

SEPA ENVIRONMENTAL CHECKLIST

Purpose of checklist:

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Instructions for Lead Agencies:

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

Use of checklist for nonproject proposals:

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

A. Background

1. Name of proposed project, if applicable: Verizon SPO Shadle Park
2. Name of applicant: Rick Cardoza for Verizon

3. Address and phone number of applicant and contact person: LDC, Inc., 1851 Central Place S., # 101, Kent, WA 98030 Cell # 253-218-9017

4. Date checklist prepared: 12/13/19

5. Agency requesting checklist: City of Spokane

6. Proposed timing or schedule (including phasing, if applicable): Fall 2020

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

Nothing planned however minor modification to wireless equipment is likely in near term after project completion with updates to wireless technology as they emerge.

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

No technical reports have been prepared at present; however, Verizon is on the rooftop of the building at the subject property and has equipment in the basement where Verizon has been located for several years and conforms with all applicable federal, state and local ordinances.

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

Currently no other applications have been filed.

10. List any government approvals or permits that will be needed for your proposal, if known.

City of Spokane CUP, Building Permit, and Electrical Permits
FAA and NEPA Clearance

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page.

Verizon proposes to install a tower on the property at the rear of the building where Verizon has antennas. The proposal is to locate a faux tree referred to as a monopine that is a monopole that is designed to appear to be a Pine tree. The proposal includes the relocation of Verizon's existing rooftop equipment consisting of panel antennas, Remote Radio Units (RRUs) and ancillary equipment from the rooftop to the proposed Monopine.

The project will require ground disturbance for the construction of the tower foundation, route of cables underground from the pole to the equipment in the basement, and for the installation of a fence at the perimeter of the monopine in order to secure the proposed facility.

Verizon proposes panel antennas at three different heights on the tower and to conceal them in profile within faux tree branches.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

The Site address is 1620 W. Wellesley Ave., Spokane WA 99205

The Legal Description is Plats of the City of Spokane - Mt Pleasant, Lot 13, Block 14

The site is located at the NE Corner of the Intersection of W Wellesley Ave and N Ash Street in the Shadle Park Community.

B. Environmental Elements

1. Earth

a. General description of the site: Flat

(circle one): Flat, rolling, hilly, steep slopes, mountainous, other _____

b. What is the steepest slope on the site (approximate percent slope)?

0 – 3 % sloping toward Ash Street.

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

To be determined. Gravely type sols are anticipated however a Geotechnical Report is pending.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

None Noted

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill. Approximately 144 square feet of space (up to an approximate 12' x 12' footprint) will require excavation for the construction of a tower foundation that needs to be engineered for the proposed monopole. The foundation will require rebar and concrete pier type construction for which the exact depth is to be determine. There is typically a concrete slab at the final grade approximately 6' by 6' is size.

The routing of underground cables (3) in conduits from the base of the tower to the building where Verizon has electronic equipment will require an approximate length of 20', width of 2', and depth of 3 ft. for trenching. Backfill material will be clean fill compacted using Best Practices and the existing surface returned to like or better condition.

- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

No erosion is anticipated during construction due to the flat location of the proposed Monopine location and the current use of the area as a driveway that is covered with asphalt therefore compacted and currently an impervious surface. Best Practices will be employed for Temporary Erosion and Sediment Control (TESC) which will be provided as Plans Sheets and Details in the Construction Plans for review by the City of Spokane when Building Permit Plans prepared.

- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

No changes to site are anticipated due to the return of the areas of ground disturbance to impervious surfaced as in their current condition.

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Dry weather construction for the tower foundation and cable trenching is preferred. Best Practices regarding handling of spoils to be employed per TESC and City requirements.

2. Air

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

There will be exhaust from construction equipment associated with typical construction projects including excavators, front end loaders, concrete trucks and lifts, as well as worker and maintenance vehicles, only during the construction phase of the project.

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

There are no odors beside exhaust from equipment anticipated.

- c. Proposed measures to reduce or control emissions or other impacts to air, if any:

Work to be performed during daylight hours on normal workdays.

3. Water

- a. Surface Water:

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

None.

- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

No.

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

None.

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. No.

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No.

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No.

b. Ground Water:

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

No.

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

None.

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

None.

2) Could waste materials enter ground or surface waters? If so, generally describe.

No.

3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

No.

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

None

4. Plants

a. Check the types of vegetation found on the site: Existing Pine Tree at rear of Building.

deciduous tree: alder, maple, aspen, other

evergreen tree: fir, cedar, pine, other

shrubs

grass

pasture

crop or grain

Orchards, vineyards or other permanent crops.

wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other

water plants: water lily, eelgrass, milfoil, other

other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

None.

c. List threatened and endangered species known to be on or near the site.

None.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

None proposed.

e. List all noxious weeds and invasive species known to be on or near the site.

None.

5. Animals

- a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site.

Examples include: Songbirds.

birds: hawk, heron, eagle, songbirds, other:

mammals: deer, bear, elk, beaver, other:

fish: bass, salmon, trout, herring, shellfish, other _____

- b. List any threatened and endangered species known to be on or near the site.

None.

- c. Is the site part of a migration route? If so, explain.

None.

- d. Proposed measures to preserve or enhance wildlife, if any:

None.

- e. List any invasive animal species known to be on or near the site.

None.

6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

No change.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

None.

- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

None.

7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

None.

- 1) Describe any known or possible contamination at the site from present or past uses.

None noted or proposed.

- 2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

None noted or identified per underground line locates of project area.

- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

None.

- 4) Describe special emergency services that might be required.

None.

- 5) Proposed measures to reduce or control environmental health hazards, if any:

None.

b. Noise

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

None that will affect project. Site is Commercial Area with General Office Use at site and other office use on adjacent property to East. The site is in a high traffic area due to site location near the intersection of two major arterials.

- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

There will be noise from construction equipment associated with typical construction projects including excavators, front end loaders, concrete trucks and lifts, as well as worker and maintenance vehicle only during the construction phase of the project.

- 3) Proposed measures to reduce or control noise impacts, if any:

Work to be performed during daylight hours on normal workdays.

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

Site is zoned General Office. Site and adjacent property to East are General Office uses. There are Retail Uses to the West of Site. There are some Office Uses to the South with Shadle Park HS and other City Governmental uses to SW. A Church is located on adjacent property to the North. There are Single Family Residential Uses in most areas away from the described Commercial and Public Service Use areas.

- c. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or non-forest use?

No.

- 1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

No.

- d. Describe any structures on the site.

Office Building.

- e. Will any structures be demolished? If so, what?

No.

- f. What is the current zoning classification of the site?

General Office.

- g. What is the current comprehensive plan designation of the site?

Office.

- h. If applicable, what is the current shoreline master program designation of the site?

None.

- h. Has any part of the site been classified as a critical area by the city or county? If so, specify.

None noted

- i. Approximately how many people would reside or work in the completed project?

None.

- j. Approximately how many people would the completed project displace?

None.

k. Proposed measures to avoid or reduce displacement impacts, if any:

None.

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The proposed use of a faux Pine tree to be located next to existing Pine tree is intended to disguise the tower from nearby Residential Uses and properties and fit within the scene scape where other trees are currently located in the general area.

m. Proposed measures to reduce or control impacts to agricultural and forest lands of long-term commercial significance, if any:

None.

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

None.

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None.

c. Proposed measures to reduce or control housing impacts, if any:

None.

10. Aesthetics

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

The proposed height of the Monopine is 70' due to the need to provide taper of faux tree to replicate taper of a real evergreen trees. A 70' tall Monopine is required to net the height of antenna tips to less than 60', as needed for Line of Site required to provide adequate levels and effective wireless services to the area.

b. What views in the immediate vicinity would be altered or obstructed?

None. The proposed location next to tall Pine tree and church Steeple will serve to integrate the proposed Monopine at most vantage points, to blend in with existing vertical structures and nearby trees in area. Photo simulations have been prepared and submitted.

- i. Proposed measures to reduce or control aesthetic impacts, if any:

The use of a faux tree as described will reduce aesthetic impacts. Proposed location in Commercial area and on commercial type property behind building with other vertical structures in locate will disguise use. In addition, unscreened Verizon antennas on roof will be removed to then be concealed which will reduce existing visual impacts of site, if any.

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

None, proposed use is continuous.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

No.

- c. What existing off-site sources of light or glare may affect your proposal?

None.

- d. Proposed measures to reduce or control light and glare impacts, if any:

Use of no glaring materials and painting of antennas to avoid glare or reflection of daylight.

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

Shadle Park HS ballfields and City Water Park located at least ¼ mile to SW will not be affected.

- b. Would the proposed project displace any existing recreational uses? If so, describe.

None.

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

None.

13. Historic and cultural preservation

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers? If so, specifically describe.

None noted.

- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts,

or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

None noted.

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

Verizon to comply with NEPA regarding FCC requirements for proposed tower including Historic and Cultural Preservation.

- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

Use of Faux Tree to minimize impacts on affected properties.

14. Transportation

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

The site is located at the NE Corner of the Intersection of W Wellesley Ave and N Ash Street in the Shadle Park Community.

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

There are several Public Transit uses along W Wellesley Ave and N Ash Street. There are three Spokane Transit Stops in immediate area of Wellesley and Ash. There is a Transit Stop at Maple and Wellesley - 1 block to East, and two Transit Stops at Wellesley and Canyon - 3 blocks to West.

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

None.

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

None.

- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No.

- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would

be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates?

There will be approximately 1 to 2 trips to the site by Verizon employees after the construction phase of the project which is the current trip log for routine maintenance by Verizon employees to site currently – therefore no increase will occur.

g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

None.

h. Proposed measures to reduce or control transportation impacts, if any:

None.

15. Public Services

a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.

No.

b. Proposed measures to reduce or control direct impacts on public services, if any.

None.

16. Utilities

a. Circle utilities currently available at the site: All except septic since City Sewer available. electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other _____

j. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

None, all required are existing and will not be affected.

C. Signature

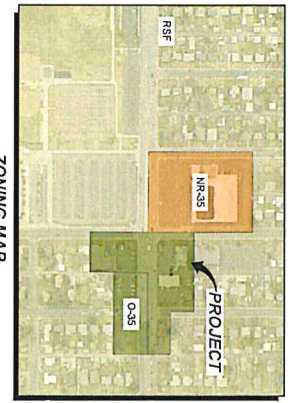
The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: _____

Name of signee: Richard B. Cardoza

Position and Agency/Organization: Senior Project Manager for LDC. Inc., for Verizon

Date Submitted: 12/27/19



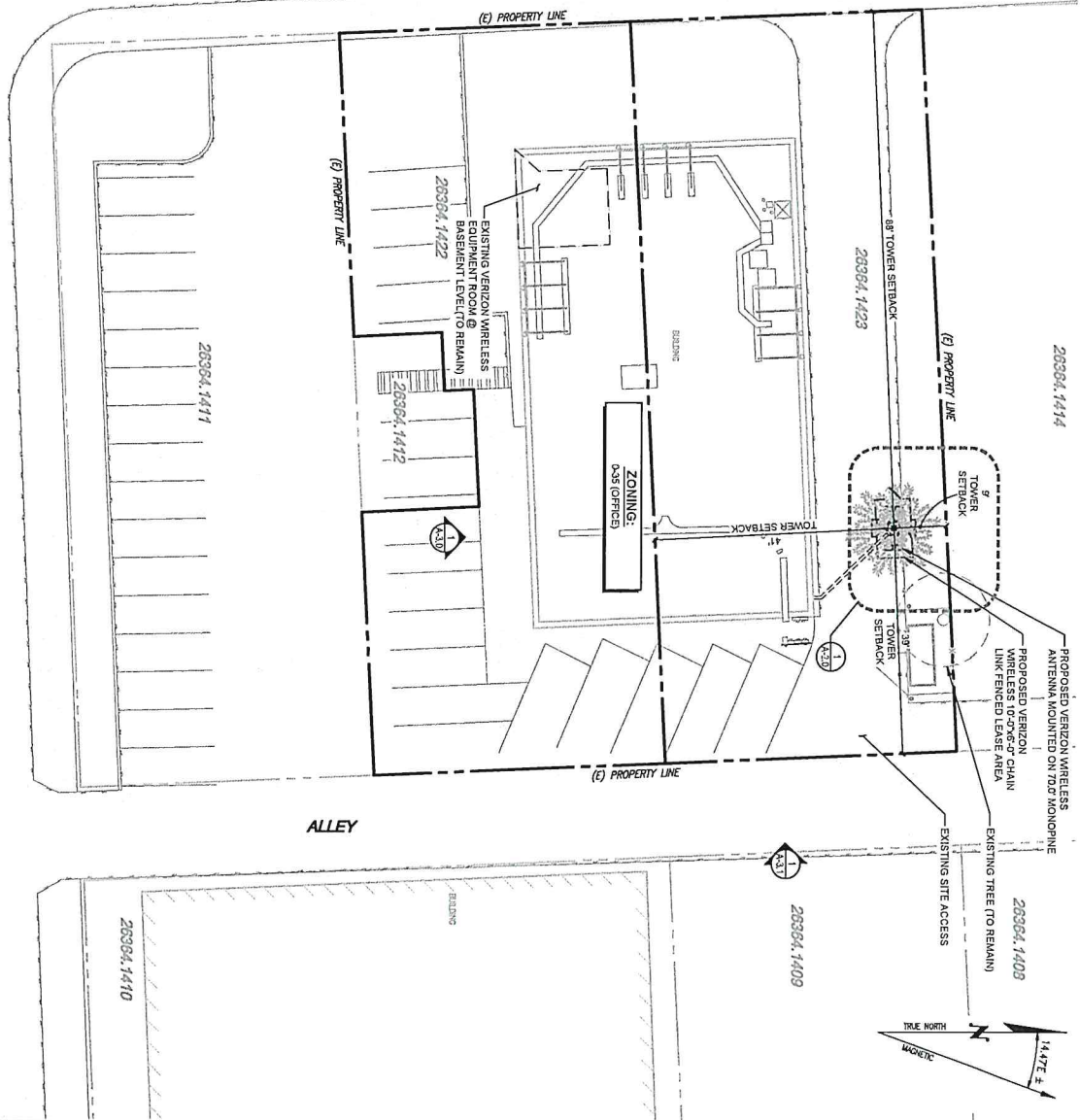
ZONING MAP
NOT TO SCALE

PROPOSED QUANTITIES	
POWER LENGTH:	TBD
UNDERGROUND:	TBD
OVERHEAD:	TBD
FIBER/CO LENGTH:	TBD
ROAD LENGTH:	TBD

34,7309

NASH ST

W WELLESLEY AVE



28384 SCALE: 1" = 10'
11'x17" SCALE: 1" = 20'

SITE PLAN

1



LDC Telecommunications Engineering & Planning

11701 Park Lane
Suite 300
Springdale, VA 22124
Tel: 540.428.0000
Fax: 540.428.0001
www.ldcgroup.com

DATE: 10-25-18
DRAWN BY: ENS
CHECKED BY: RBH

SUBMITTALS		
REV	DATE	DESCRIPTION
1	10/25/18	PRELIMINARY
2	11/07/18	FINAL (CON)
3		EN

APPROVAL STAMP

Richard L. Decker
RICHARD L. DECKER
REGISTERED PROFESSIONAL ENGINEER
No. 60490
EXPIRES 6-30-21

SITE

119-603
SFO SHADE PARK
1620 W WELLESLEY AVE
SPRINGDALE, VA 22124

SHEET NUMBER

A-1.0