

SPO NEVADA

1409 E. WELLESLEY AVE
SPOKANE, WA 99207



PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

OWNER: SPOKANE NEVADA, 1409 E. WELLESLEY AVE, SPOKANE, WA 99207. PROJECT: VERIZON WIRELESS COMMUNICATIONS FACILITY. DRAWING: COVER SHEET. DATE: 07/15/17. SCALE: AS SHOWN. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SPOKANE NEVADA.

No.	Date	Revision
A	08/07/17	10% P2D REVIEW SET
B	3/26/2017	15% P2D REVIEW SET
C	07/15/17	10% FINAL 2D SET
1	-	-
2	-	-
3	-	-

Proland, LLC



Project Title:
SPO NEVADA
1409 E. WELLESLEY AVE
SPOKANE, WA 99207

Cover Title:
COVER SHEET

Project Number	Date
07/15/17	07/15/17
08/07/17	08/07/17
09/07/17	09/07/17
10/07/17	10/07/17
11/07/17	11/07/17
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A-0	OVERALL SITE PLAN
A-1	ENLARGED SITE PLAN
A-2	PROPOSED ELEVATIONS

PROJECT CONTACT LIST

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PROJECT INFORMATION

CODE INFORMATION: CITY OF SPOKANE
JURISDICTION: HELENA, WA
CONSTRUCTION TYPE: UTILITY
OCCUPANCY: UTILITY
PROPOSED BUILDING USE: TELECOM

SITE LOCATION (NAD83):
GROUND ELEVATION: 2096.4' ANSL
STRUCTURE HEIGHT: 8'0" (TOP OF MONOPHNE POLARIS)

GEODETIC COORDINATES (NAD83):
LATITUDE: 47° 42' 03.4" N (4770984.1)
LONGITUDE: 117° 23' 20.8" W (-11723898.7)
PARCEL SIZE: 36333401.4
LEASE AREA SIZE: 2,580 SF

SCOPE OF WORK:
VERIZON WIRELESS PROPOSES TO INSTALL AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF A NEW 50' X 30' CHAIN LINK FENCED COMPOUND/LEASE CONCRETE PAD, A 5X10'X6' EXCAVATION, FIBER OPTIC FRAMES WITH POWER, TELCO AND MULTI-SOCKET METER BANK, WITH CONNECTIONS AS REQUIRED FOR POWER AND TELCO.

LEGAL DESCRIPTION

REFER TO SHEET A-1 FOR LEGAL DESCRIPTION AND TITLE REPORT EXCEPTIONS

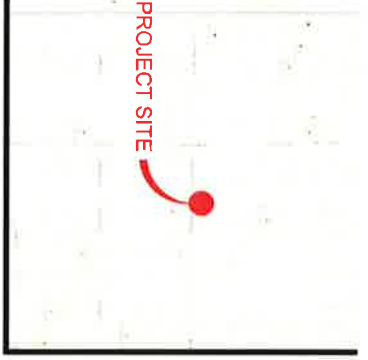
DRIVING DIRECTIONS

(FROM SPOKANE INTERNATIONAL AIRPORT):
HEAD SOUTH ON W AIRPORT DR MERGE ONTO US2 E, KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR INTERSTATE 90 ESPOKANEU S, 2 AND MERGE ONTO I90 E, USE THE RIGHT TURN LANE TO TAKE EXIT 202 FOR HELENA/TACOMA TOWARD TOWN CENTER, CONTINUE ONTO WA298 E, CONTINUE STRAIGHT THROUGH THE LIGHTS TO WASHINGTON AVE, TURN RIGHT AT THE WASH AVENUE DESTINATION WILL BE ON THE RIGHT.

VICINITY MAP



LOCATION MAP



CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT CONDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES: WASHINGTON STATE AND LOCAL BUILDING CODES WITH THE FOLLOWING REFERENCE CODE:
2015 IBC, STANDARDS AND AMENDMENTS WAC 51-52
2015 IRC, STANDARDS AND AMENDMENTS WAC 51-54
2015 IFC, STANDARDS AND AMENDMENTS WAC 51-54
2015 WAC, STANDARDS AND AMENDMENTS WAC 51-54
2014 NATIONAL ELECTRIC CODE (NFPA 70)

APPROVAL / SIGN OFF OF PRELIMINARY CONSTRUCTION DRAWINGS

CONSULTANT GROUP SIGN OFF	DATE	SIGNATURE	VERSION WIRELESS SIGN OFF	DATE	SIGNATURE
PROJECT MANAGER			RF ENGINEER		
SITE ACQUISITION			RF EVALUATION		
CONSTRUCTION MANAGER			OPERATIONS		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REQUIRE NOTE AS DRAWINGS ARE BEING REVIEWED

GENERAL NOTES

1. WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. ALL NECESSARY LICENSES, CERTIFICATES, ETC., REQUIRED BY AUTHORITY HAVING JURISDICTION SHALL BE PROVIDED AND PAID FOR BY THE CONTRACTOR.
2. ACOM HAS NOT CONDUCTED, NOR DOES IT INTEND TO CONDUCT ANY INVESTIGATION AS TO THE PRESENCE OF HAZARDOUS MATERIAL, INCLUDING, BUT NOT LIMITED TO ASBESTOS WITHIN THE CONFINES OF THIS PROJECT. ACOM DOES NOT ACCEPT RESPONSIBILITY FOR THE IDENTIFICATION, THE REMOVAL, OR ANY EFFECTS FROM THE PRESENCE OF THESE SUBSTANCES. THE OWNER NOTICED, THE CONTRACTOR IS NOT TO PROCEED WITH FURTHER WORK UNTIL INSTRUCTED BY THE OWNER IN WRITING.
3. ALL MATERIAL FURNISHED UNDER THIS CONTRACT SHALL BE NEW, UNLESS OTHERWISE NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY WORKMANSHIP. THE CONTRACTOR SHALL REPAIR OR REPLACE AT HIS EXPENSE, ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIALS OR WORKMANSHIP WITHIN EACH PERIOD OF TIME OR FOR ONE YEAR AFTER THE FINAL ACCEPTANCE OF THE ENTIRE PROJECT, WHOSE VENDOR IS GREATER.
4. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND UTILITIES AT THE JOB SITE BEFORE WORK IS STARTED. NO CLAIMS FOR EXTRA COMPENSATION FOR WORK WHICH COULD HAVE BEEN ANTICIPATED BY THE CONTRACTOR, WHETHER SHOWN ON THE CONTRACT DOCUMENTS OR NOT, WILL BE ACCEPTED OR PAID.
5. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR WORK UNDER THIS CONTRACT. ALL MANUFACTURERS RECOMMENDED SPECIFICATIONS EXCEPT THOSE SPECIFICATIONS HEREIN, WHERE MOST STRINGENCY SHALL BE COMPLIED WITH.
6. THE CONTRACTOR SHALL VERIFY AND COORDINATE SIZE AND LOCATION OF ALL OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, OR ARCHITECTURAL WORK.
7. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN THE LOCATIONS OF ALL UTILITIES AND THE PROPOSED STRUCTURE. THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE MET. NOTIFY THE CONSULTANT OF ANY CONFLICTS. THE CONSULTANT HAS THE RIGHT TO MAKE MINOR MODIFICATIONS IN THE DESIGN OF THE CONTRACT WITHOUT THE CONTRACTOR GETTING ADDITIONAL COMPENSATION.
8. DO NOT SCALE THE DRAWINGS. DIMENSIONS ARE EITHER TO THE FACE OF FINISHED ELEMENTS OR TO THE CENTER LINE OF ELEMENTS, UNLESS NOTED OTHERWISE. CRITICAL DIMENSIONS SHALL BE VERIFIED AND NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEANUP OF ALL TRASH AND REMOVE ALL DEBRIS FROM THE CONSTRUCTION SITE AT THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL THOROUGHLY CLEAN THE BUILDING, SITE, AND ANY OTHER SURROUNDING AREAS TO A BETTER THAN EXISTING CONDITION.
10. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, ETC. ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES.
11. THE CONTRACTOR SHALL MEET ALL OSHA REQUIREMENTS FOR ALL INSTALLATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING CONSTRUCTION AND REPAIR ALL DAMAGES TO BETTER THAN NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND ANY ADJACENT STRUCTURES AROUND THE PROJECT. THE CONSULTANT SHALL BE SOLE AND FINAL JUDGE AS TO THE QUALITY OF THE REPAIRED CONSTRUCTION. ANY ADDITIONAL MODIFICATIONS WHICH MUST BE MADE SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
13. WHERE ONE DETAIL IS SHOWN FOR ONE CONDITION IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS OR REFERRED TO IN THE SPECIFICATIONS, UNLESS NOTED OTHERWISE.
14. WHERE NEIGHBORING CONCRETE SPALLS OR PATHS MEET EXISTING CONSTRUCTION, THE CONTRACTOR SHALL MATCH THE EXISTING PITCH, GRADE, AND ELEVATION SO THE ENTIRE STRUCTURE SHALL HAVE A SMOOTH TRANSITION.
15. THE CONTRACTOR SHALL VERIFY THE EXISTING FLOORS, WALL, CEILING OR OTHER CONSTRUCTION AS REQUIRED TO GAIN ACCESS TO AREAS FOR ALL MECHANICAL, PLUMBING, ELECTRICAL, OR STRUCTURAL MODIFICATIONS. WHERE THE EXISTING CONSTRUCTION DOORS, PARTITIONS, CEILING, ETC., ARE TO BE REMOVED, MODIFIED, OR REARRANGED OR WHERE THE EXPOSED OR HIDDEN MECHANICAL, ELECTRICAL, SYSTEMS ARE TO BE REPAIRED OR REPLACED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING CONSTRUCTION AND FINISHES OF ALL FLOORS, WALLS, AND CEILINGS. WHERE ALL EXISTING MASONRY CONSTRUCTION IS MODIFIED, THE CONTRACTOR SHALL TOOTH IN ALL NEW CONSTRUCTION TO MATCH THE EXISTING BOND, WHERE CONCRETE CONSTRUCTION IS MODIFIED, THE CONTRACTOR SHALL VERIFY THE EXACT DETAILS TO BE USED FOR CONSTRUCTION. ALL WORK SHALL BE COVERED UNDER THE GENERAL CONTRACT.

16. VERIFY ALL EXISTING DIMENSIONS PRIOR TO PERFORMING WORK.
17. VERIFY LOCATION OF ALL BURIED UTILITIES PRIOR TO ANY EXCAVATION.
18. IN RAWM AND CONDITIONS, TOWER FOUNDATION STRUCTURAL STEEL TO BE GROUNDING PRIOR TO CONCRETE POUR. TOWER FOUNDATION STRUCTURAL STEEL TO BE CONNECTED TO PERMANENT GROUND ROD PRIOR TO TOWER ERECTION. TOWER GROUND MUST BE MAINTAINED AT ALL TIMES.
19. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR COMMERCIAL POWER IMMEDIATELY UPON AWARD OF CONTRACT. THE GENERAL CONTRACTOR IS REQUIRED TO KEEP ALL DOCUMENTATION RECEIVED FROM THE POWER COMPANY, INCLUDING ENGINEERING APPLICATION FOR POWER, WRITTEN AND VERBAL DISCUSSIONS WITH THE POWER COMPANY, ETC.
20. THE GENERAL CONTRACTOR SHALL OBTAIN WRITTEN CONFIRMATION OF THE EXPECTED DATE OF COMPLETION OF THE POWER CONNECTION FROM THE POWER COMPANY.
21. IF THE POWER COMPANY IS UNABLE TO PROVIDE THE POWER CONNECTION BY OWNERS REQUIRED DATE, THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN A TEMPORARY GENERATOR UNTIL THE POWER COMPANY CONNECTION IS COMPLETED. COSTS ASSOCIATED WITH THE TEMPORARY GENERATOR TO BE APPROVED BY THE OWNER.
22. IF THE GENERAL CONTRACTOR FAILS TO TAKE NECESSARY MEASURES AS DESCRIBED IN NOTES 18, 20 AND 21 ABOVE, THE GENERAL CONTRACTOR SHALL PROVIDE A TEMPORARY GENERATOR AT NO COST TO THE OWNER.
23. PLANS PART OF THIS SET ARE COMPLEMENTARY. INFORMATION IS NOT LIMITED TO ONE PLAN. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT, THEY ARE NOT TO BE USED BY THE OWNER OR OTHER PROJECTS OR FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT'S COMPENSATION TO BE SUBMITTED TO GOVERNMENTAL BUILDING AUTHORITIES FOR REVIEW FOR COMPLIANCE WITH APPLICABLE CODES AND ITS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO BUILD ACCORDING TO APPLICABLE BUILDING CODES.
24. IF CONTRACTOR OR SUB-CONTRACTOR FIND IT NECESSARY TO DEVIATE FROM ORIGINAL APPROVED PLANS, THEN IT IS THE CONTRACTOR'S AND THE SUB-CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE ARCHITECT WITH A COPY OF THE PROPOSED CHANGES AND SUB-CORRECTIVE MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR THE PROPOSED CHANGES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE PROGRESS OF THE WORK.
25. IN EVERY EVENT, THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE INTERPRETED TO BE A MINIMUM ACCEPTABLE MEANS OF CONSTRUCTION BUT THIS SHALL FROM PROVIDING A COMPLETE AND CORRECT JOB WHEN ADDITIONAL ITEMS ARE REQUIRED TO THE MINIMUM SPECIFICATION. IF ANY ITEMS NEED TO EXCEED THESE MINIMUM SPECIFICATIONS TO PROVIDE A COMPLETE, ADEQUATE AND SAFE WORKING CONDITION, THEN IT SHALL BE THE DESIGNER AND DESIGNER'S TO BE INCLUDED IN THE DRAWINGS. FOR ELECTRICAL PANELS, STRONGER OR LARGER PANELS, INCREASED QUANTITY OF ELECTRICAL ELEMENTS, REDUCED SPACING AND/OR INCREASED LENGTH (I.E. BOLT LENGTHS, BAR LENGTHS) THEN IT SHALL BE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE DESIGN. INFERRED SHALL BE DEEMED TO BE INCLUDED.
26. THESE CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL NOT BE CONSIDERED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

- ### LINE/ANTENNA NOTES
1. ALL THREADED STRUCTURAL FASTENERS FOR ANTENNA SUPPORT ASSEMBLIES SHALL CONFORM TO ASTM A307 OR ASTM A36. ALL STRUCTURAL FASTENERS FOR STRUCTURAL STEEL FRAMING SHALL CONFORM TO ASTM A36. FASTENERS SHALL BE 5/8" DIA. BERING TYPE COARSE THREAD. ALL FASTENERS SHALL BE GALVANIZED OR HOT-DIP GALVANIZED. ALL FASTENERS SHALL BE HELI-KOIK BOLT'S UNLESS OTHERWISE NOTED. ALL ANCHORS INTO CONCRETE SHALL BE STAINLESS STEEL.
 2. NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH. CONTRACTOR SHALL VERIFY MAGNETIC NORTH AND NOTIFY CONSULTANT OF ANY DISCREPANCY BEFORE STARTING CONSTRUCTION.
 3. PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL THROUGHOUT.
 4. THOROUGHLY REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS.
 5. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. ALL BENDS TO BE A MIN. OF 90° RADIUS.
 6. FOR GROUNDING TO BUILDING FRAME AND HATCH-PLATE GROUND BARS, USE A TWO-BOLT HOLE NEMA SHIELD GROUNDING SIGN (TS 3520) ON APPROVED EQUAL.
 7. FOR ALL EXTERNAL GROUND CONNECTIONS, CLAMPS AND CADWELDS, APPLY A LIBERAL PROTECTIVE COATING OR AN ANTHROXIDE COMPOUND SUCH AS NO-OXIDE N BY DEARBORN CHEMICAL COMPANY.
 8. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY THERMO-WELDING. USE ERICO T-319 GALVANIZING BARCOLOD GALVANIZING PAINT.
 9. SEAL ALL CONDUIT PENETRATIONS INTO MODULAR BUILDING WITH A SILICONE SEALANT AND ALL CONDUIT OPENINGS.
 10. ANTENNAS AND COAX TO BE PROVIDED BY VERIZON WIRELESS. CONTRACTOR TO COORDINATE DELIVERY.

DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF UTILITIES AND SERVICES. ALL DIMENSIONS SHALL BE VERIFIED AND NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR THE PROPOSED CHANGES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE PROGRESS OF THE WORK.

**PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION**

No.	Date	Revision
A	06/20/17	30% RFD REVISED SET
B	06/26/17	100% RFD REVIEW SET
C	07/11/17	100% RFD REVIEW SET
1	-	-
2	-	-
3	-	-

verizon

Proland, LLC

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SPRINGFIELD, VA 22151

IMPORTANT NOTICE

THE EXISTING CONDITIONS REPRESENTED HEREIN ARE BASED ON INFORMATION PROVIDED BY OTHERS. ACOM CONSULTING CANNOT GUARANTEE THE CORRECTNESS, NOR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN AND ASSUMES NO RESPONSIBILITY THEREOF. CONTRACTOR AND HIS SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND LOCATIONS OF UTILITIES AND SERVICES PRIOR TO CONSTRUCTION. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE CONSULTANT PRIOR TO CONSTRUCTION.

LEGEND

BUILDING/VERTICAL SECTION

Detail Number
Sheet Number
Where Detailed

LARGE SCALE DETAIL

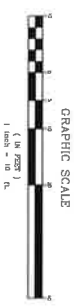
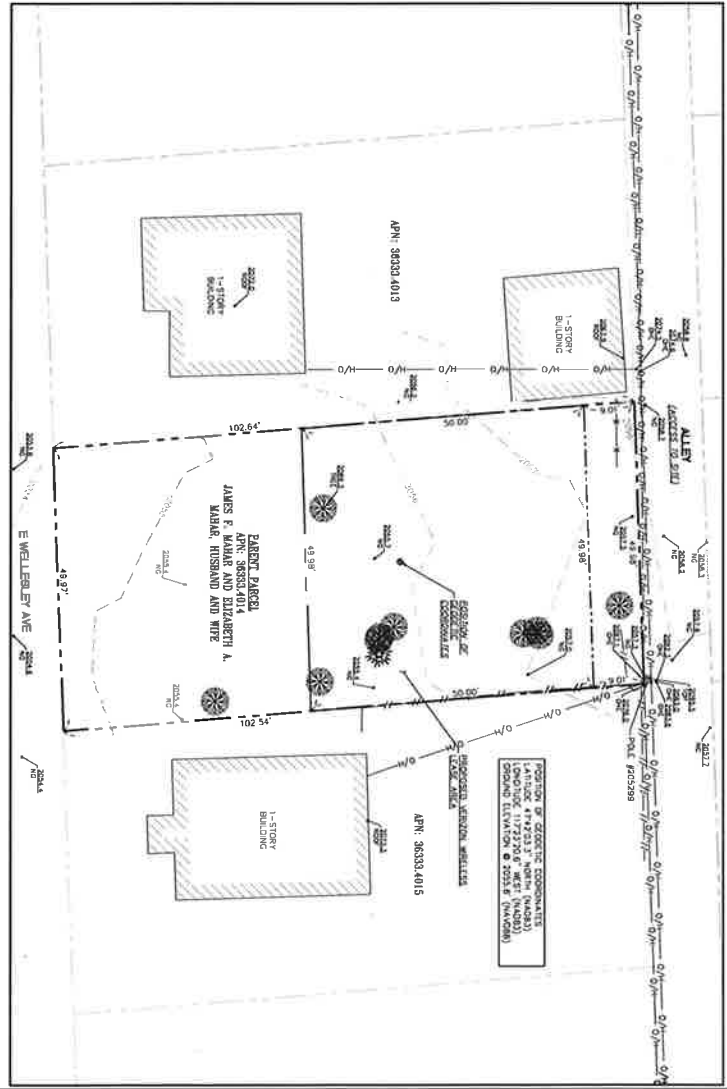
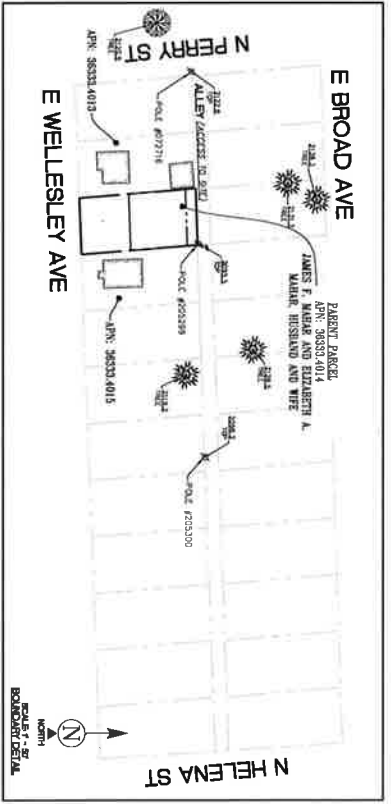
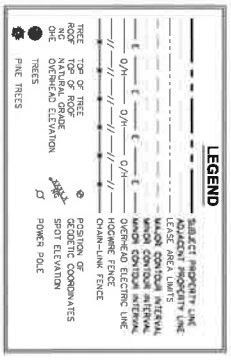
Detail Number
Sheet Number
Where Detailed

GENERAL NOTES AND SYMBOLS

Drawing Title	Date
Client	07/11/17
Project Manager	MM
Approved By	MM
Revision No.	1
C	T-2



SUBJECT DATE
02/15/17



BENCHMARK
PROJECT ELEVATIONS ESTABLISHED FROM GAS DERIVED ORTHOMETRIC TO ELEVATION HEIGHTS DETERMINED BY REAL TIME KINETIC (RTK) GPS DATA PROCESSED ON THE WASHINGTON STATE REFERENCE NETWORK (WSRN). ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE WAGNER DATUM.

BASES OF BEARING
BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE MAPS DETERMINED BY GPS OBSERVATIONS.

UTILITY NOTES
SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITIVE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES FROM HIS OWN RESPONSIBILITY OF THE CONTRACTOR.

SURVEYOR'S NOTES
THE SURVEYOR HAS VISUALLY INSPECTED THE BOUNDARY SHOWN HEREON THAT INFORMATION PROVIDED (NOTE WHAT WAS PROVIDED) AND THE SURVEYOR'S RECORDS TO VERIFY THE ACCURACY OF THE BOUNDARY SHOWN HEREON. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION PROVIDED BY RECORD/TITLE AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF THE SURVEYOR.

ZONING
ZONING - CITY OF SPOKANE, WASHINGTON.

FLOOD ZONE
THIS PROJECT APPEARS TO BE WITHIN THE BOUNDARIES OF FEDERAL FLOOD ZONING. THE SURVEYOR HAS VISUALLY INSPECTED THE BOUNDARY SHOWN HEREON WHICH HAS NOT BEEN PRINTED. NO FURTHER RESEARCH WAS MADE.

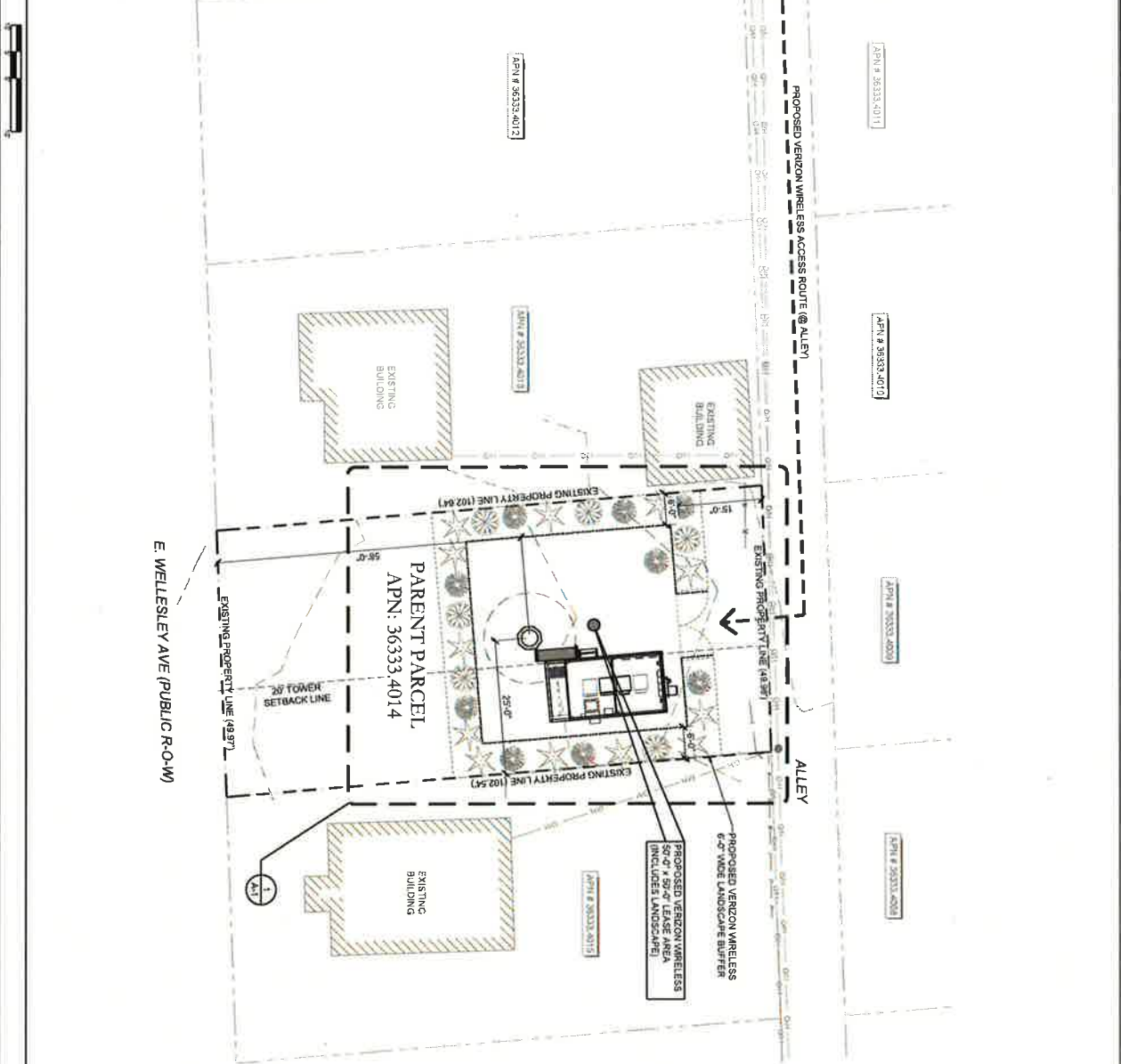
LEGAL DESCRIPTION
LEGAL DESCRIPTION: SECOND ADDITION TO LINDENWOOD PARK, AS PER PLAT RECORDED IN VOLUME 17 OF PLATS, PAGE 15, RECORDS OF SPOKANE COUNTY IN THE CITY OF SPOKANE, COUNTY OF SPOKANE, STATE OF WASHINGTON.

PLAT INFORMATION, GUARANTEE, RECORD NOTATIONS
PLAT INFORMATION: SECOND ADDITION TO LINDENWOOD PARK, AS PER PLAT RECORDED IN VOLUME 17 OF PLATS, PAGE 15, RECORDS OF SPOKANE COUNTY IN THE CITY OF SPOKANE, COUNTY OF SPOKANE, STATE OF WASHINGTON. PLAT NUMBER: SP9427, SET NO. 1408 F. WELLERLEY AVE, SECOND ADDITION TO LINDENWOOD PARK, AS PER PLAT RECORDED IN VOLUME 17 OF PLATS, PAGE 15, RECORDS OF SPOKANE COUNTY IN THE CITY OF SPOKANE, COUNTY OF SPOKANE, STATE OF WASHINGTON.

LEASE AREA LEGAL DESCRIPTION
LEASE AREA LEGAL DESCRIPTION: SET OF LOT 15, BLOCK 28, SECOND ADDITION TO LINDENWOOD PARK, AS PER PLAT RECORDED IN VOLUME 17 OF PLATS, PAGE 15, RECORDS OF SPOKANE COUNTY IN THE CITY OF SPOKANE, COUNTY OF SPOKANE, STATE OF WASHINGTON.

PROJECT INFORMATION SPO NEVADA 1408 E WELLESLEY AVE SPOKANE WASHINGTON 83407 SPOKANE COUNTY	
ORIGINAL ISSUE DATE: 02/15/17	REV.-DATE - DESCRIPTION - BY: A 02/15/17 PRELIMINARY LC 0 04/09/17 TITLE NOTATION SR 1 07/11/17 ADDED DESIGN MF
CONSULTANT: 245 SOUTH HILLVIEW AVE. MILWAUKEE, WI 53212 TEL: (414) 333-3333 WWW.ACOMCONSULTING.COM	
OWNER: ambli consulting 245 SOUTH HILLVIEW AVE. MILWAUKEE, WI 53212 TEL: (414) 333-3333 WWW.ACOMCONSULTING.COM	
DRAWN BY: CHK LO: SR SR: SR	DESIGNER: AMW
SHEET TITLE: PRELIMINARY	
SHEET NUMBER: SV-1	

PROPOSED VERIZON WIRELESS ACCESS ROUTE (ALLEY)
 1:100 SCALE (1" = 40')



LESSOR'S LEGAL DESCRIPTION
 LOT 15, BLOCK 28, SECOND ADDITION TO LIDGERWOOD PARK, AS PER PLAT RECORDED IN VOLUME "T" OF PLATS, SITUATE IN THE CITY OF SPOKANE, COUNTY OF SPOKANE, STATE OF WASHINGTON.

PLANT INFORMATION GUARANTEE REPORT NOTATIONS
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, PLANT INFORMATION GUARANTEE OFFICE FILE NUMBER SP982, REF. NO. 1469 E WELLESLEY AVE, DATE 07/11/17. THIS REPORT IS A SUMMARY OF THE PLANT INFORMATION GUARANTEE REPORT AND DOES NOT AFFECT THE VERIZON LEASE AREA OR ASSOCIATED EASEMENTS.

LEASE AREA LEGAL DESCRIPTION
 THE SOUTH 50.00 FEET OF THE NORTH 59.01 FEET OF LOT 15, BLOCK 28, SECOND ADDITION TO LIDGERWOOD PARK, AS PER PLAT RECORDED IN VOLUME "T" OF PLATS, PAGE 15, RECORDS OF SPOKANE COUNTY, SITUATE IN THE CITY OF SPOKANE, COUNTY OF SPOKANE, STATE OF WASHINGTON.

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

NO.	DATE	REVISION
1	06/29/17	100% P&L REVIEW SET
2	07/11/17	100% P&L, 2D SET
3		
4		
5		

DO NOT SCALE DRAWING. CONSTRUCTION BIDDING ONLY. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. THIS DRAWING IS THE PROPERTY OF PROLAND, LLC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PROLAND, LLC.

Proland, LLC

verizon

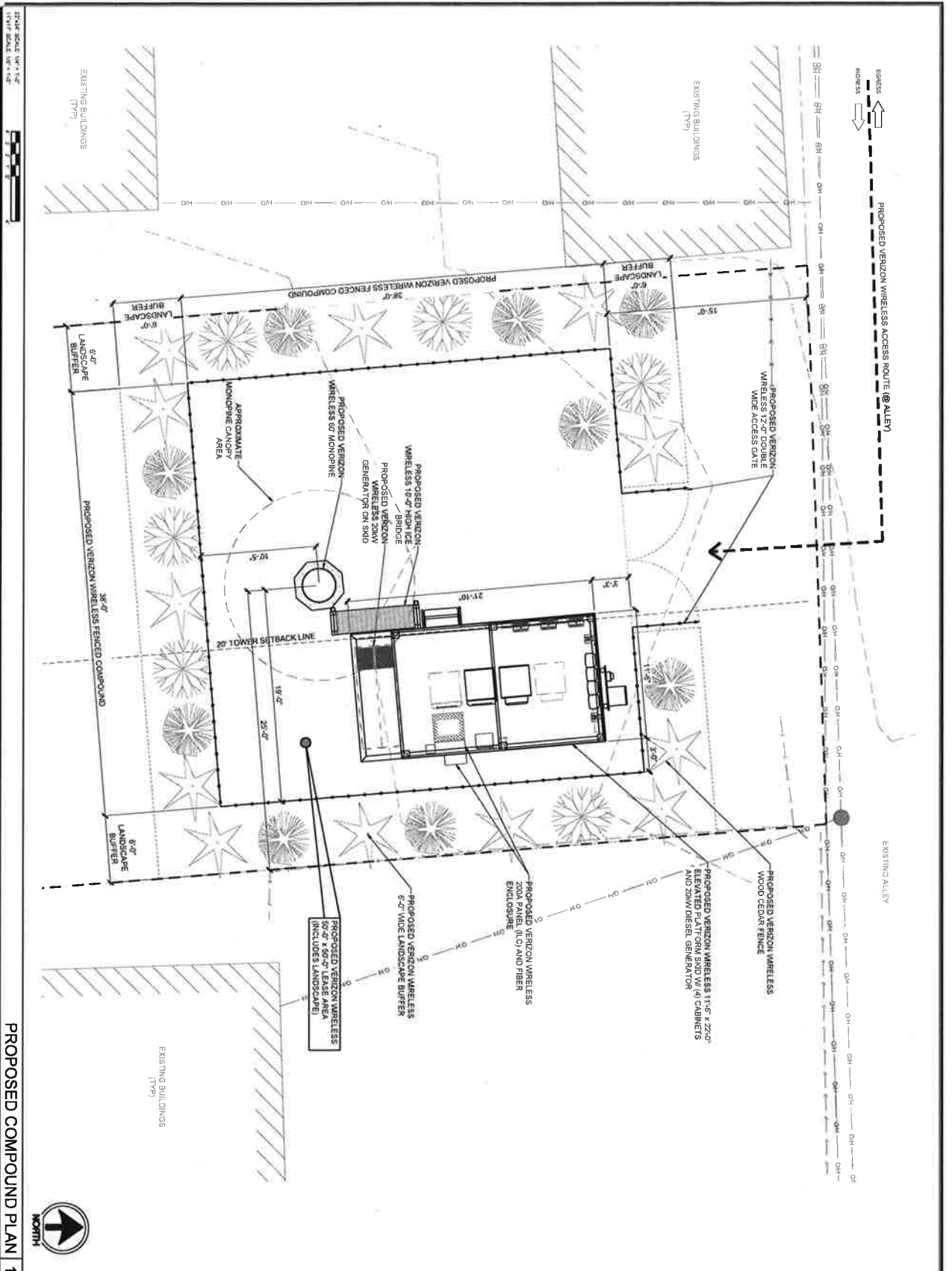
Acorn CONSULTING INC.

SPO NEVADA
 1403 E WELLESLEY AVE
 SPOKANE, WA 99207

Project Name: **SITE PLAN**

Project Number	Date
0711-017	07/11/17
Checker	Designer
RM	KJM
Project Manager	Professional of Record
AM	RM
Revision No.	Sheet No.
C	A-0

SITE PLAN 1



DATE: 08/11/14
DRAWN BY: JMM
CHECKED BY: JMM
PROJECT MANAGER: JMM
DESIGNER: JMM
DATE: 08/11/14

PROJECT NUMBER: 071117
CLIENT: KIM
PROJECT MANAGER: JMM
DESIGNER: JMM
DATE: 08/11/14

PROJECT: SPO NEVADA
1408 S. ILLINOIS AVE
SPRINGDALE, WA 99207

Proland, LLC

verizon

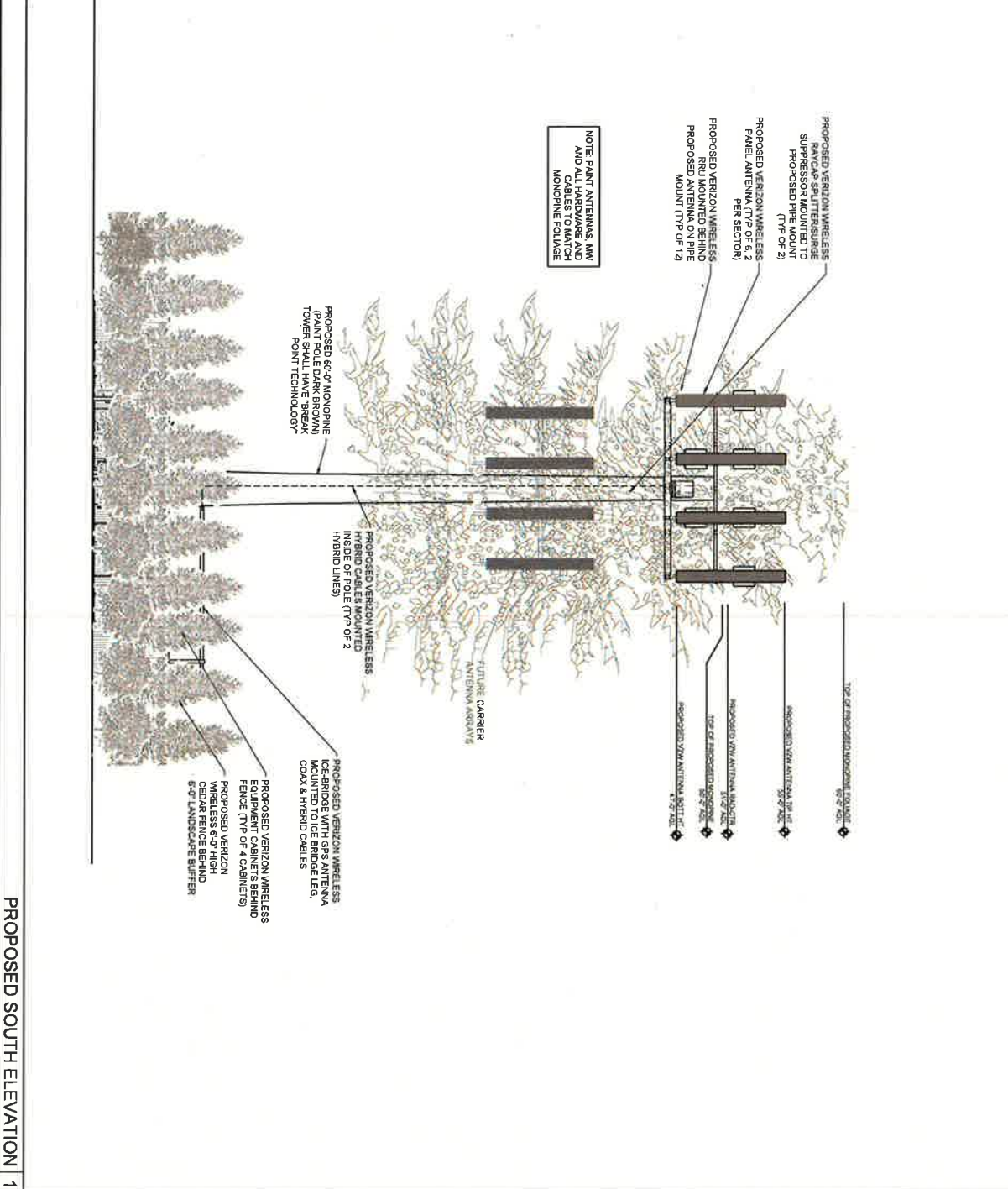
No.	Date	Revision
1	08/02/17	30% CD REVIEW SET
2	08/25/17	100% FGD REVIEW SET
3	07/19/17	100% FINAL CD SET
4		
5		
6		

CONTRACT SCALE EXAMINED, CONSTRUCTION MARK, GSP, ALL INFORMATION AND NOTES ON THIS PLAN ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND NOTES ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND NOTES ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND NOTES ON THIS PLAN.

**PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION**

PROPOSED COMPOUND PLAN 1

C A-1



No.	Date	Revision
A	06/20/17	50% PDS REVIEW SET
B	06/20/17	100% PDS REVIEW SET
C	07/18/17	100% FINAL 2D SET
D	-	-
E	-	-
F	-	-
G	-	-
H	-	-
I	-	-

DO NOT SCALE DRAWING. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE NATIONAL ELECTRICAL CODE. ALL DIMENSIONS SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE SHOWN TO THE NEAREST 1/8\"/>

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION



Proland, LLC



SPO
NEVADA
1400 S. RENO AVENUE
SPRINGFIELD, VA 22150

PROJECT TITLE
PROPOSED
TOWER
ELEVATIONS

Project Number	Date
07/18/17	07/18/17
Drawn	Checked
MM	MM
Project Manager	Professional of Record
MM	MM
Revision No.	Sheet No.
C	A-2