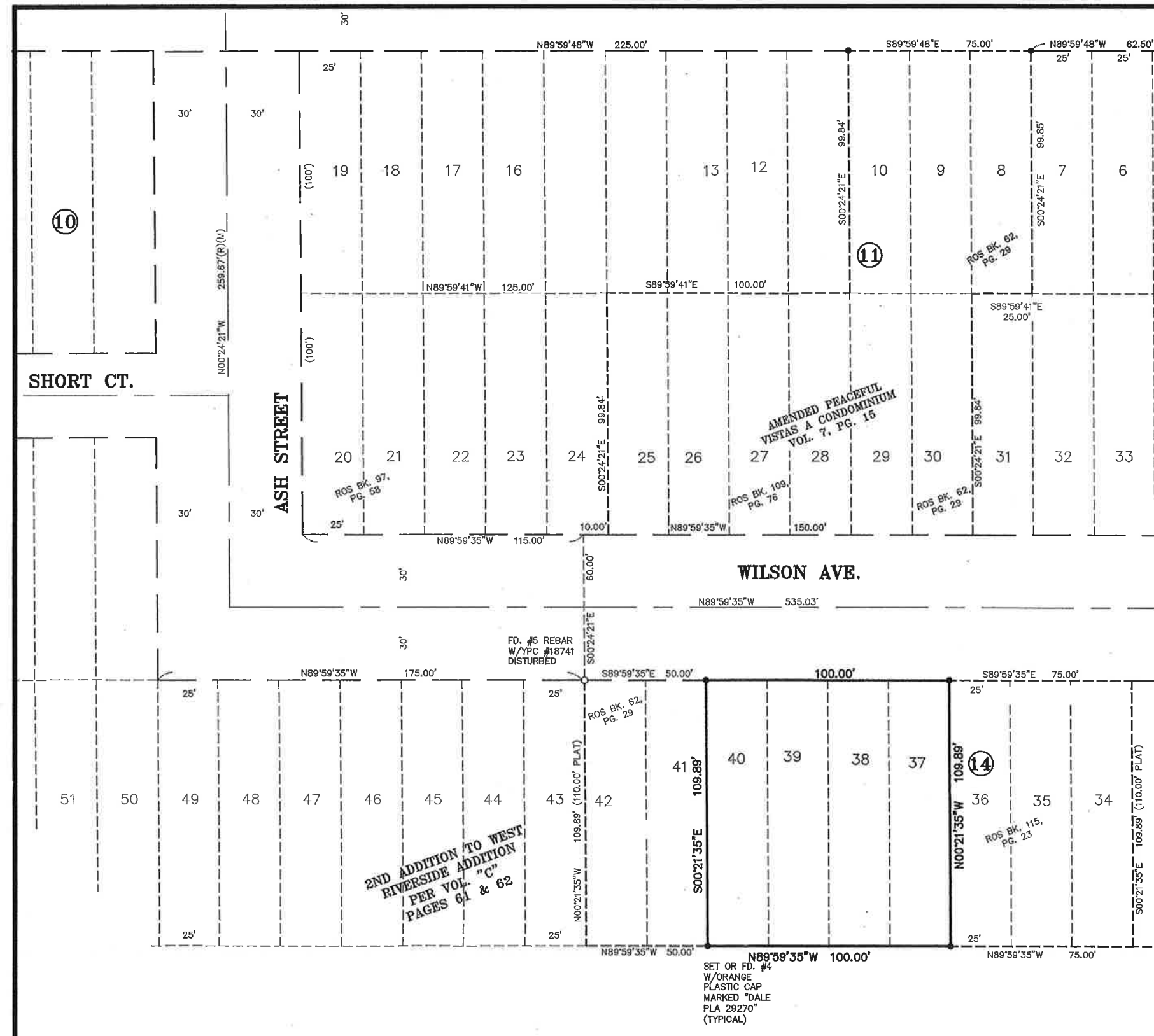
THESE PLANS MUST BE APPROVED AS SUBMITTED BY A LICENSED ARCHITECT OR ENGINEER-PROFESSOR. THESE PLANS HAVE BEEN PREPARED TO PROFESSIONAL INDUSTRY STANDARDS AND I/C CODE. EVERY EFFORT HAS BEEN MADE FOR THE ACCURACY OF THESE PLANS. HOWEVER, THE ARCHITECT OR ENGINEER-PROFESSOR DOES NOT VERIFY ALL DETAILS, DIMENSIONS AND GOVERNING CODES. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED PROFESSIONALLY AND/OR MANUFACTURED PRIOR TO CONSTRUCTION. NO RELEASE OF LIABILITY FOR INDEPENDENT HOME DESIGN, INC. OR ANY OF ITS EMPLOYEES.

**INDEPENDENT HOME DESIGNS, INC.**

INDEPENDENT HOME DESIGNS, INC. WORKING DOCUMENTS MAY REQUIRE SPECIFIC ENGINEERING BASED ON GOVERNING AND LOCAL CODES. THE ENGINEERING AND ARCHITECTURAL DESIGNER'S RESPONSIBILITY IS TO VERIFY THE ACCURACY OF ALL WORKING DOCUMENTS SOLD, PROVIDED AND/OR ALTERED ARE THE SOLE PROPERTY OF INDEPENDENT HOME DESIGNS, INC. AND MAY BE USED IN ANY MANNER BY ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF INDEPENDENT HOME DESIGNS, INC.

315 E. PACIFIC, SPOKANE, WA 99202 (509) 325-3538 FAX (509) 325-6073 WWW.INDEPENDENTHOMEDSIGNS.COM

DATE	
SCALE	
OF SHEETS	



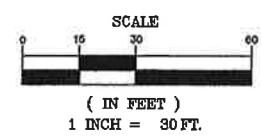
**AUDITOR'S CERTIFICATE:**  
 FILED FOR RECORD THIS 11<sup>TH</sup> DAY OF MARCH,  
 2015 AT 11:15 AM. IN BOOK 153 OF SPokane AT PAGE 12.  
 AT THE REQUEST OF Bob Cooke

*Bob Cooke*  
 SPOKANE COUNTY AUDITOR DEPUTY

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**LEGAL DESCRIPTION:**  
 Provided by Client

Lots 37, 38, 39 and 40 in Block 14 of SECOND ADDITION TO WEST RIVERSIDE ADDITION, as per plat thereof recorded in Volume "C" of Plats, Page 61; Situate in the City and County of Spokane, State of Washington.

**SURVEYOR'S NOTE:**

PLEASE REFER TO THE FOLLOWING SURVEY REFERENCES FOR ADDITIONAL CONTROL INFORMATION FOR THIS SURVEY: BASIS OF BEARING IS FROM PRIOR SURVEY CONTROL.

- 1) AMENDED PEACEFUL VISTAS A CONDOMINIUM, VOL. 7, PGS. 15-18A
- 2) ROS BK. 62, PG. 92
- 3) ROS BK. 97, PG. 58
- 4) ROS BK. 109, PG. 76
- 5) ROS BK. 113, PG. 8
- 6) ROS BK. 115, PG. 23

**SURVEYOR'S CERTIFICATE:**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF BOB COOKE IN DECEMBER

*Walter O. Dale*  
 WALTER O. DALE, P.L.S. #29270



PRINT DATE: 12-22-14 **12-22-14**

BOUNDARY SURVEY		
<b>COOKE PROPERTY</b>		
CITY AND COUNTY OF SPOKANE, WASHINGTON		
SE 1/4 SE 1/4 S.13, T.25 N., R.42 E., W.M.		
F. BK. #	2014	DRWN BY: WD
DWG NAME:	1444COOK	
SHEET	1 OF 1	DATE: 12-22-14
JOB NO.:	14-44	

**BENTHIN & ASSOCIATES**  
 PROFESSIONAL LAND SURVEYING AND PLANNING  
 1004 N. ATLANTIC AVENUE • SPOKANE, WA 99201  
 (509) 325-4329 • (FAX) 325-4520

**SURVEY DISCLAIMER:**

THE PROFESSIONAL SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR LIENS, LEASES, RECORDED OR UNRECORDED EASEMENTS, RESTRICTIVE COVENANTS, SURFACE OR SUBSURFACE RIGHTS, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

**PROCEDURES & EQUIPMENT:**

SURVEY PERFORMED WITH TOPCON GPT-3003LW TOTAL STATION, AND COMPLIES WITH RCW 58.09 AND WAC 332-130-090.  
 PURPOSE OF SURVEY TO ESTABLISH PROPERTY BOUNDARY AND SET CORNERS.

2ND ADDITION TO WEST RIVERSIDE ADDITION PER VOL. "C" PAGES 61 & 62

SET OR FD. #4 W/ORANGE PLASTIC CAP MARKED "DALE PLA 29270" (TYPICAL)

FD. #5 REBAR W/YPC #18741 DISTURBED



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