

November 4, 2020

Dean Gunderson
City of Spokane
808 W. Spokane Falls Blvd.
Spokane, WA 99201

RE: Latah Glen Residential Community – DRB Recommendation Meeting Submittal

Mr. Gunderson,

Along with this Written Project Summary, we have attached our revised Site Design (Exhibit 'A'), Concept Utility and Roads (Exhibit 'B'), Building Design (Exhibit 'C'), and Design Details (Exhibit 'D').

Concept Utility and Road Plans are included to provide the conceptual stormwater design and concept plan for grading the property showing roadway profiles prepared using available County of Spokane topographic information. The final grading plan will be prepared, for City approval, following our conceptual plan using aerial topography recently flown for final design for permitting and construction.

The Site Design documents now include updates from the DRB that are detailed below. Lighting has been added to the typical lease space detail and concept plant information has also been added.

Building Design information includes a to-scale clubhouse plan view and elevations, the laundry facility has been removed from the plan – these are also included for review within the Site Design documents that also features regional Northwest design character images. The clubhouse design will inform the design character of the homes for material, color, and texture palette. There is limited design control over the mass-produced manufactured homes by limited number of manufacturers, but we are working on design guidelines that will be applied to the manufactured units, such as a 2-car garage requirement and minimum roof pitch.

The Design Details are a conceptual representation of the intended elements of cohesive design that will complement the clubhouse architecture, color, and texture palette. These sketches indicate entry gate and project signage conceptually with pedestrian-scale lighting that, together with standardized pedestrian wayfinding and seating elements, is intended to set a cohesive design theme throughout the development at each unit. The final design of these elements may evolve.

On 08.12.2020, we met with the Design Review Board for the Collaborative Workshop and received the following written Advisory Actions ([responses](#) added):

Advisory Actions

1. To promote connectivity and offer a neighborhood asset, the Applicant is encouraged to provide an intentional non-motorized connection from the site to the Fish Lake Trail.
 - a. A proposed intentional trail alignment connecting the on-site pedestrian system of walks to Fish Lake Trail has been added to the attached Site Plans. A perimeter fence with a pedestrian gate and controlled access for this trail connection is also shown and noted.
2. The Applicant is encouraged to evaluate the internal sidewalks and pathways and consider opportunities to elevate the pedestrian user experience by introducing benches, nodes, enhanced landscaping, or other means. A network of sidewalks and pathways connecting residents to common buildings, common spaces, and public ways may enhance the overall site design experience.
 - a. The internal sidewalks and pathways have been evaluated for opportunities to elevate the pedestrian user experience. The results of this evaluation are shown on the attached 'Site Plan – Design Character' sheet. Locations for pedestrian wayfinding/project identity, seating nodes with plantings, and recreational nodes are conceptually identified throughout the pedestrian system with referenced character images.
 - b. A detailed Landscape Plan will be prepared for City approval, as required, for permitting and construction.
3. The Applicant is encouraged to return with a more fully developed plan illustrating intended innovation in stormwater treatment.
 - a. The stormwater pond sizes and locations shown are based on Concept Stormwater Plan that has been prepared by our Civil Engineer informed by the completed preliminary Geotechnical Report – see attached Exhibit 'A'
 - b. Conceptual bioretention stormwater swales have been indicated on the attached 'Site Plan – Design Character' sheet. Character images of bioretention-style plantings instead of the ubiquitous '208' turf swale are included. Final planting design of bioretention swales will be in accord with the Eastern Washington Low Impact Development Guidance Manual.
 - c. Detailed Stormwater and Landscape Plans will be prepared for City approval, as required, for permitting and construction.
4. The Applicant shall return with a proposed street tree palette.
 - a. A tree palette with street trees included has been added and concept tree types and locations shown on the attached 'Site Plan – Design Character' sheet.
 - b. A detailed Landscape Plan will be prepared for City approval, as required, for permitting and construction.

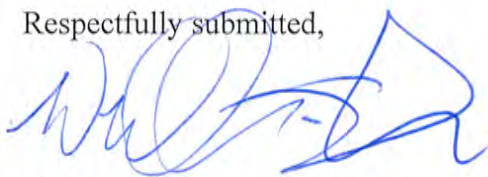
5. The Applicant shall restore the landscape in the areas of the site beyond the lease areas in a manner consistent with the existing and preserved natural areas on site.
 - a. A native dryland hydroseed is indicated and planned on the existing unvegetated slope area with Ponderosa Pines planted as feasible on the attached 'Site Plan – Design Character' sheet.
 - b. The Site Plan has been updated to include a note that the existing natural landscape areas to remain within 20' of the site boundary will be augmented, as needed, to achieve the design intent of the required L1 landscape buffer.
 - c. A detailed Landscape Plan will be prepared for City approval, as required, for permitting and construction.
6. The Applicant is encouraged to explore ways to massage the architectural aesthetic of the proposed structures into a cohesive theme that reflects and enhances the regional character of the area. The Board strongly recommends that a set of design standards for the development be crafted in order to maintain consistency with the established style as the project is built out, and to preserve the presumption of privacy between homes.
 - a. The architectural theme has been revised to regional Northwest as depicted for the clubhouse– see sheet 4. Design guidelines, under development, will require consistency of homes with the style of architecture.
 - b. Design guidelines under development will include the requirement for privacy between the homes to be achieved by landscape buffer and or fencing as needed if it can't be achieved by appropriate window offsets.
7. The Applicant shall return with a developed entry design, gate design, landscaping and signage, along with the design for any proposed fencing or enclosure of the site.
 - a. Entry Plan – The entry design area has been revised to include a landscaped keypad island with a three-car queue to it within the property, a large vehicle turnaround before the gate and greater detail of the entry/exit lanes that taper to the typical road section – please see Concept Entry Gate Layout With Vehicle Turnaround enlargement, sheet 5.
 - b. Gate – The vehicle gate character image, which depicts single-swing gates attached to masonry columns with a column and planter between the in and out lanes is shown on sheet 5 – the masonry columns depicted are now noted to compliment the project clubhouse as part of cohesive Northwest theme throughout the park.
 - c. Fencing – A 6' chain link fence has been added and is indicated within the L1 buffer area around the project perimeter on the Site Plan. The chain link fence is anticipated to be visually obscured from outside the project by the required

continuous 6' tall plantings of the L1 buffer. A transition from chain link to ornamental fence, i.e. more decorative tube steel, aluminum, or wrought iron fence, is indicated on the revised entry gate plan, where fencing will be highly visible and a pedestrian gate with controlled access has been indicated. The ornamental fence is noted to compliment the regional Northwest architectural style – see sheet 5, 'Concept Cohesive Entry/Site Character'.

- d. Signage – The project signage character is shown on the attached Site Plan. The masonry monument sign depicted is noted to compliment the clubhouse architectural, color, material, and texture palette during final design. The entry gate/drive design indicates encroachment into a small portion of the L1 Landscape Buffer around the property.
 - e. Detailed Civil Engineering and Landscape Plans will be prepared for City approval, as required for permitting and construction.
8. The Board appreciates the introduction of additional affordable housing to the Spokane area.
- a. Noted and very much appreciated.
9. The Board finds the reclamation and renovation of the existing auto wrecking yard to be an innovative reuse of the land.
- a. Noted and very much appreciated.

We look forward to getting our Recommendation Meeting with the DRB scheduled as soon as possible.

Respectfully submitted,



William Sinclair, PLA, MURP

CC: William Nascimento, File

CONTEXT/SITE ANALYSIS

LATAH GLEN RESIDENTIAL COMMUNITY

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER
AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER,
SECTION 36, TOWNSHIP 25 NORTH, RANGE 43 EAST, W.M., SPOKANE, WASHINGTON

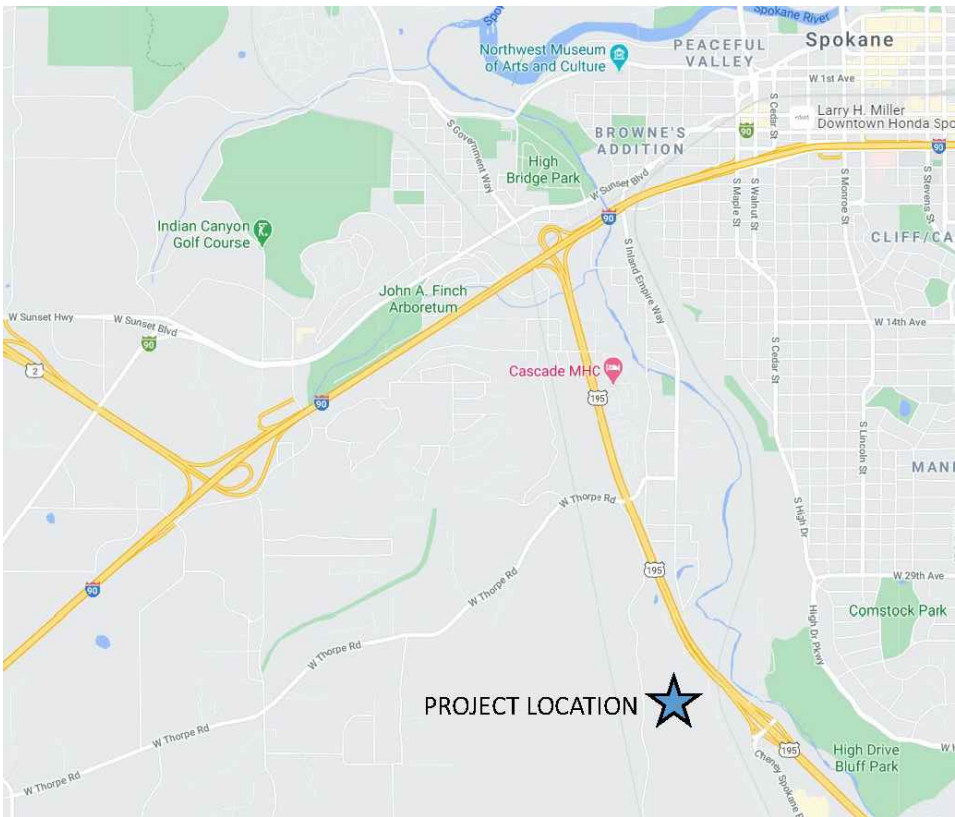


NOTES:

- TOPOGRAPHICAL AND BOUNDARY INFORMATION SHOWN WAS OBTAINED FROM SPOKANE COUNTY PUBLIC INFORMATION AND DOES NOT REPRESENT ACTUAL SURVEY INFORMATION.
- TOPOGRAPHICAL AND BOUNDARY INFORMATION SHOWN IS FOR CONCEPTUAL SITE PLANNING AND REVIEW ONLY.

LEGEND

- PROPOSED MANUFACTURED HOME PARK/PUD BOUNDARY
- EXISTING PROPERTY LINE
- MAJOR CONTOUR (10' C.I.)
- MINOR CONTOUR (2' C.I.)
- SLOPE DIRECTION AND GRADIENT
- EXISTING GRAVEL ROAD
- EXISTING ASPHALT ROAD
- VIEW DETAIL CALLOUT
- VIEW DETAIL NO.
- VIEW DIRECTION/ARC



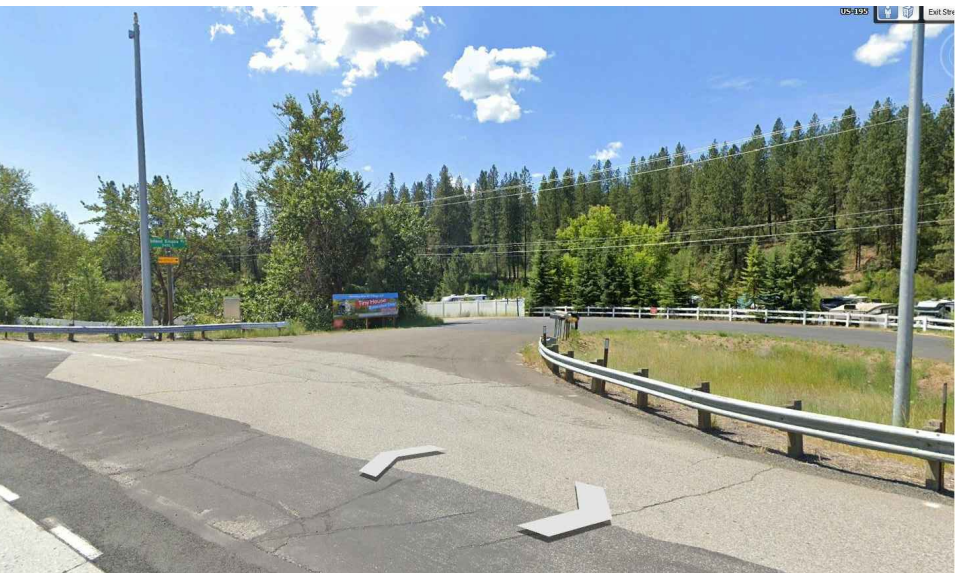
SOUTHWEST SITE FRONTAGE FROM MARSHALL ROAD



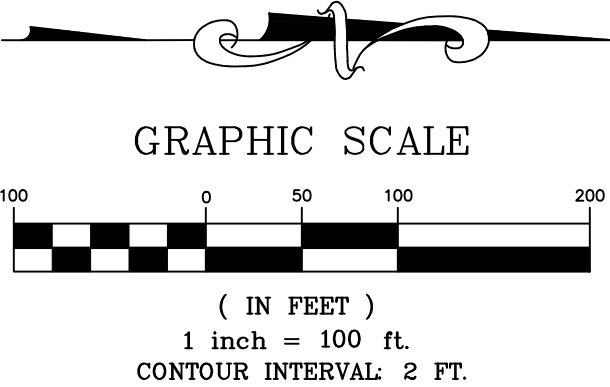
NORTHWEST SITE FRONTAGE FROM MARSHALL ROAD



SITE FRONTAGE FROM SR 195 AT PRIMARY ACCESS



SR 195 AT INLAND EMPIRE WAY



storhäug

civil engineering landscape architecture

planning surveying

510 east third avenue | spokane, wa | 99202
p 509.242.1000 | f 509.242.1001

DATE	11/03/2020	SCALE	1" = 100'
FIELD BOOK	N/A	DRAWN	WMS
PROJECT NUMBER	19-342	DRAWING NO.	1 OF 5

SITE PLAN

LATAH GLEN RESIDENTIAL COMMUNITY

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER
AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER,
SECTION 36, TOWNSHIP 25 NORTH, RANGE 43 EAST, W.M., SPOKANE, WASHINGTON

NOTES

1. ALL SIGNS AND LIGHTS SHALL BE INSTALLED PER CITY OF SPOKANE STANDARDS.
2. SEE CIVIL ENGINEERING PLANS AND ANALYSIS FOR MORE INFORMATION ON STORMWATER DRAINAGE, WATER, AND SANITARY SEWER.

LEGEND

- PROJECT BOUNDARY
- RIGHT OF WAY
- LEASE LINE
- BUILDING SETBACK
- ASPHALT ROADWAY
- SIDEWALK
- OPEN SPACE AREAS (LESS STORMWATER AREAS)
- REQUIRED L1 LANDSCAPE BUFFER
- STORMWATER SWALE
- LIGHT

DATA TABLE

PARCEL NUMBERS
EXISTING STRUCTURES/USES

ZONING
SANITARY SEWER
WATER PURVEYOR
PROPOSED USE
BUILDING SETBACKS:
BOUNDARY OF PARK SETBACK
FRONT YARD SETBACK
SIDE YARD SETBACK
NUMBER OF PROPOSED UNITS
BUILDING COVERAGE
FLOOR AREA RATIO
MAX. BUILDING HEIGHT
TOTAL AREA
NET AREA
PRIVATE ROAD AREA
OPEN SPACE & LANDSCAPED AREAS
NET DENSITY
NATURAL FEATURES
REFUSE COLLECTION
PUBLIC TRANSIT

25364.0001 & 25361.0004
POLE BUILDING WITH ATTACHED MOBILE HOME TO BE REMOVED/AUTO SALVAGE YARD
RESIDENTIAL SINGLE FAMILY
CITY OF SPOKANE
CITY OF SPOKANE
MANUFACTURED HOME PARK
20' MINIMUM
10' MINIMUM
10' MINIMUM FROM ANY OTHER HOME
157 ONE-STORY MANUFACTURED HOMES
313,020 SF
.13:1
42.03 ACRES
34.99 ACRES
7.04 ACRES
14.92 ACRES OR 36% OF SITE
4.49 UNITS/ACRE
STEEP SLOPES WITH TREES AND OTHER VEGETATION
INDIVIDUAL CONTAINERS WITH CURBSIDE PICK-UP
NOT AVAILABLE

DEVELOPER

SYCAMORE GROUP, LLC
10 SYCAMORE CANYON DR
DOVE CANYON, CALIFORNIA 92679
(949) 357-9015

OWNER

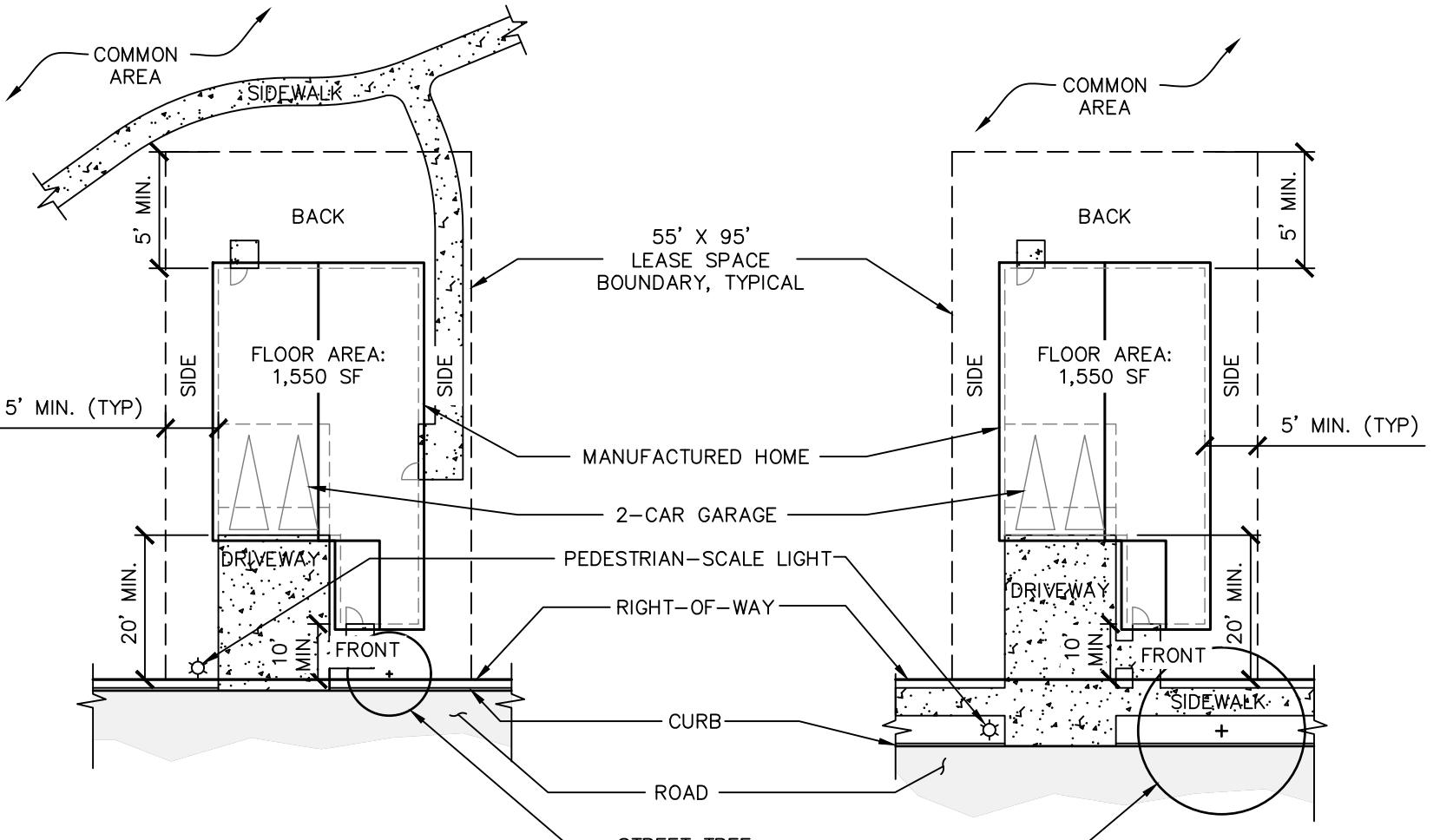
ESTATE OF BETTIE SIMMONS
3504 S INLAND EMPIRE WAY
SPOKANE, WASHINGTON 99224

AGENT

STORHAUG ENGINEERING
510 EAST THIRD AVENUE
SPOKANE, WASHINGTON 99202
(509) 242-1000

GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.

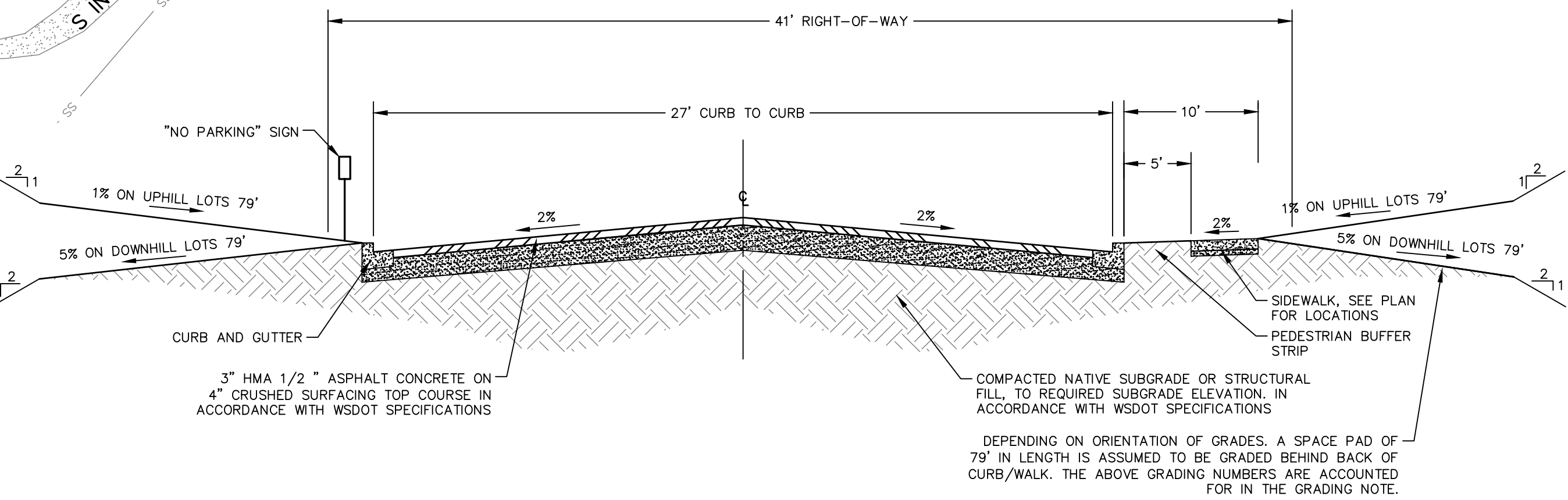


TYPICAL LEASE SPACE

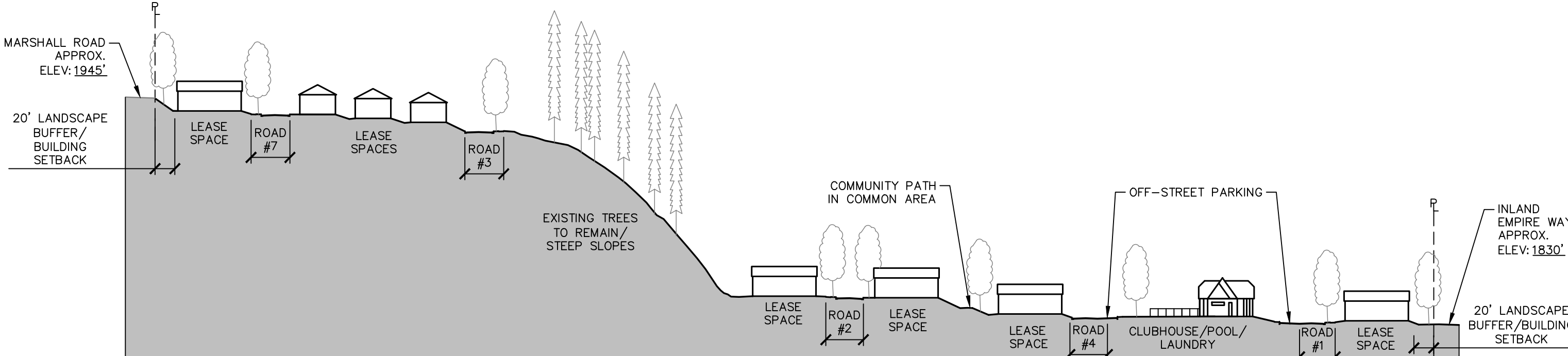
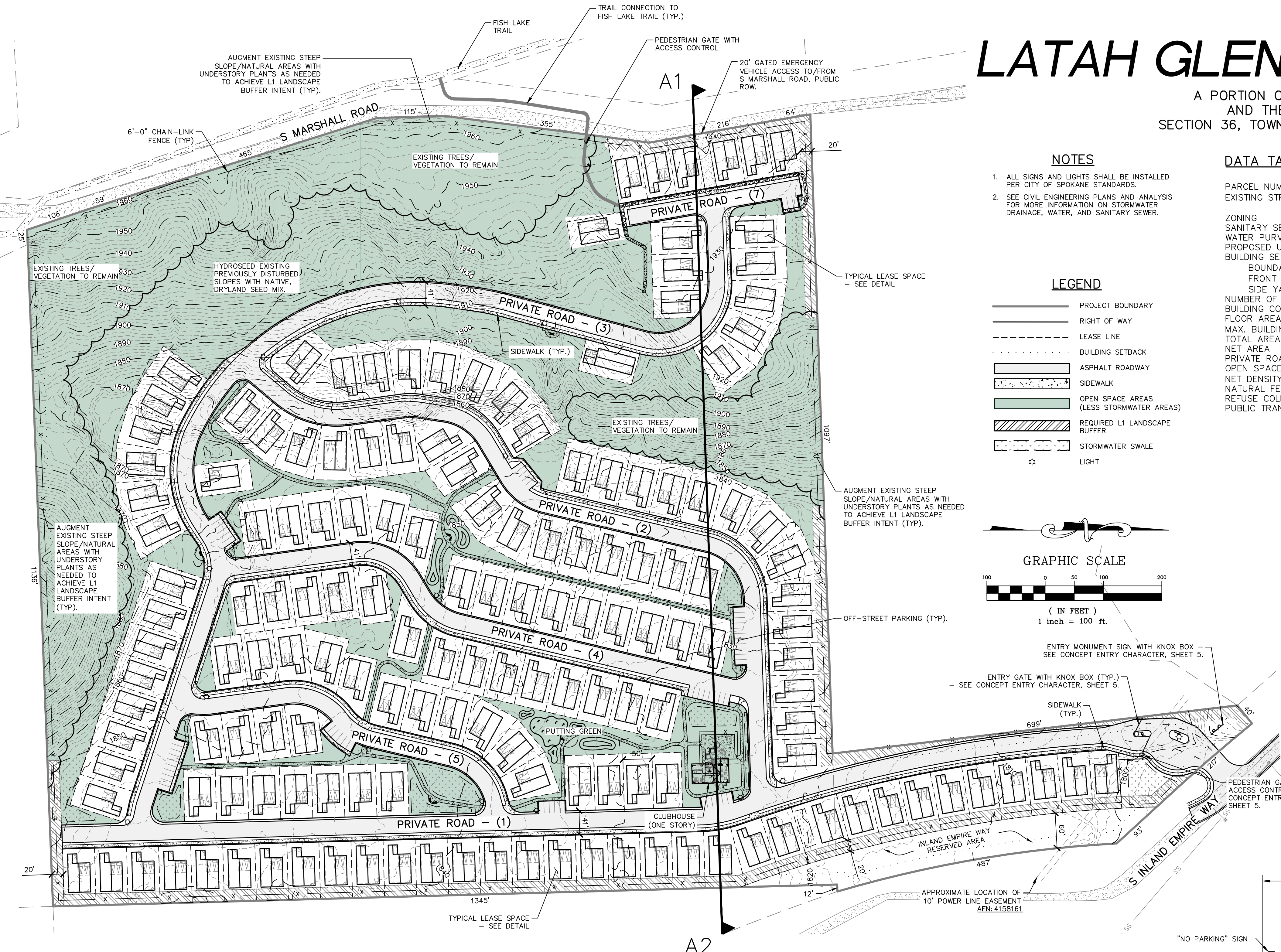
SIDEWALK IN COMMON AREA

TYPICAL LEASE SPACE

SIDEWALK AT ROAD



TYPICAL ROAD SECTION



A1-A2 SECTION/ELEVATION

HORIZONTAL SCALE: 1" = 100'
VERTICAL SCALE: 1" = 50'

storhäug
civil engineering planning
landscape architecture surveying
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DATE	11/03/2020	SCALE	1" = 100'
FIELD BOOK	N/A	DRAWN	WMS
PROJECT NUMBER	19-342	DRAWING NO.	2 OF 6

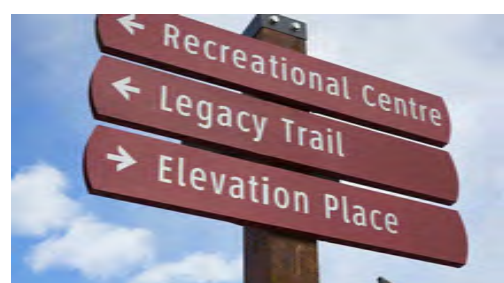


FISH LAKE TRAIL
• CLASS 1 RECREATIONAL TRAIL
• ALTERNATIVE TRANSPORTATION



PEDESTRIAN SYSTEM FEATURES/CHARACTER

FINAL DESIGN OF PEDESTRIAN SYSTEM CHARACTER ELEMENTS TO COMPLEMENT NORTHWEST CHARACTER OF THE FINAL CLUBHOUSE DESIGN. STANDARD BENCH, SIGNAGE, AND PEDESTRIAN-SCALE LIGHTING WILL BE SPECIFIED AS PART OF A COHESIVE SITE CHARACTER - SEE SHEETS 4 AND 5 FOR CLUBHOUSE AND RELATED CONCEPT ENTRY CHARACTER.



WAYFINDING/IDENTITY SIGNAGE (A)



SEATING NODE WITH PLANTINGS (B)



RECREATION NODE - PUTTING GREEN (C)

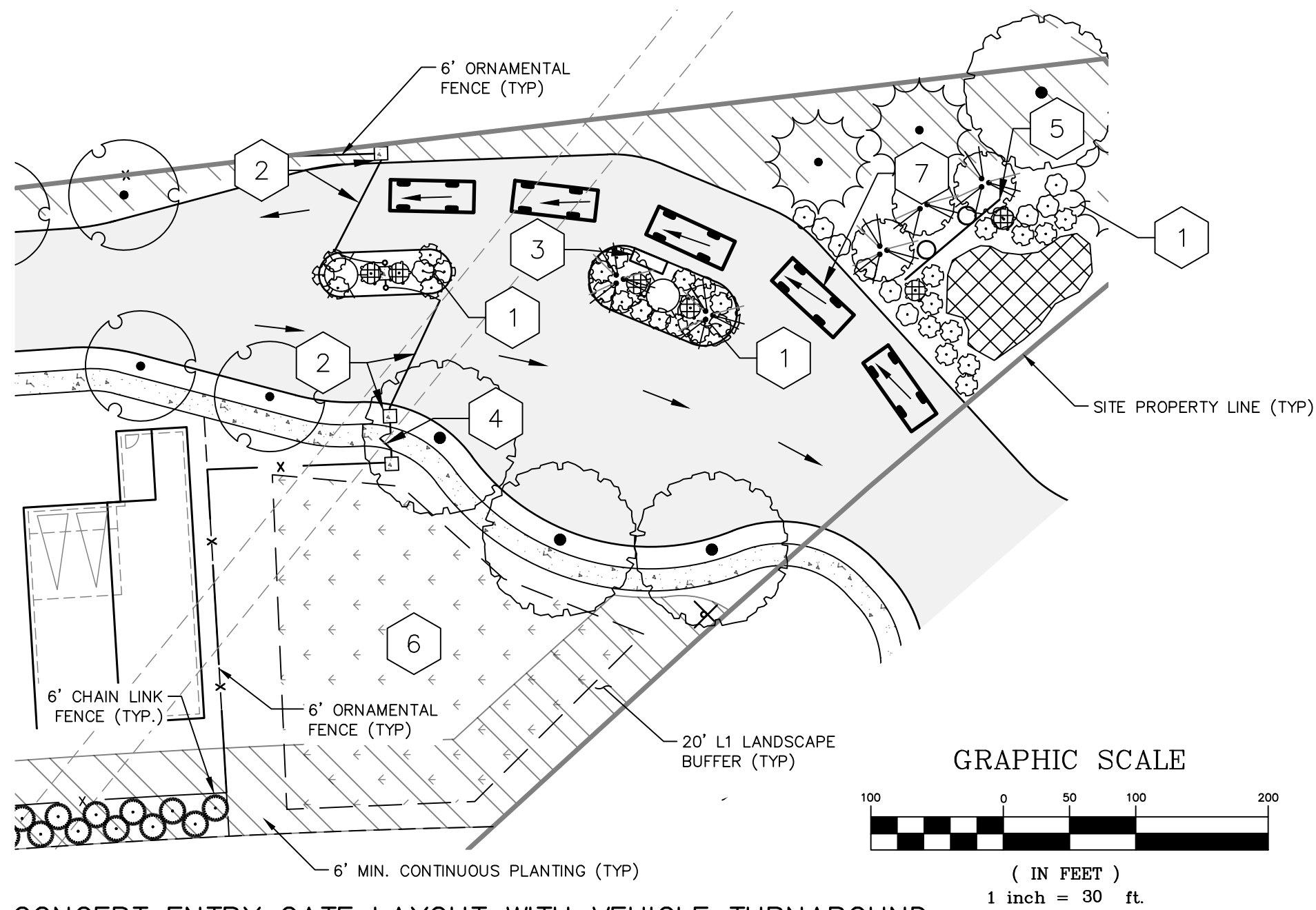


RECREATION NODE - CLUBHOUSE (D)

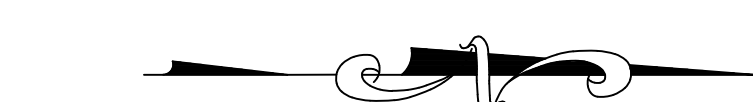
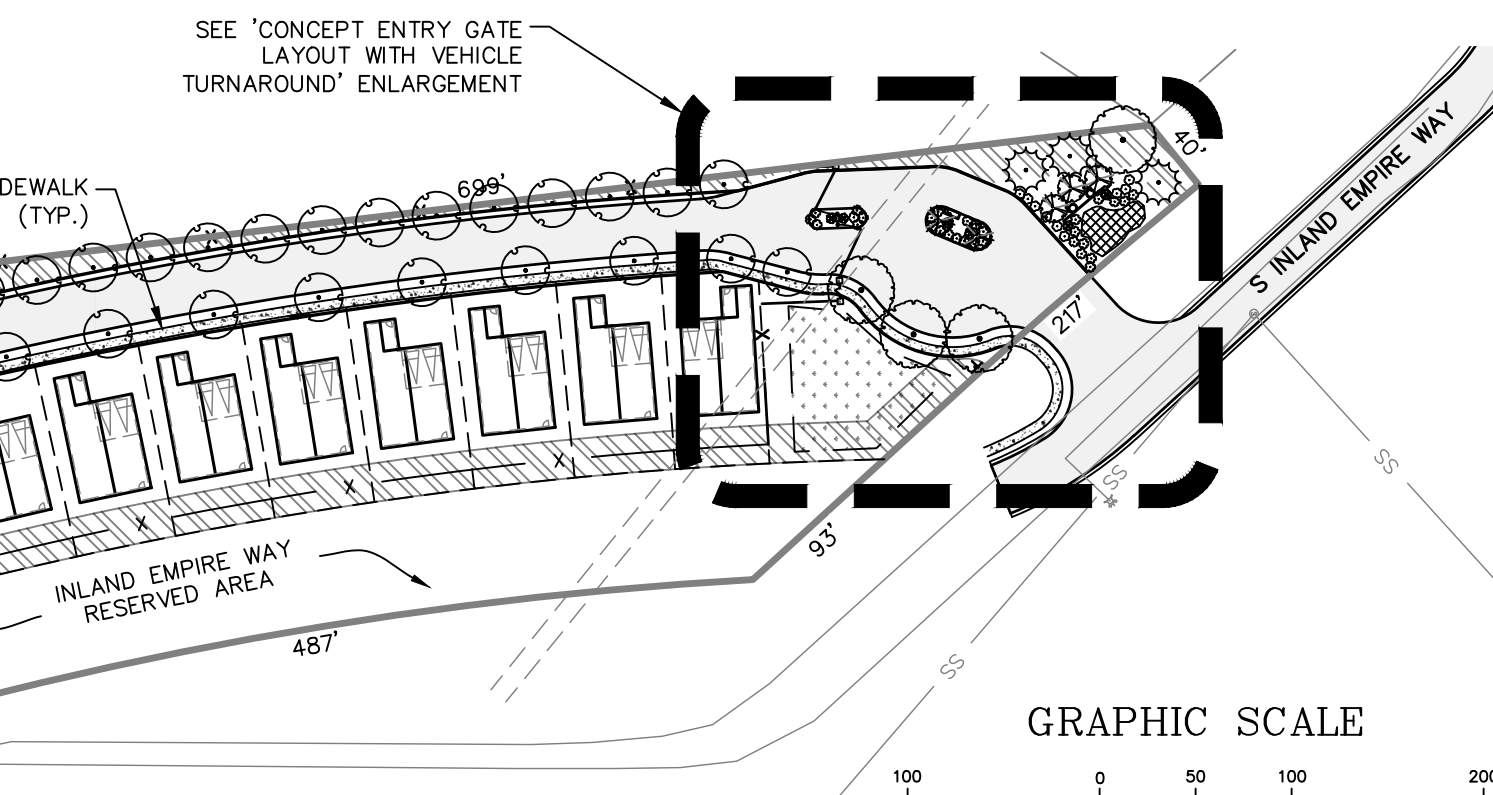
SITE PLAN - DESIGN CHARACTER
LATAH GLEN RESIDENTIAL COMMUNITY

CALLOUTS

- 1 PLANTER - DECIDUOUS AND EVERGREEN TREES, SHRUBS, AND PERENNIALS (TYP)
- 2 ORNAMENTAL VEHICLE GATE WITH MASONRY COLUMNS - SEE SHEET 3 FOR CHARACTER IMAGE AND NOTES.
- 3 GATE KEYPAD (TYP)
- 4 ORNAMENTAL PEDESTRIAN GATE WITH CONTROLLED ACCESS (TYP)
- 5 MASONRY MONUMENT SIGN - SEE SHEET 2 FOR SIGN CHARACTER AND NOTES.
- 6 CONCEPT BIORETENTION STORMWATER SWALE - SEE 'BIORETENTION STORMWATER SWALE CHARACTER'
- 7 QUEUED VEHICLE (TYP)



CONCEPT ENTRY GATE LAYOUT WITH VEHICLE TURNAROUND



BIORETENTION STORMWATER SWALE CHARACTER

TREE PALLETTE

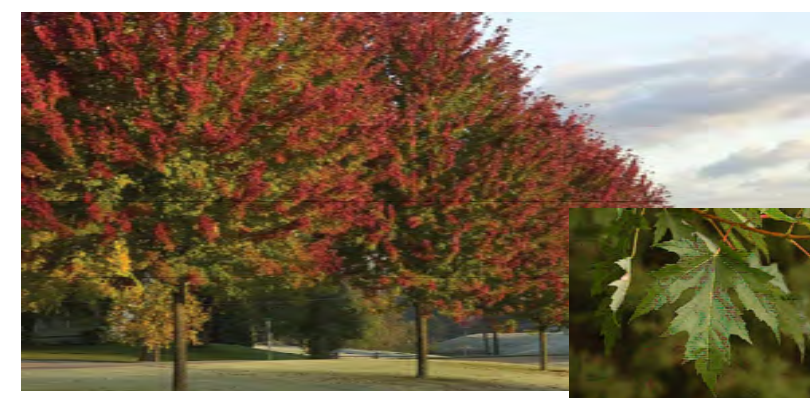
TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE
	AR2	Acer rubrum 'Bowhall'	Bowhall Maple	2" Cal.
	AR	Acer rubrum 'October Glory'™	October Glory Maple	2" Cal.
	AC	Acer x freemanii 'Celebration'™	Celebration Maple	2" Cal.
	GI	Gleditsia triacanthos inermis 'Sunburst'	Sunburst Thornless Honey Locust	2" Cal.
	MX	Malus x 'Spring Snow'	Spring Snow Crab Apple	2" Cal.
	PP	Pinus Ponderosa	Ponderosa Pine	6' TALL



BOWHALL MAPLE



OCTOBER GLORY MAPLE



CELEBRATION MAPLE



SUNBURST HONEYLOCUST



SPRING SNOW CRABAPPLE



PONDEROSA PINE

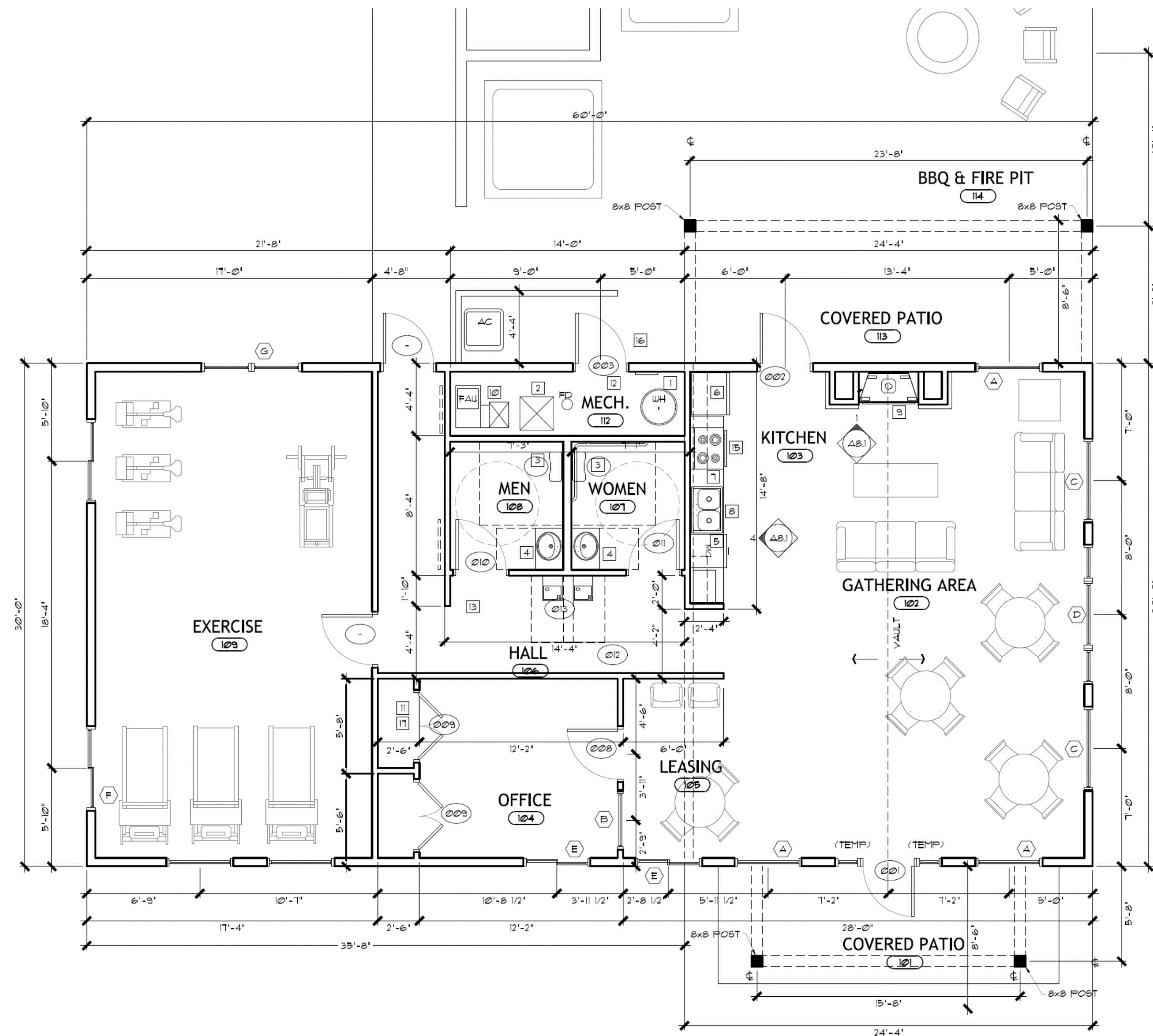
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DATE 11/03/2020	SCALE 1" = 100'
FIELD BOOK N/A	DRAWN WMS
PROJECT NUMBER 19-342	DRAWING NO. 3 OF 6

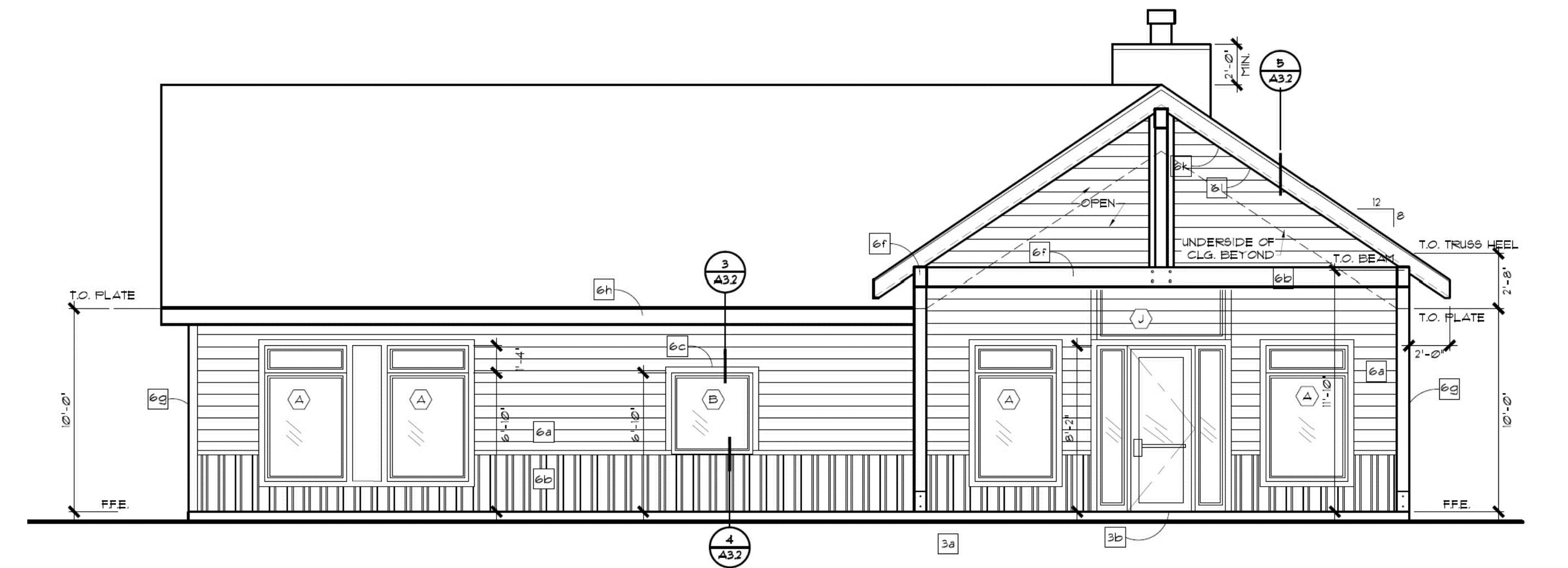
CONCEPT BUILDING DETAILS

LATAH GLEN RESIDENTIAL COMMUNITY

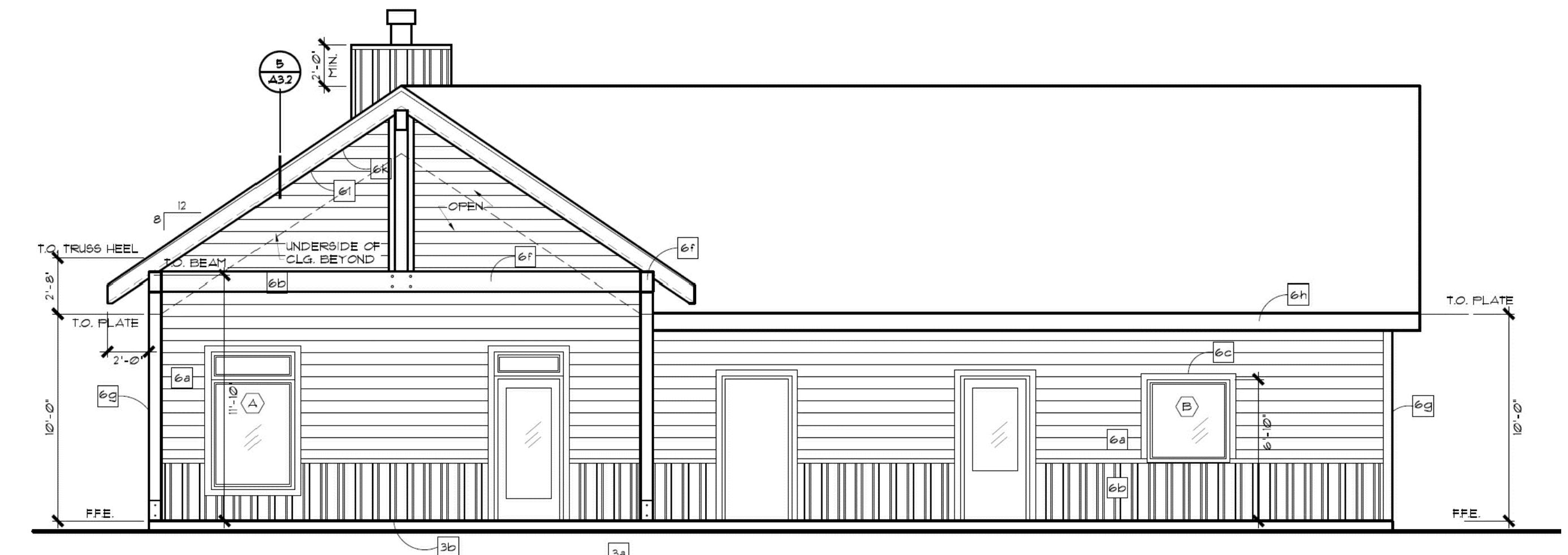
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SECTION 36, TOWNSHIP 25 NORTH, RANGE 43 EAST, W.M., SPOKANE, WASHINGTON



CONCEPT CLUBHOUSE – FLOOR PLAN



CONCEPT CLUBHOUSE – FRONT ELEVATION

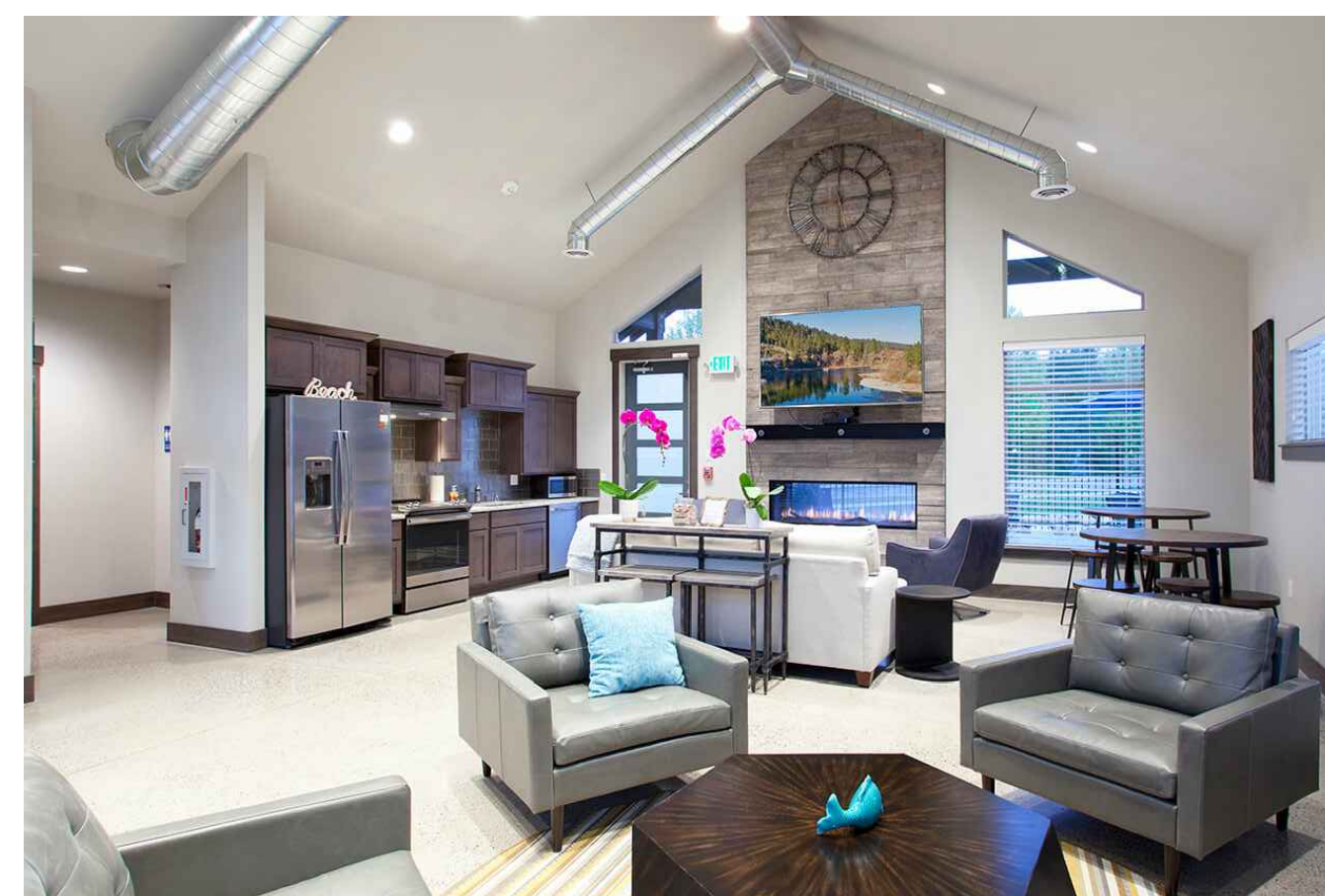


CONCEPT CLUBHOUSE – REAR ELEVATION

CONCEPT CLUBHOUSE – 1,800 SF



CONCEPT CLUBHOUSE – NORTHWEST CHARACTER



CLUBHOUSE NOTES:

1. FINAL DESIGN OF CLUBHOUSE WILL INFORM SITE CHARACTER ELEMENTS INTO A COHESIVE THEME - SEE SHEET 5, CONCEPT ENTRY CHARACTER.
2. FINAL DESIGN OF CLUBHOUSE IN NORTHWEST CHARACTER MAY VARY.

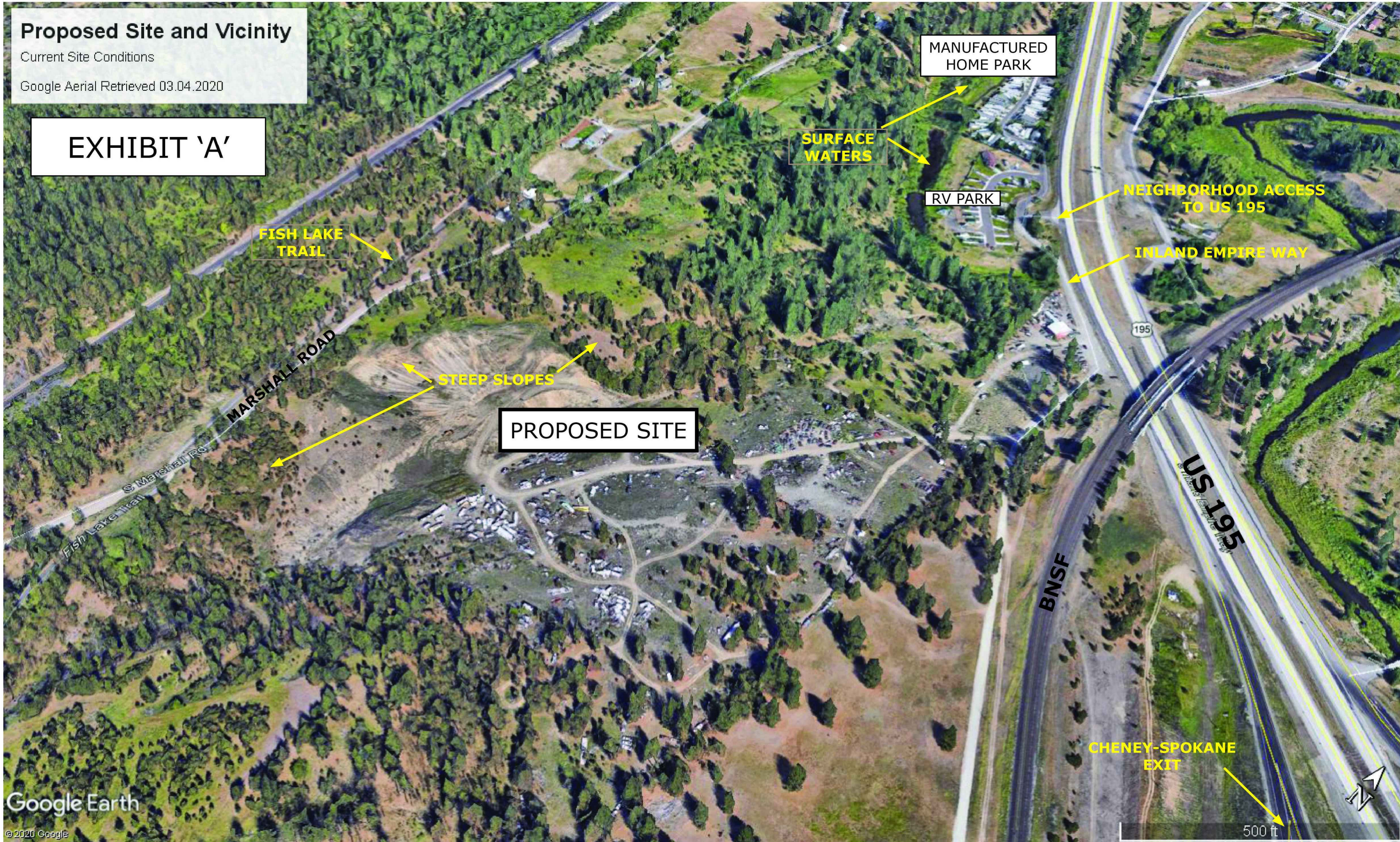


DATE 11/03/2020	SCALE N/A
FIELD BOOK N/A	DRAWN WMS
PROJECT NUMBER 19-342	DRAWING NO. 4 OF 5

NEIGHBORHOOD AND SITE DETAILS

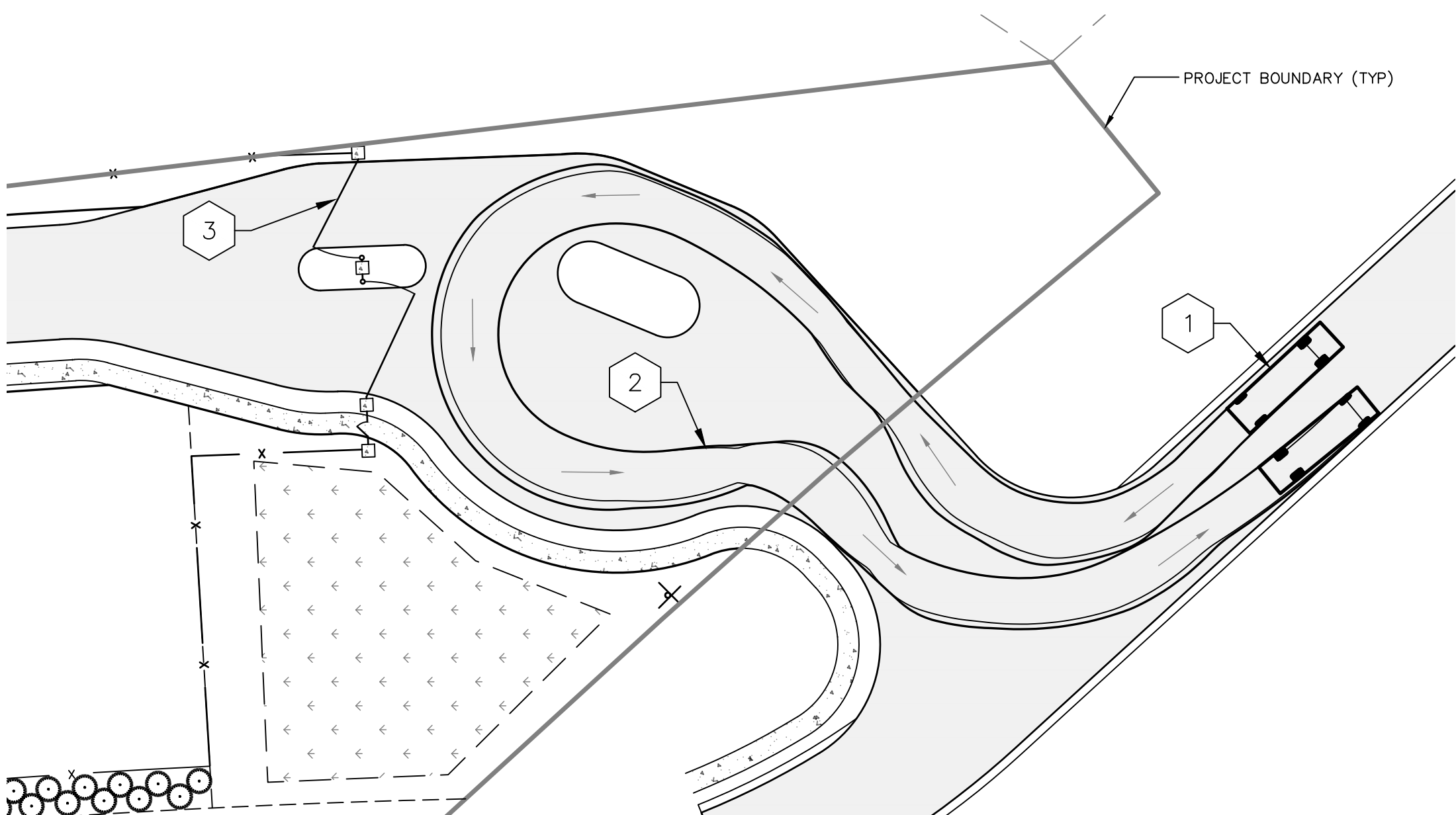
LATAH GLEN RESIDENTIAL COMMUNITY

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VICINITY CHARACTER

NEIGHBORHOOD CHARACTER



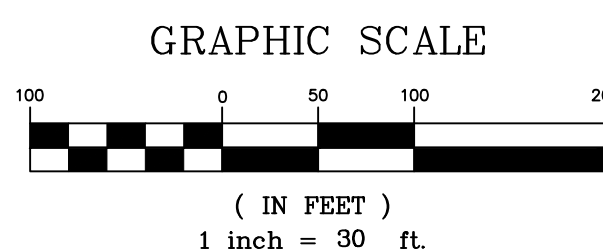
FIRE TRUCK TURNAROUND AT ENTRY GATE

CALLOUTS

- | | |
|---|-----------------------------|
|  | FIRE TRUCK (TYP) |
|  | FIRE TRUCK WHEEL PATH (TYP) |
|  | GATE (TYP) |

GRASSES	CODE	BOTANICAL NAME	COMMON NAME
AB		<i>Eragrostis ciliaris</i> "Pacific Fire"	Vine Maple
AK		<i>Briza media</i> "Great Mountain"	Yellow Pine
CS2		<i>Cornus sericea</i>	Red Tangle
CS3		<i>Cornus sericea</i> "Pawpaw"	Yellow Pine
HB		<i>Hibiscus syriacus</i> "Blue Satin"	Shade of Sharon
		<i>Hedysarum odoratum</i>	Mountain Mustard
HA2		<i>Hydrangea anomala</i>	Climbing Hydrangea
HA3		<i>Blue x. macrophylla</i> "Blue Boy"	Blue Boy Hydrangea
HA4		<i>Blue x. macrophylla</i> "Blue Boy"	Blue Girl Hydrangea
HA5		<i>Hydrangea anomala</i>	Witch's Blue
HA6		<i>Hydrangea anomala</i> "Witch's Blue"	Witch's Blue
HA7		<i>Hydrangea anomala</i>	Dragon Drop
PF		<i>Potentilla fruticosa</i> "Gold Star"	Gold Star Potentilla
PL		<i>Prunus laurocerasus</i> "Odo Lyken"	Laurel Leaf
		<i>Pyracantha coccinea</i>	Scarlet Firethorn
		<i>Rosa trilobata</i>	Dakota Rose
SA		<i>Spiraea alba</i> "Anthony Water"	Anthony Water
TO		<i>Spiraea alba</i> "Anthony Water"	Anthony Water
TO		<i>Thalictrum occidentale</i>	Emerald Green
VF		<i>Viburnum corymbosum</i>	Blackhaw
VF		<i>Viburnum plumifolium</i> "Dorchester"	Dorchester Vib
VF		<i>Wegelia florida</i> "Eterna"	Wegelia
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME
DF		<i>Oenothera lutea</i> "m-l"	Robust Heliopsis
HX2		<i>Hemerocallis x. Autumn Joy</i>	Daylily
HX		<i>Hemerocallis x. Stella de Oro</i>	Stella de Oro
HA		<i>Husula x. Fragrant Blue</i>	Fragrant Blue
JP		<i>Perovskia atrorubra</i>	Russian Sage
PC2		<i>Penstemon alba</i> "Cotton Candy"	Cotton Candy
PC3		<i>Penstemon alba</i>	Emerald Blue
PC4		<i>Penstemon muricatus</i>	Wendland Purple
PC5		<i>Penstemon muricatus</i>	Wendland Purple
PC6		<i>Penstemon muricatus</i>	Wendland Purple
PC7		<i>Penstemon muricatus</i>	Wendland Purple
PC8		<i>Penstemon muricatus</i>	Wendland Purple
PC9		<i>Penstemon muricatus</i>	Wendland Purple
PC10		<i>Penstemon muricatus</i>	Wendland Purple
PC11		<i>Penstemon muricatus</i>	Wendland Purple
PC12		<i>Penstemon muricatus</i>	Wendland Purple
PC13		<i>Penstemon muricatus</i>	Wendland Purple
PC14		<i>Penstemon muricatus</i>	Wendland Purple
PC15		<i>Penstemon muricatus</i>	Wendland Purple
PC16		<i>Penstemon muricatus</i>	Wendland Purple
PC17		<i>Penstemon muricatus</i>	Wendland Purple
PC18		<i>Penstemon muricatus</i>	Wendland Purple
PC19		<i>Penstemon muricatus</i>	Wendland Purple
PC20		<i>Penstemon muricatus</i>	Wendland Purple
PC21		<i>Penstemon muricatus</i>	Wendland Purple
PC22		<i>Penstemon muricatus</i>	Wendland Purple
PC23		<i>Penstemon muricatus</i>	Wendland Purple
PC24		<i>Penstemon muricatus</i>	Wendland Purple
PC25		<i>Penstemon muricatus</i>	Wendland Purple
PC26		<i>Penstemon muricatus</i>	Wendland Purple
PC27		<i>Penstemon muricatus</i>	Wendland Purple
PC28		<i>Penstemon muricatus</i>	Wendland Purple
PC29		<i>Penstemon muricatus</i>	Wendland Purple
PC30		<i>Penstemon muricatus</i>	Wendland Purple
PC31		<i>Penstemon muricatus</i>	Wendland Purple
PC32		<i>Penstemon muricatus</i>	Wendland Purple
PC33		<i>Penstemon muricatus</i>	Wendland Purple
PC34		<i>Penstemon muricatus</i>	Wendland Purple
PC35		<i>Penstemon muricatus</i>	Wendland Purple
PC36		<i>Penstemon muricatus</i>	Wendland Purple
PC37		<i>Penstemon muricatus</i>	Wendland Purple
PC38		<i>Penstemon muricatus</i>	Wendland Purple
PC39		<i>Penstemon muricatus</i>	Wendland Purple
PC40		<i>Penstemon muricatus</i>	Wendland Purple
PC41		<i>Penstemon muricatus</i>	Wendland Purple
PC42		<i>Penstemon muricatus</i>	Wendland Purple
PC43		<i>Penstemon muricatus</i>	Wendland Purple
PC44		<i>Penstemon muricatus</i>	Wendland Purple
PC45		<i>Penstemon muricatus</i>	Wendland Purple
PC46		<i>Penstemon muricatus</i>	Wendland Purple
PC47		<i>Penstemon muricatus</i>	Wendland Purple
PC48		<i>Penstemon muricatus</i>	Wendland Purple
PC49		<i>Penstemon muricatus</i>	Wendland Purple
PC50		<i>Penstemon muricatus</i>	Wendland Purple
PC51		<i>Penstemon muricatus</i>	Wendland Purple
PC52		<i>Penstemon muricatus</i>	Wendland Purple
PC53		<i>Penstemon muricatus</i>	Wendland Purple
PC54		<i>Penstemon muricatus</i>	Wendland Purple
PC55		<i>Penstemon muricatus</i>	Wendland Purple
PC56		<i>Penstemon muricatus</i>	Wendland Purple
PC57		<i>Penstemon muricatus</i>	Wendland Purple
PC58		<i>Penstemon muricatus</i>	Wendland Purple
PC59		<i>Penstemon muricatus</i>	Wendland Purple
PC60		<i>Penstemon muricatus</i>	Wendland Purple
PC61		<i>Penstemon muricatus</i>	Wendland Purple
PC62		<i>Penstemon muricatus</i>	Wendland Purple
PC63		<i>Penstemon muricatus</i>	Wendland Purple
PC64		<i>Penstemon muricatus</i>	Wendland Purple
PC65		<i>Penstemon muricatus</i>	Wendland Purple
PC66		<i>Penstemon muricatus</i>	Wendland Purple
PC67		<i>Penstemon muricatus</i>	Wendland Purple
PC68		<i>Penstemon muricatus</i>	Wendland Purple
PC69		<i>Penstemon muric</i>	

PLANT LIST



(IN FEET)
1 inch = 30 ft

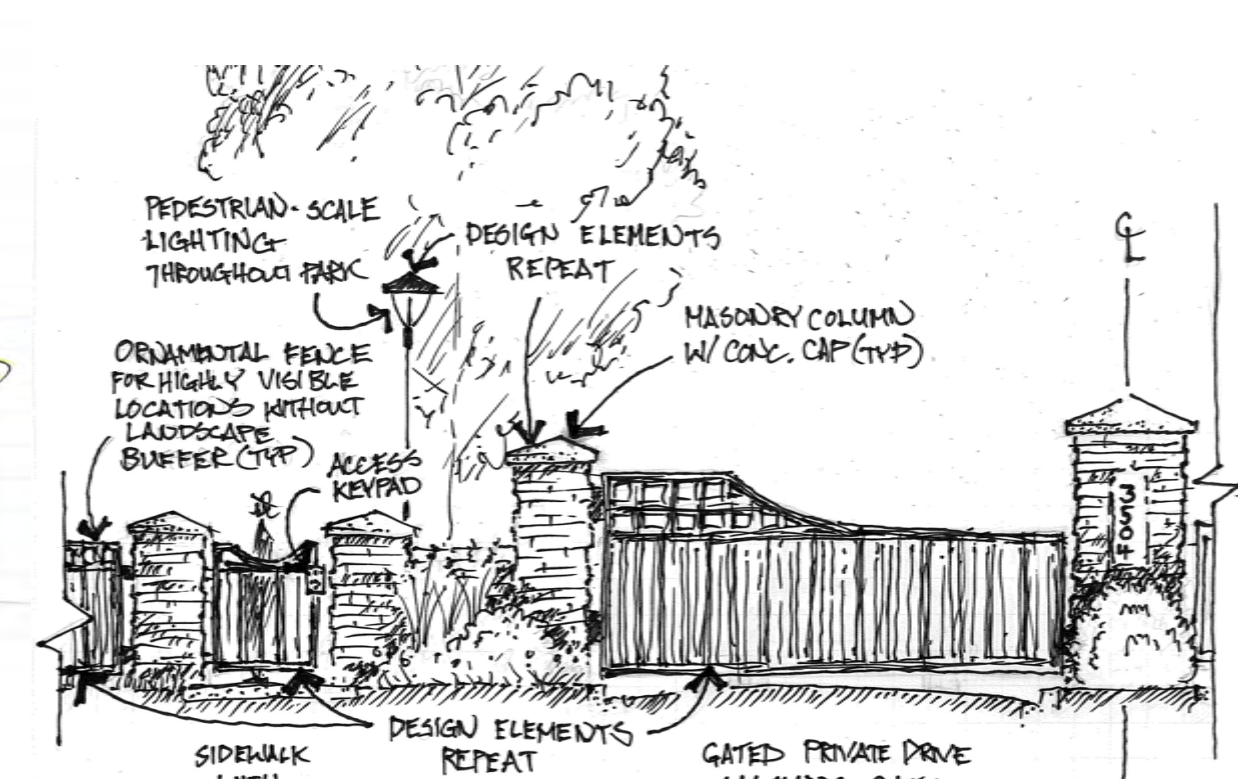
1 inch = 30 ft

CONCEPT ENTRY/SITE CHARACTER NOTES:

1. GATE EQUIPPED WITH KNOX BOX FOR EMERGENCY VEHICLE ACCESS.
2. SITE SIGNAGE, GATE, VISIBLE FENCING, LIGHTING, AND SEATING TO COMPLIMENT THE NORTHWEST CHARACTER OF THE CLUBHOUSE FINAL DESIGN.
3. FINAL DESIGN MAY VARY.



CONCEPT MONUMENT SIGN



CONCEPT GATE AREA CHARACTER

CONCEPT COHESIVE ENTRY/SITE CHARACTER



DATE 11/03/2020	SCALE N/A
FIELD BOOK N/A	DRAWN WMS
PROJECT NUMBER 19-342	DRAWING NO. 5 OF 5

EXHIBIT 'B'

CONCEPT STORMWATER PLAN
LATAH GLEN RESIDENTIAL COMMUNITY

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER
AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER,
SECTION 36, TOWNSHIP 25 NORTH, RANGE 43 EAST, W.M., SPOKANE, WASHINGTON



PROJECT INFORMATION

STORM DRAIN QUANTITIES:

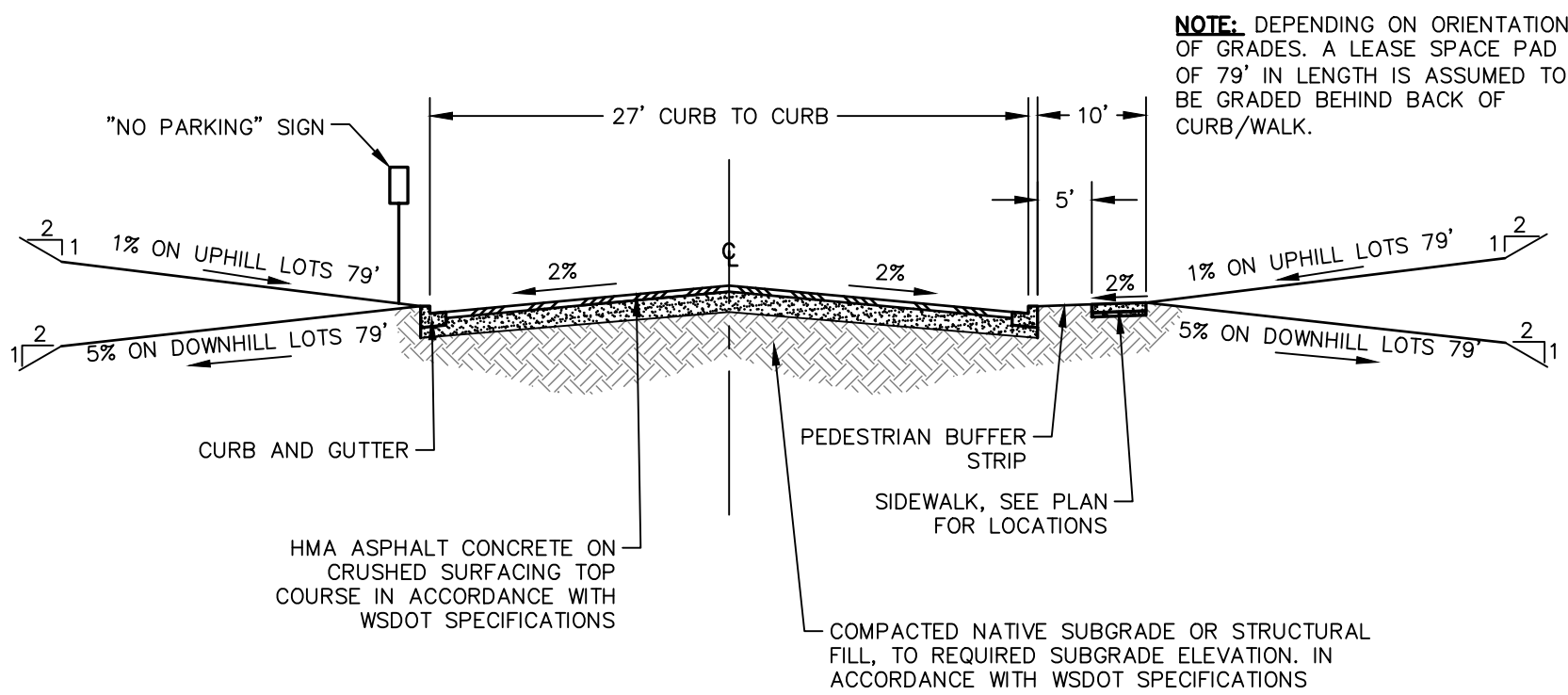
CATCH BASIN	75
DRY WELLS	7
STORM DRAIN PIPE	6250 LF
(SEE PLAN FOR SIZES)	

STORM DRAIN NOTES:

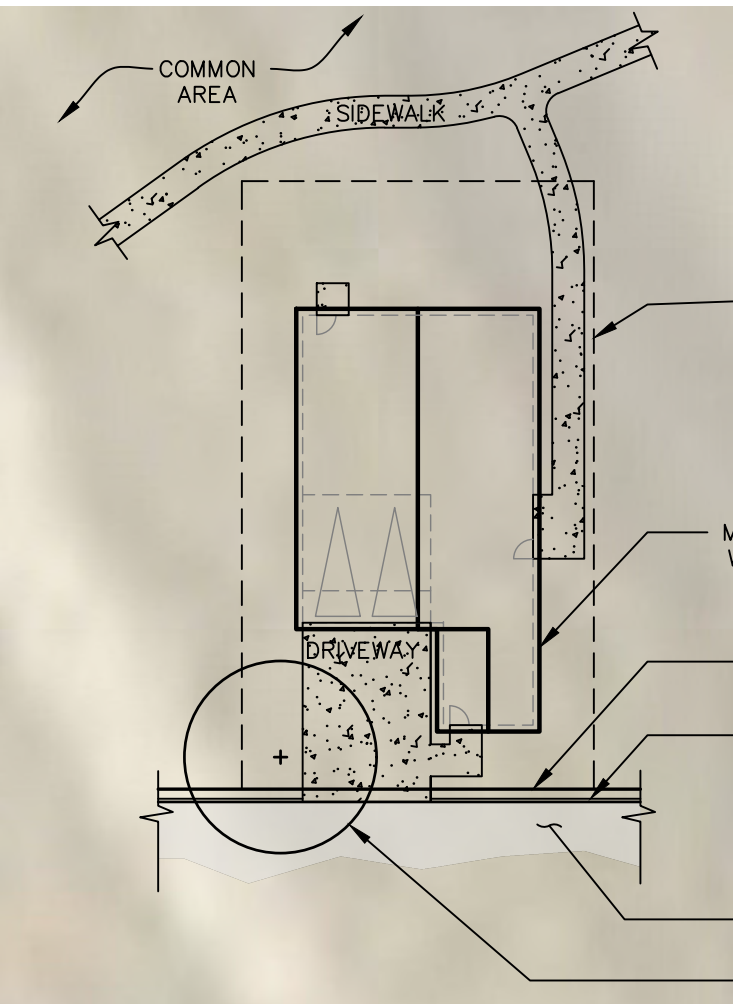
1. CATCH BASIN AS SHOWN TO BE CITY OF SPOKANE STD. PLAN B-101C "TYPE 1 - CATCH BASIN"
2. STORM DRAIN PIPE SHALL BE CPEP (CORRUGATED POLYETHYLENE PIPE) PER ADVANCED DRAINAGE SYSTEM (ADS) N-12, CONSTRUCTED PER ISPMW SPECIFICATIONS.
3. DRY WELLS AS LISTED TO BE CITY OF SPOKANE STD. PLAN B-102D "DRYWELL - TYPE 2"

SHEET INDEX

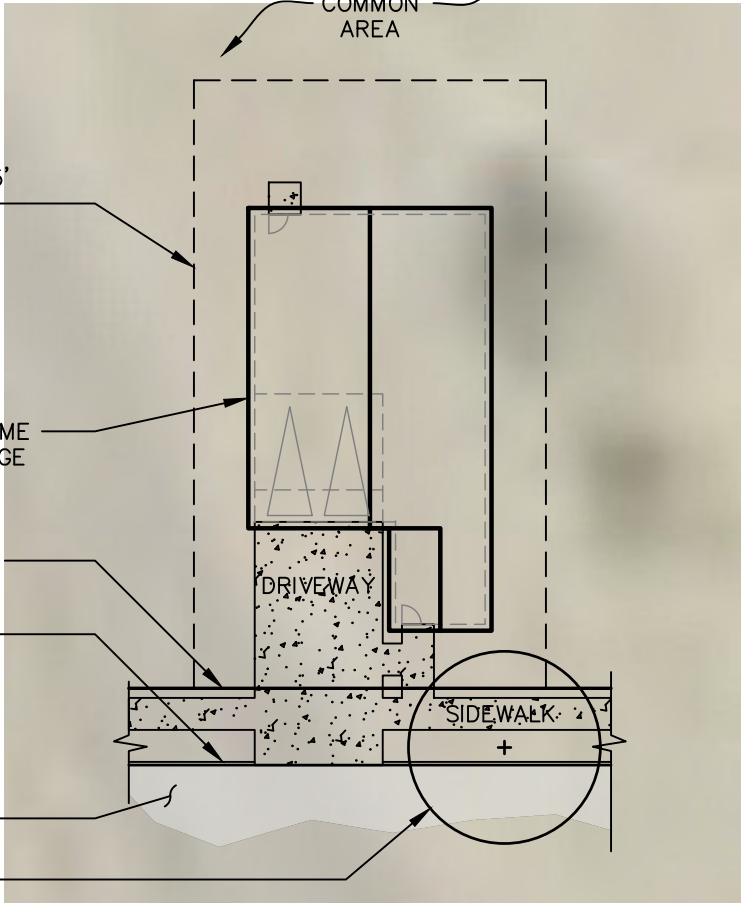
STORM DRAIN PLAN	SHEET 1 OF 3
UTILITY PLAN	SHEET 2 OF 3
PROFILE PLAN	SHEET 3 OF 3



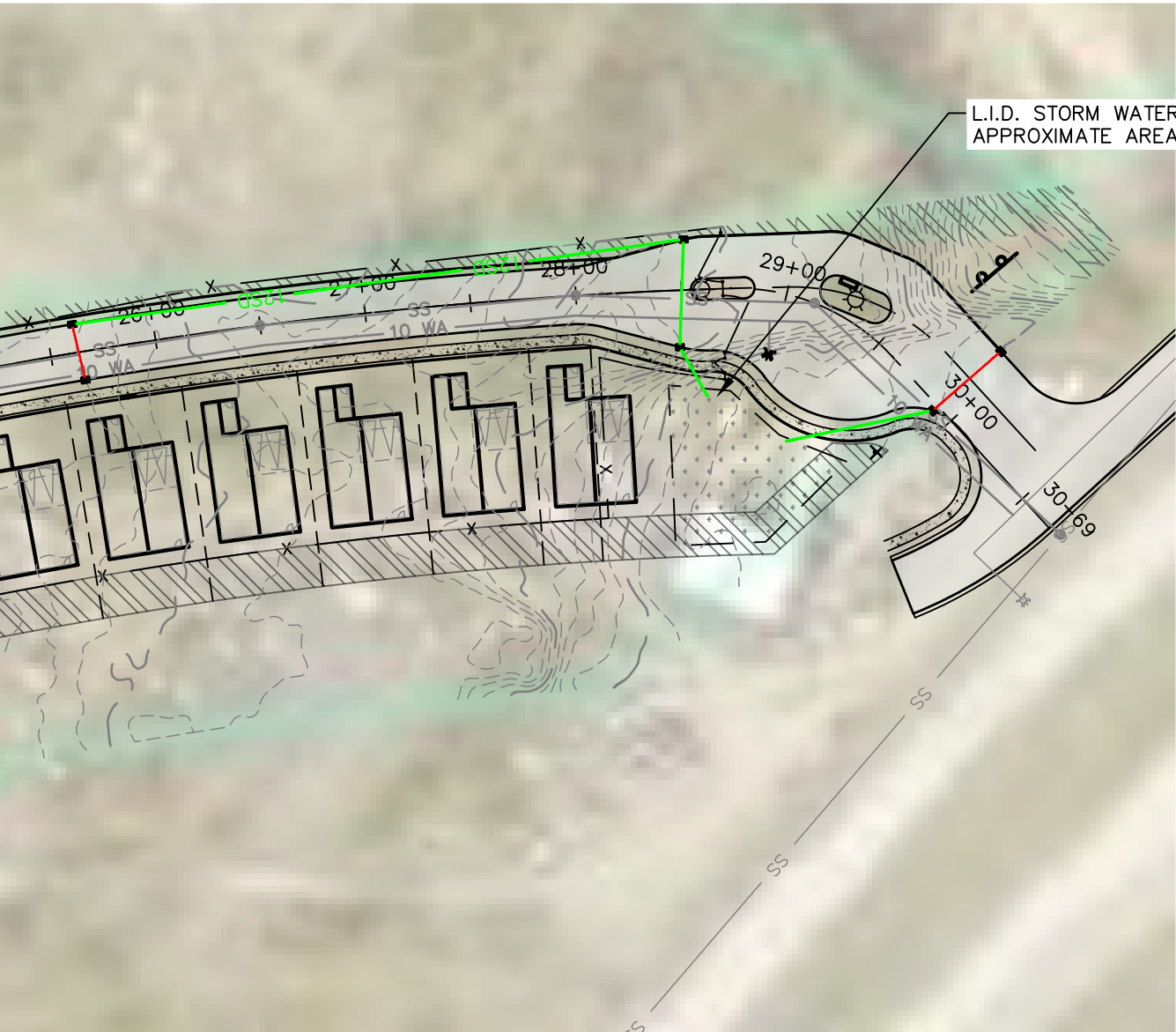
TYPICAL PRIVATE ROAD SECTION
NTS



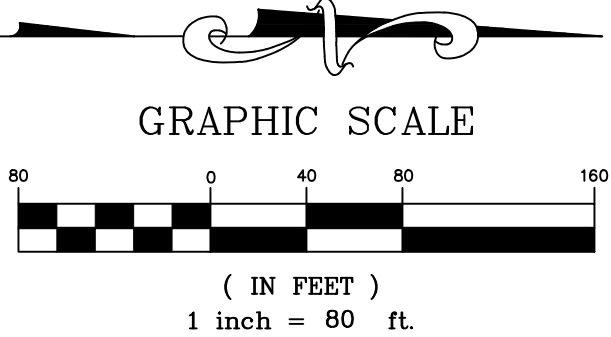
TYPICAL LEASE SPACE
SIDEWALK IN COMMON AREA
NTS



TYPICAL LEASE SPACE
SIDEWALK AT ROAD
NTS



STORM PIPE LEGEND



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DATE	09/30/2020	SCALE	1" = 80'
FIELD BOOK	NA	DRAWN	LMC
PROJECT NUMBER	19-342	DRAWING NO.	1 OF 3

CONCEPT UTILITY PLAN
LATAH GLEN RESIDENTIAL COMMUNITY

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER
AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER,
SECTION 36, TOWNSHIP 25 NORTH, RANGE 43 EAST, W.M., SPOKANE, WASHINGTON

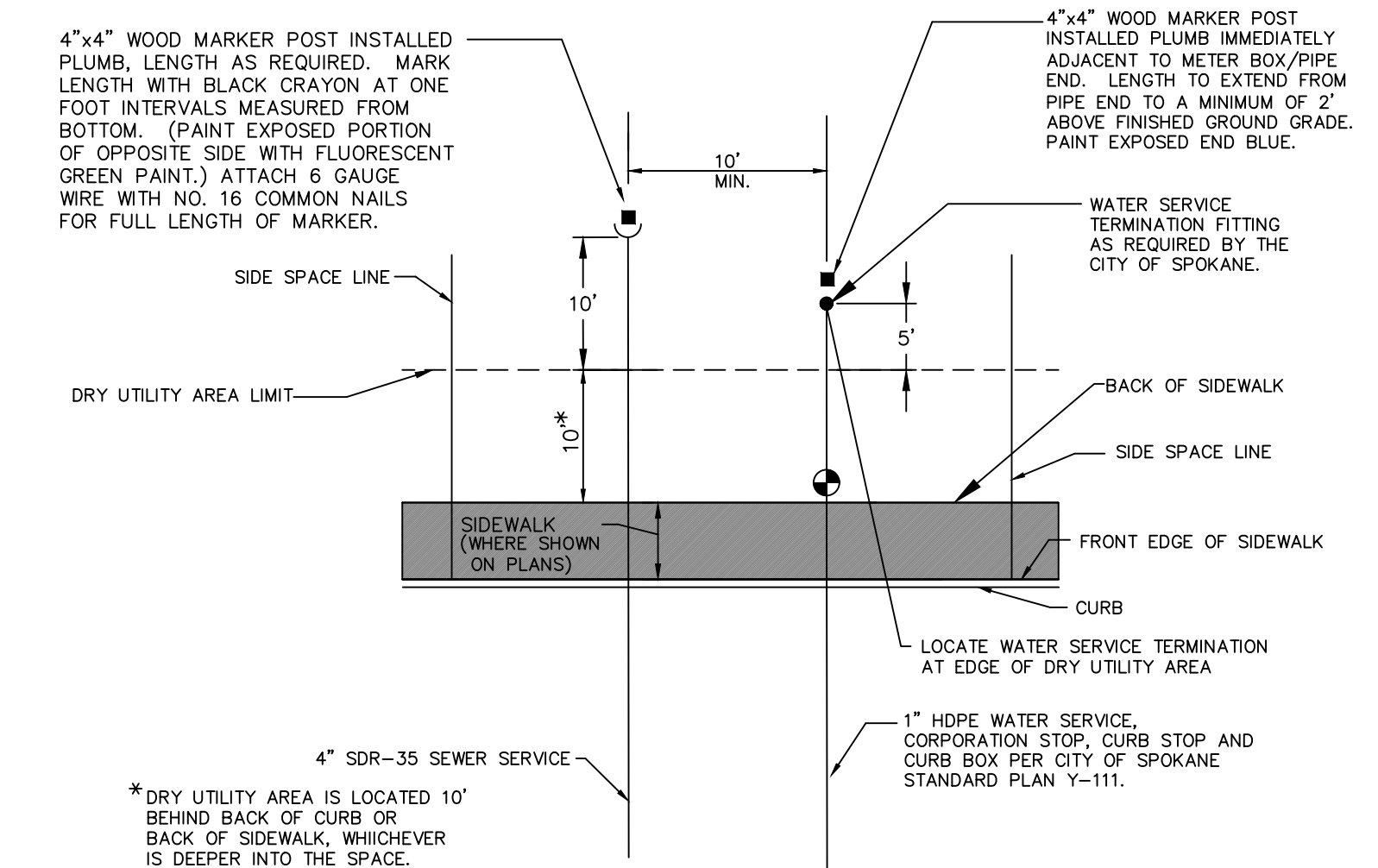
WATER MAIN	6880 LF
FIRE HYDRANTS	16
SANITARY SEWER MANHOLE	51
SANITARY SEWER MAIN (8")	6710 LF

UTILITY NOTES:

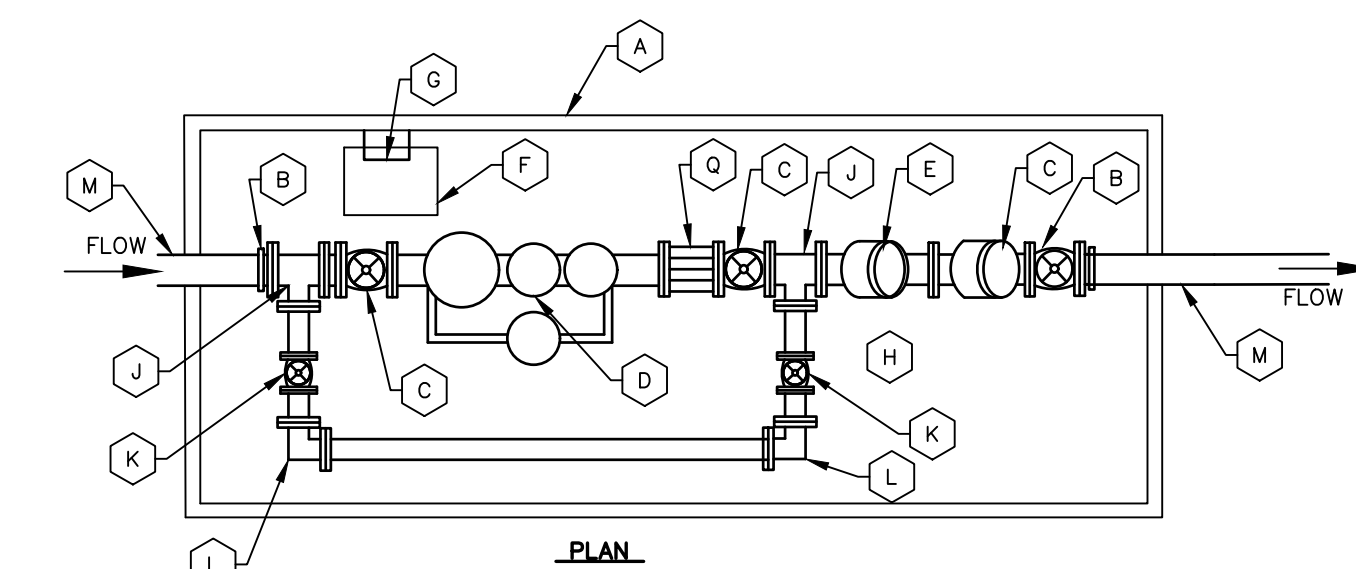
1. WATER PIPE, VALVES, AND FITTINGS (NOT INCLUDING SERVICES) SHALL BE DUCTILE IRON OR MECHANICAL JOINT DUCTILE IRON.
2. SANITARY SEWER MAINS AND SERVICES SHALL BE PVC, ASTM D 3034, SDR 35 WITH FLEXIBLE GASKET JOINTS. SEWER SERVICE CONNECTIONS SHALL BE MADE BY A TAP TO AN EXISTING MAIN, OR A TEE BRANCH FROM A NEW MAIN CONNECTED ABOVE THE SPRING LINE OF THE PIPE. SERVICE CONNECTIONS TO MANHOLES ARE PROHIBITED. SEWER SERVICES SHALL BE AT RIGHT ANGLES TO THE SEWER MAIN.

TABLE

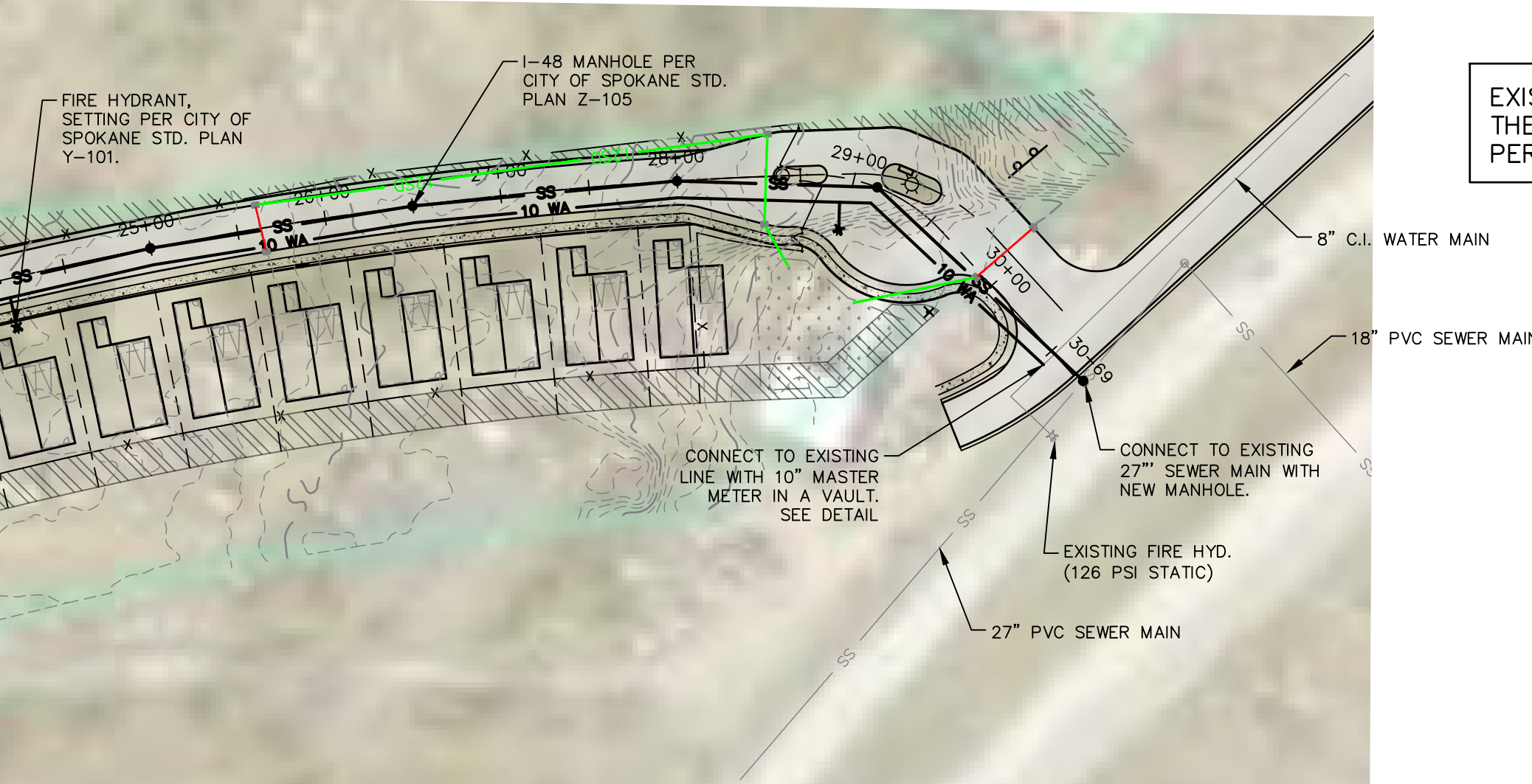
- | | |
|---|---|
| A | PRECAST CONCRETE METER VAULT, 7'W X 12'L X 6.5'H LARGE UTILITY VAULT, WILBERT PRECAST 1909 OR APPROVED EQUAL, SET ON 6" OF CRUSHED ROCK, VERIFY VAULT SIZE AND SPEC WITH CITY OF SPOKANE PRIOR TO CONSTRUCTION. |
| B | 10" MJXF6 ADAPTER W/ MEGA-LUG MJ GAND KIT |
| C | 10" GATE VALVE |
| D | 10" NEPTUNE PROTECTUS III 3 COMBINATION FIRE/DOMESTIC METER PROVIDED BY CITY OF SPOKANE, INSTALLED BY CONTRACTOR |
| E | 10" WATTS DOUBLE CHECK VALVE ASSEMBLY |
| F | 60"x36" DOUBLE DOOR ALUMINUM ACCESS HATCH HALLIDAY S2R6036 OR APPROVED EQUAL. |
| G | POLY COATED STEEL STEPS |
| H | PROVIDE ADJUSTABLE STEEL PIPE SUPPORTS SUPPORTED ON CONCRETE FOOTING IN 3 LOCATION BELOW ASSEMBLY |
| J | 10"x10"x4" TEE FL |
| K | 4" GATE VALVE |
| L | 4" 90° ELBOW |
| M | EXTEND 10" DUCTILE IRON PIPE 5' BEYOND OUTER WALL OF VAULT. |
| N | FLANGED DISMANTLING JOINT, ROMAN DJ400 OR EQUAL. |



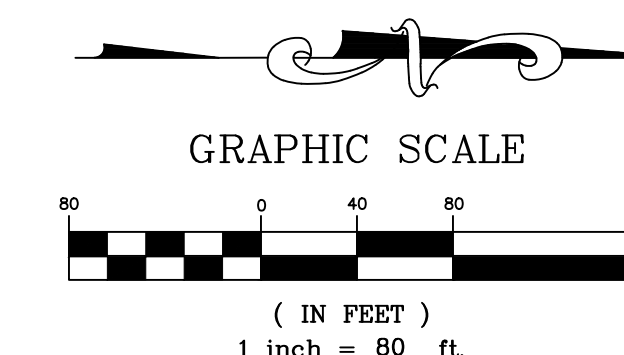
TYPICAL WATER AND SEWER SERVICE LOCATION



METER VAULT



EXISTING UTILITIES SHOWN IN
THEIR APPROXIMATE LOCATION
PER CITY OF SPOKANE GIS

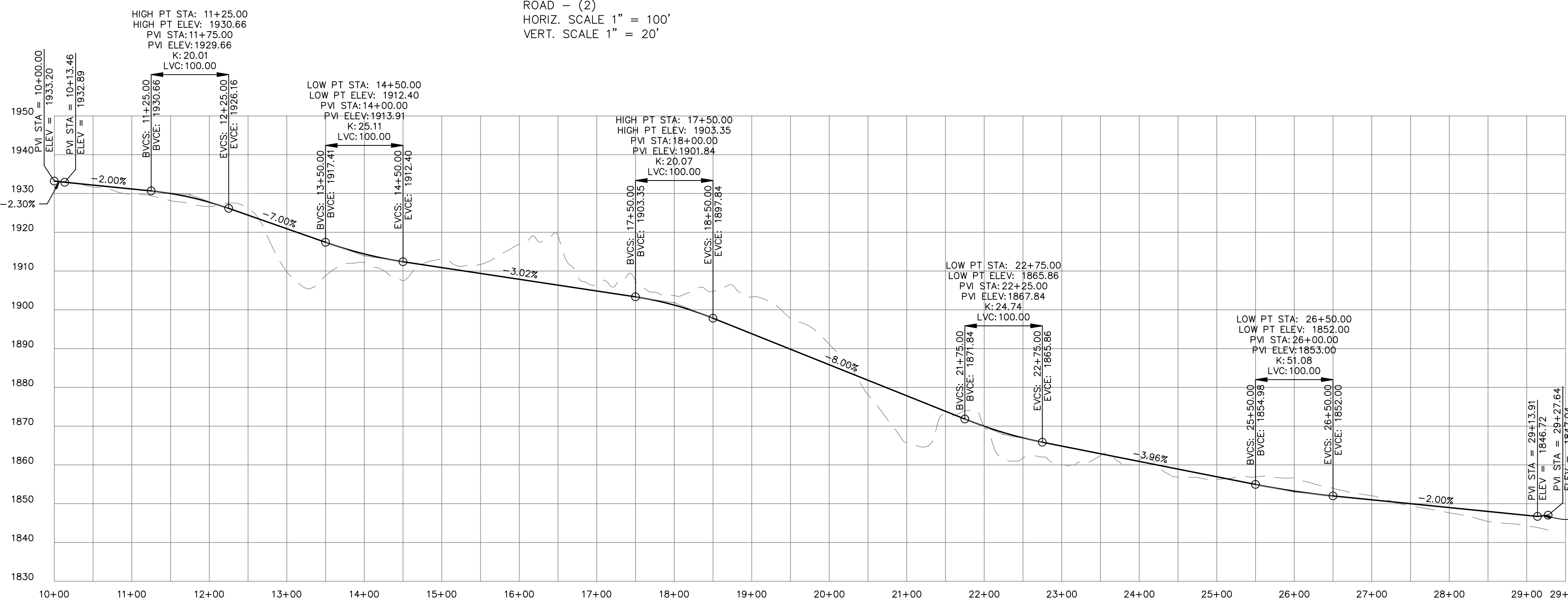
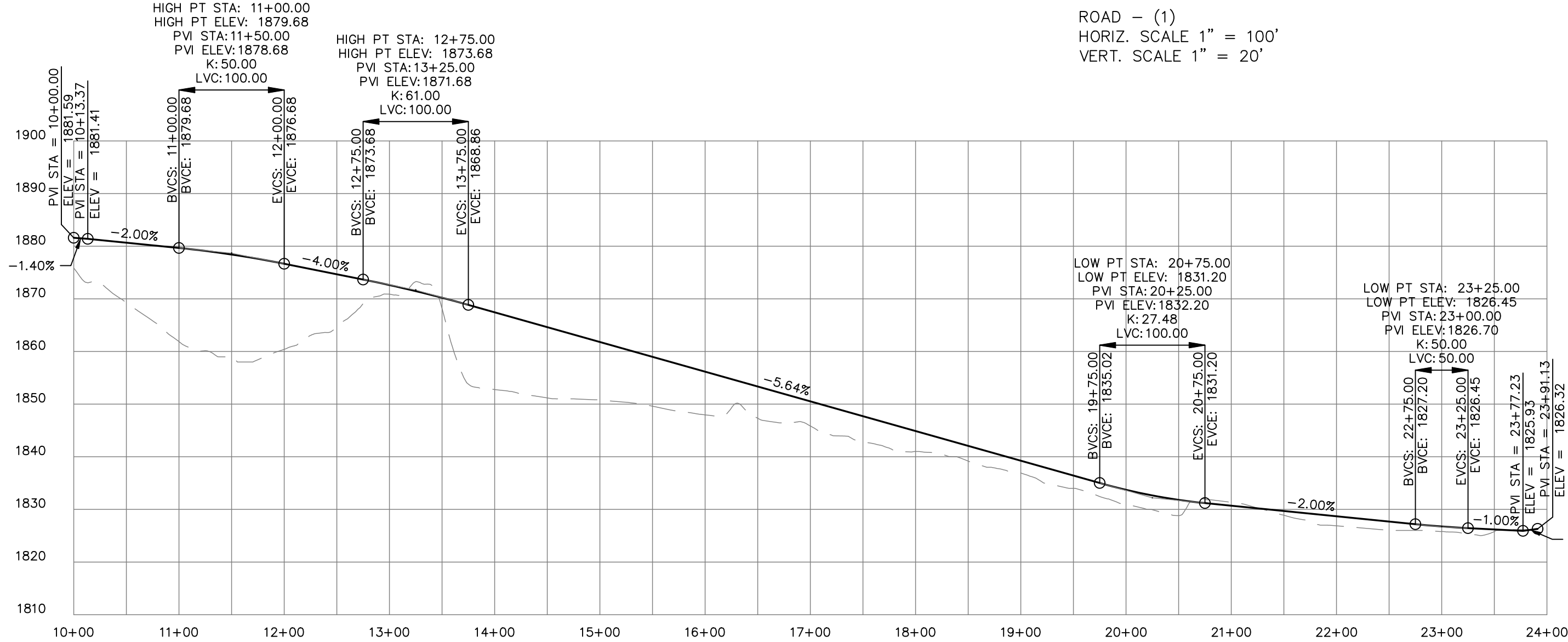
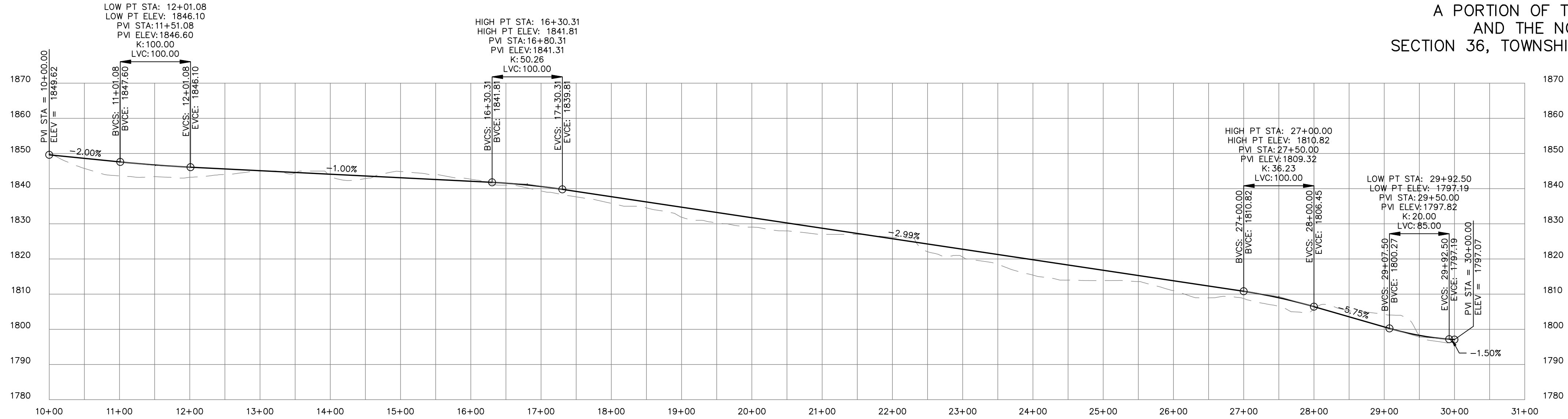


DATE 09/30/2020	SCALE 1" = 80'
FIELD BOOK NA	DRAWN LMC
PROJECT NUMBER 19-342	DRAWING NO. 2 OF 3

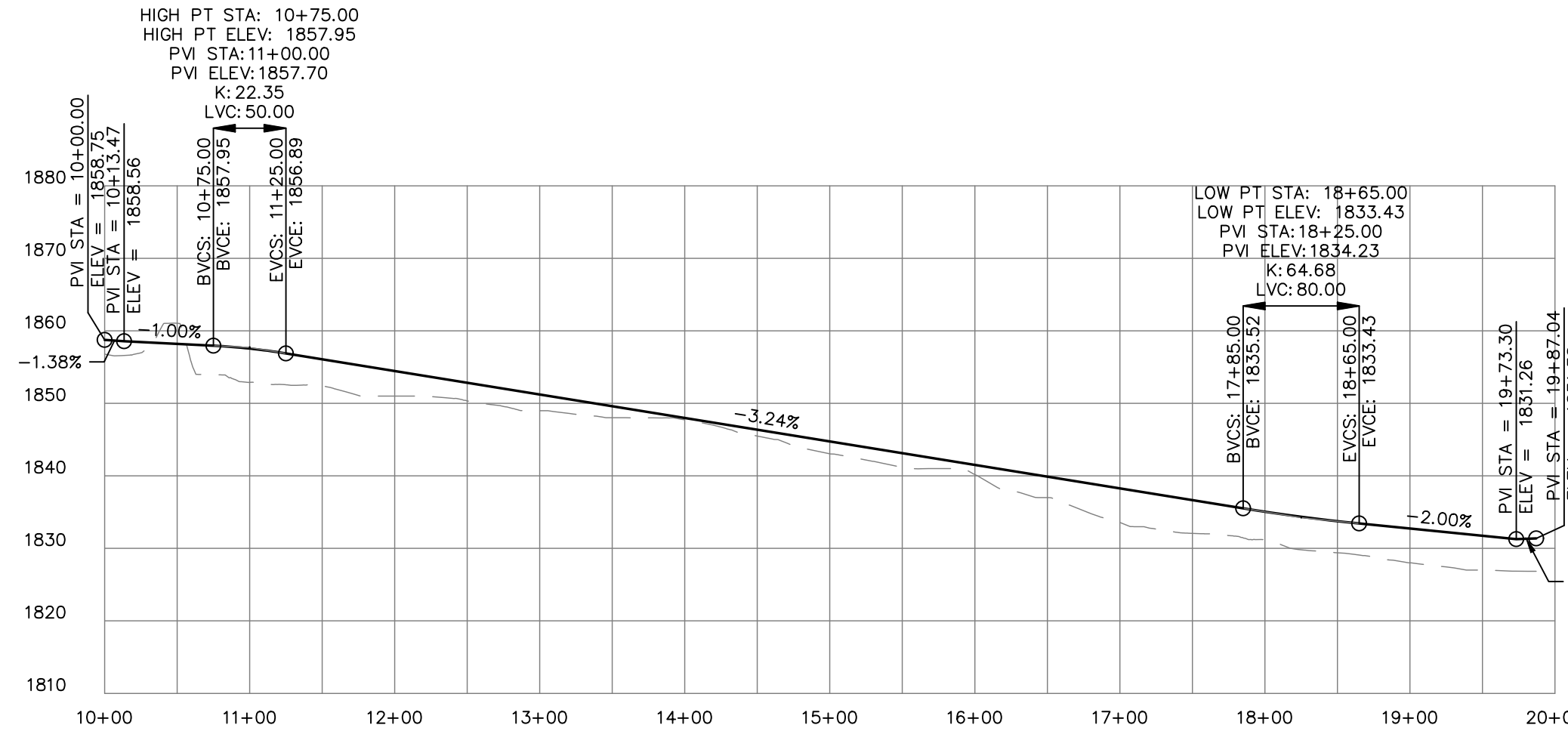
CONCEPT ROAD PROFILES

LATAH GLEN RESIDENTIAL COMMUNITY

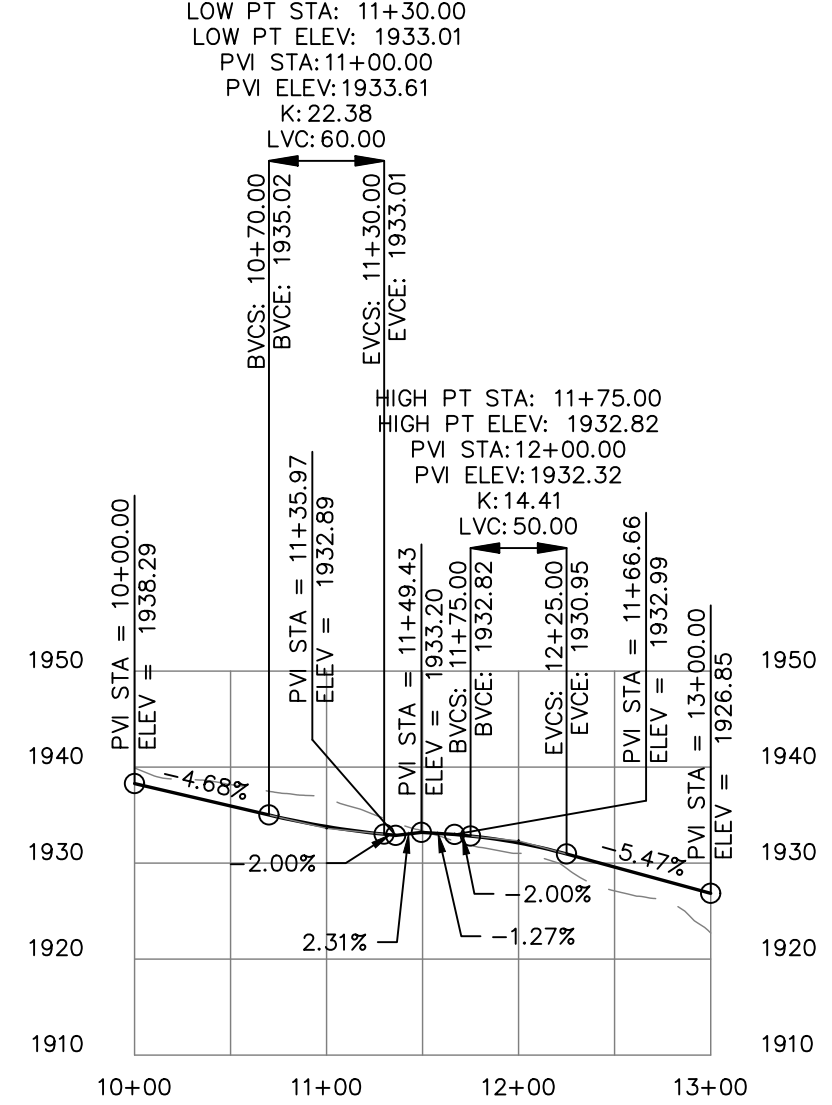
A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER
AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER,
SECTION 36, TOWNSHIP 25 NORTH, RANGE 43 EAST, W.M., SPOKANE, WASHINGTON



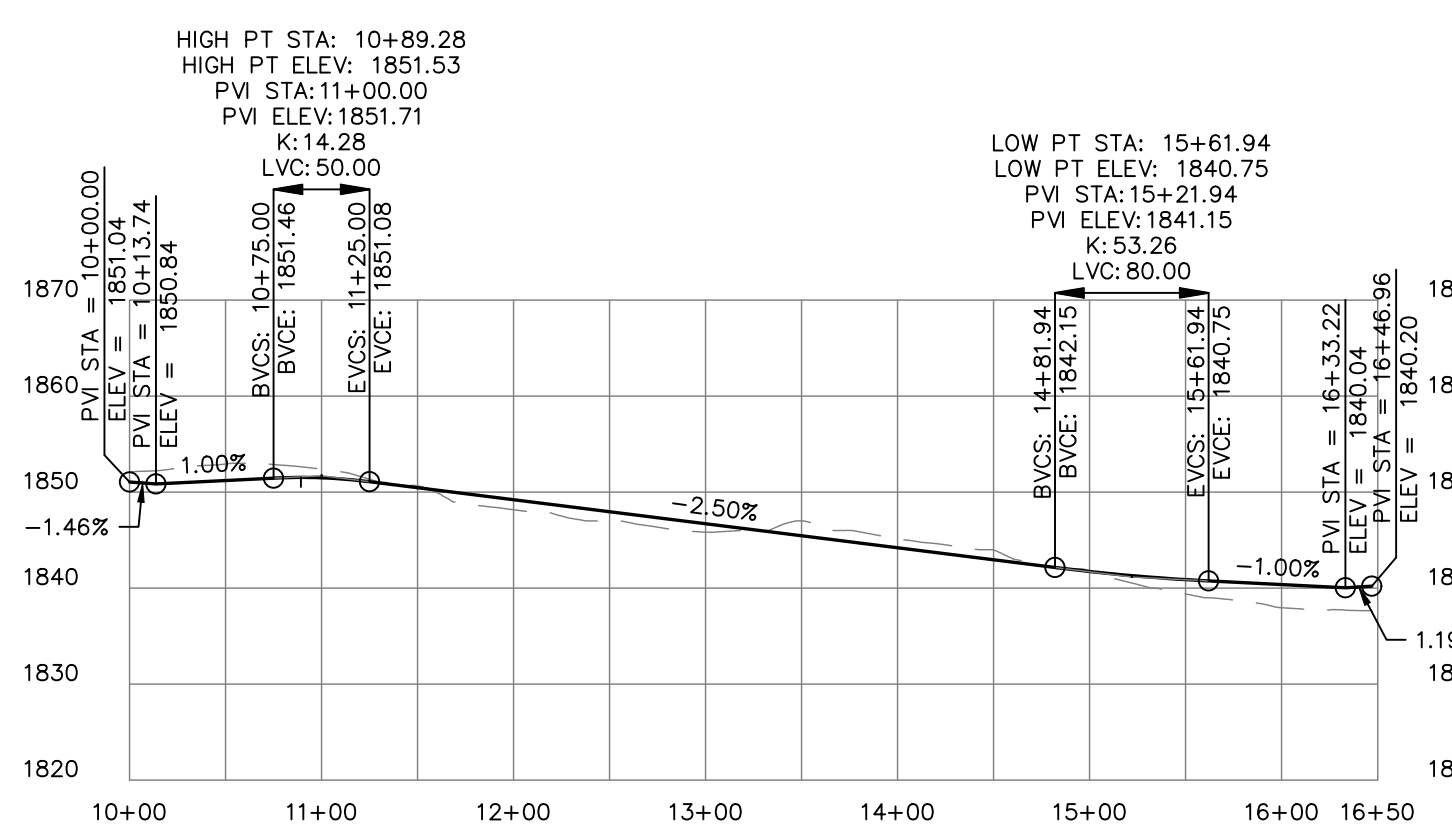
ROAD - (3)
HORIZ. SCALE 1" = 100'
VERT. SCALE 1" = 20'



ROAD - (4)
HORIZ. SCALE 1" = 100'
VERT. SCALE 1" = 20'



ROAD - (7)
HORIZ. SCALE 1" = 100'
VERT. SCALE 1" = 20'



ROAD - (5)
HORIZ. SCALE 1" = 100'
VERT. SCALE 1" = 20'



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DATE 09/30/2020	SCALE 1" = 80'
FIELD BOOK NA	DRAWN LMC
PROJECT NUMBER 19-342	DRAWING NO. 3 OF 3

KEYED NOTES

- 1

ELECTRIC WATER HEATER - SEE PLUMBING FOR SIZE
- 2

24" X 24" MAX. SIZE FIBERGLASS OR ACRYLIC JANITOR SINK - EXTRA DEEP, INTEGRAL LEGS, GOOSNECK FAUCET.
- 3

ADA ELONGATED TOILET - COLOR: WHITE.
- 4

SELF RIMMING SINK ON WOOD VANITY. PROVIDE SLAB MIRROR.
- 5

24" UNDER COUNTER DISHWASHER.
- 6

30" WIDE TOP/BOTTOM REFRIGERATOR
- 7

STANDARD 2'-10" TALL ACCESSIBLE WOOD BASE CABINET WITH 30" TALL UPPER CABINETS, PLASTIC LAMINATE COUNTER.
- 8

DOUBLE BASIN S.S. SINK, ADA LEVER STYLE HANDLE, GOOSNECK FAUCET, SPRAY WAND. NO DISPOSAL.
- 9

PROPANE GAS ZERO CLEARANCE FIREPLACE, TELEVISION ABOVE. MAINTAIN CLEARANCE FROM TV TO FIREPLACE PER MFR. RECOMMENDATIONS. DIRECT VENT FP TO EXTERIOR AND PROVIDE COMBUSTION AIR.
- 10

FORCED AIR UNIT HEATING/COOLING SYSTEM. REFER TO MECHANICAL
- 11

FIRE CONTROL AND ALARM SYSTEM FOR THIS BUILDING AND ENTIRE DEVELOPMENT. SURFACE MOUNT ON WALL.
- 12

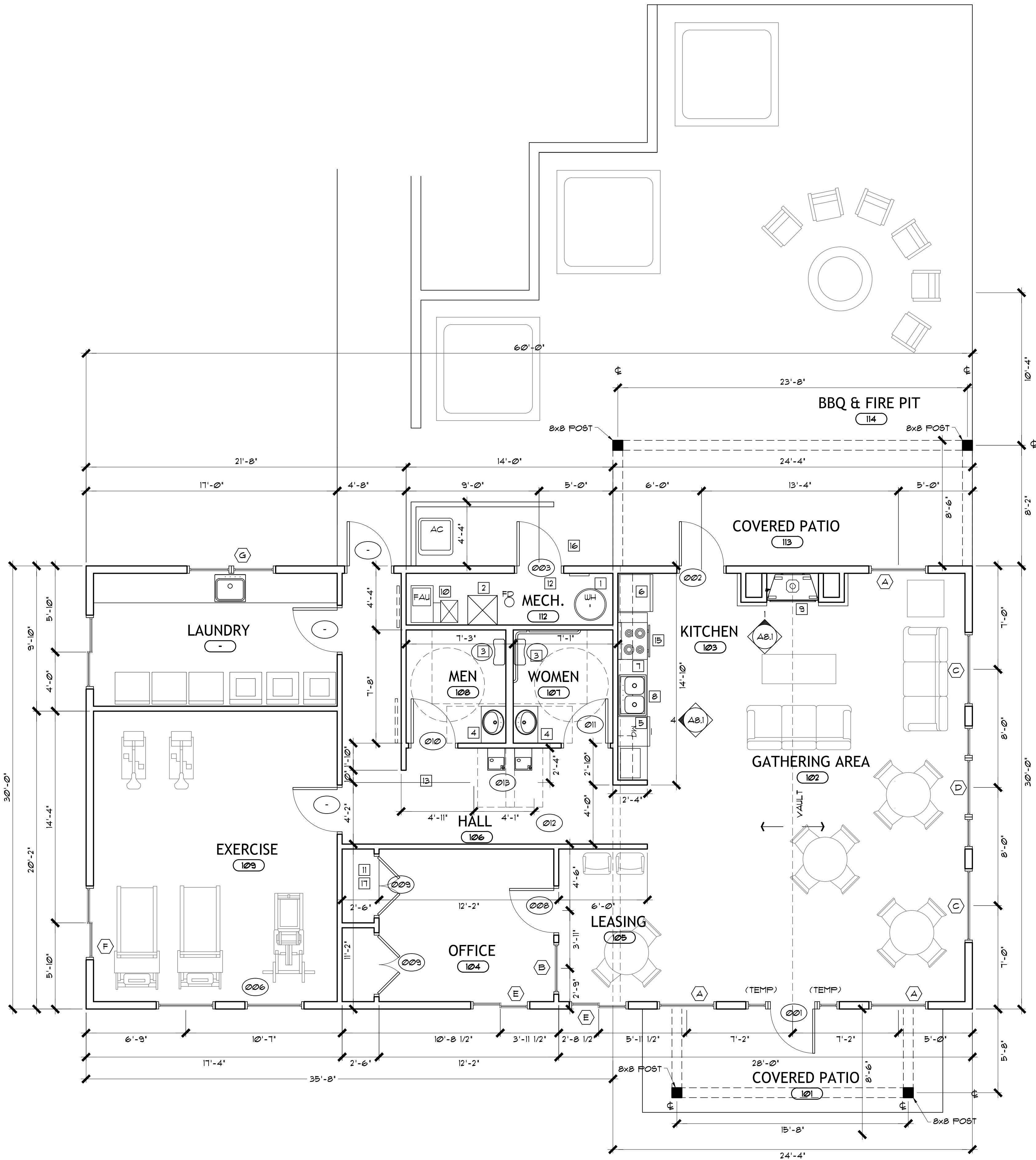
ELECTRICAL PANEL.
- 13

ACCESSIBLE HIGH/LOW DRINKING FOUNTAINS.
- 14

PROPANE GAS ZERO CLEARANCE FIREPLACE. PROVIDE EXPANDED METAL LATH PROTECTION OVER GLASS. TV ABOVE W/STEEL DOOR, LOCK.
- 15

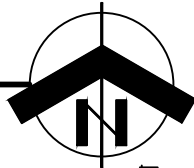
30" RANGE W/OVEN BELOW.
- 17

PORTABLE 20LB OR 40LB PROPANE TANK ON CONCRETE PAD, DIRECT PLUMB GAS LINE TO (2) FIREPLACES WITH SHUTOFFS PER CODE.
- IRRIGATION SPRINKLER CONTROLS FOR ENTIRE DEVELOPMENT.



1
A2.1
FLOOR PLAN
SCALE: 1/4" = 1'-0"

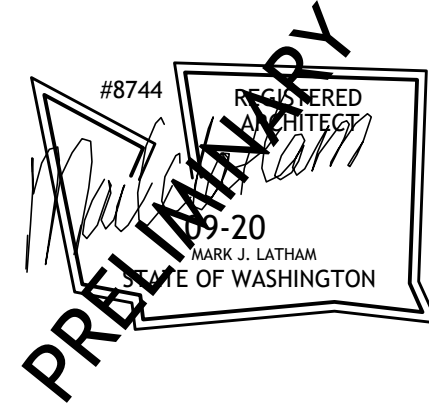
CLUBHOUSE: 1,800 S.F.



F.V. w/SITE



607 E. 6th Ave #101
Post Falls, Idaho 83854
PH: (208) 773-9864
mark@ml-architect.com



PROJECT NUMBER: 20-69
DATE: 09-08-20
DRAWN: MJL
REVISIONS: ---

COMMUNITY CLUBHOUSE FOR
LATAH GLEN
S. INLAND EMPIRE WAY
SPOKANE, WA

FLOOR PLAN
KEYED NOTES

A2.1

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KEYED NOTES

- DIVISION 2 - SITE WORK - Refer to Site Plan
- DIVISION 3 - CONCRETE - Refer to Foundation Plan
- 3a

FOUNDATION DAMP PROOFING

At all Foundation walls: Collection system at bottom consisting of 4" plastic perforated drainpipe with filter fabric wrapped up wall.
- 3b

CONCRETE DECK SURFACE:

Standard Weight Concrete over rubber membrane over plywood. See details. Concrete Finish: Broom or Broom Suihl. Tint: None. Stain: None. OPTION: Waterproofing Membrane Product
- DIVISION 4 - MASONRY
- 4a

STONE VENEER:

El Dorado or equal synthetic brick veneer or Thin Brick Product as shown on drawings. Style and color to be selected during construction. Standard tooled grout joint. No sealant. OPTION: 3/8" LP Composite Wood sheet w/ corner trim. Paint
- 4b

CAPS AND SILLIS:

Use synthetic stone caps by El Dorado. Color: Beige or Tan.
- DIVISION 5 - METALS
- DIVISION 6 - WOOD AND PLASTICS
- 6a

AIR BARRIER - 'Tyvek' Weather Resistive barrier or approved equal building wrap at all exterior walls.
- 6b

SIDING:

Cement Fiber or Composite Wood Lap Siding as selected by owner. Style to be 'woodgrain.' Exposure: 7 inches. Stain or paint per division 9
- 6c

SIDING:

7/8" deep wavy corrugated metal. Color: Patina Green or Antique Bronze.
- 6d

WINDOW TRIM:

Head, Jamb, Sills: 5/4 X 4 composite wood w/ mitred corners. No Sill Projection.
- 6e

BELLY BAND:

5/4 X 12 Composite Wood trim - paint.
- 6f

TRIM BANDS:

5/4 X 6 Composite Wood trim - paint.
- 6g

EXPOSED TIMBERS:

8 X 12 Beams 4 8 X 8 Posts, Doug fir #1 or better S4S - stain.
- 6h

TIMBER COLUMNS:

8 X 8 S4S Doug fir #1 or better. Stain.
- 6i

FASCIA BOARDS:

1 X 10 Composite wood trim. Woodgrain texture
- 6j

SOFFIT:

3/8" thick Composite Wood sheet product (LP SmartSite or similar) with grooved vents.
- 6k

EXPOSED FACIA:

Drip Edge over 1x3 or 1x4 over exposed 4x10 Timber Rafters.
- 6l

SOFFIT:

T4G Fir or Cedar - Stain.
- DIVISION 7:
- ROOFING - Refer to roof plan
- RAIN GUTTERS - Refer to roof plan
- DIVISION 8 - DOORS AND WINDOWS
- DOORS, WINDOWS, GARAGE DOORS, HARDWARE: Refer to Door, Window and Hardware schedule.
- DIVISION 9 - FINISHES
- EXTERIOR PAINTING
- SIDING AND TRIM:

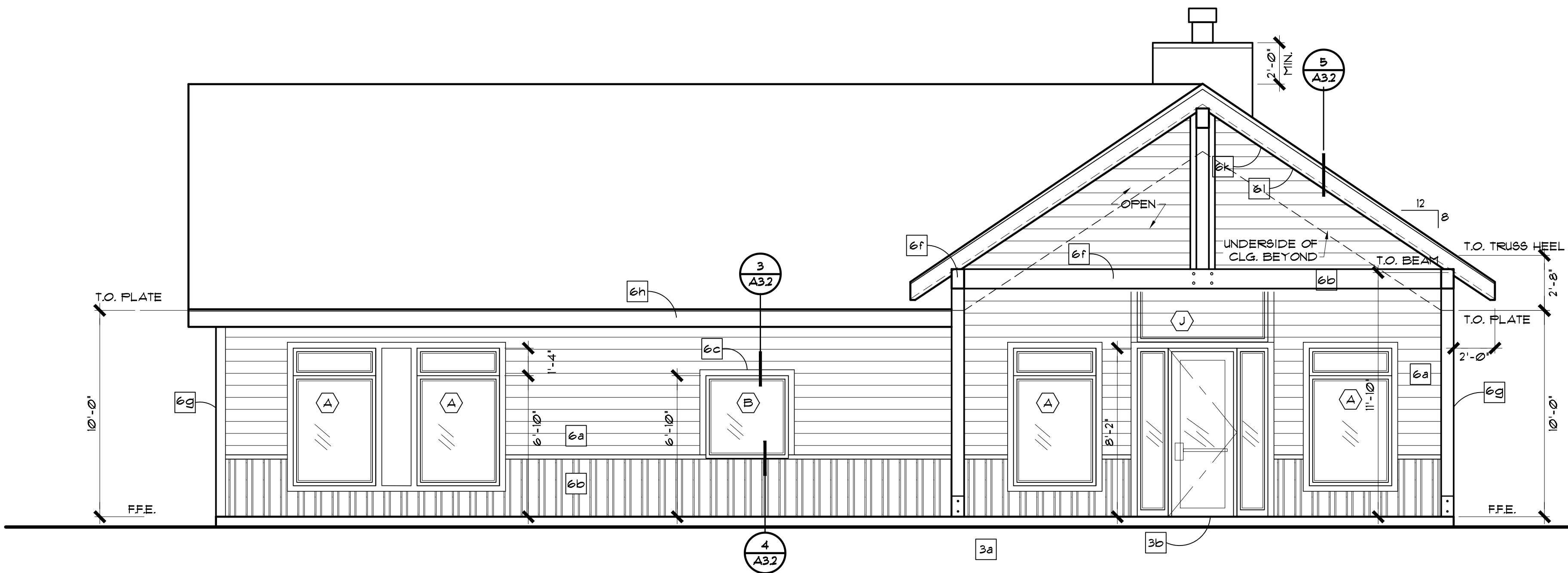
Shall be pre-stained both sides with one (1) coat semi-transparent stain. Provide one (1) coat semi-transparent stain after siding and trim has been installed. Color to be selected.
- SIDING AND COMPOSITE TRIM:

One (1) coat primer and two (2) coats exterior grade 100% acrylic latex paint, sprayed, rolled or brushed as per manufacturer's recommendations. Color to be selected.
- WOOD TIMBERS:

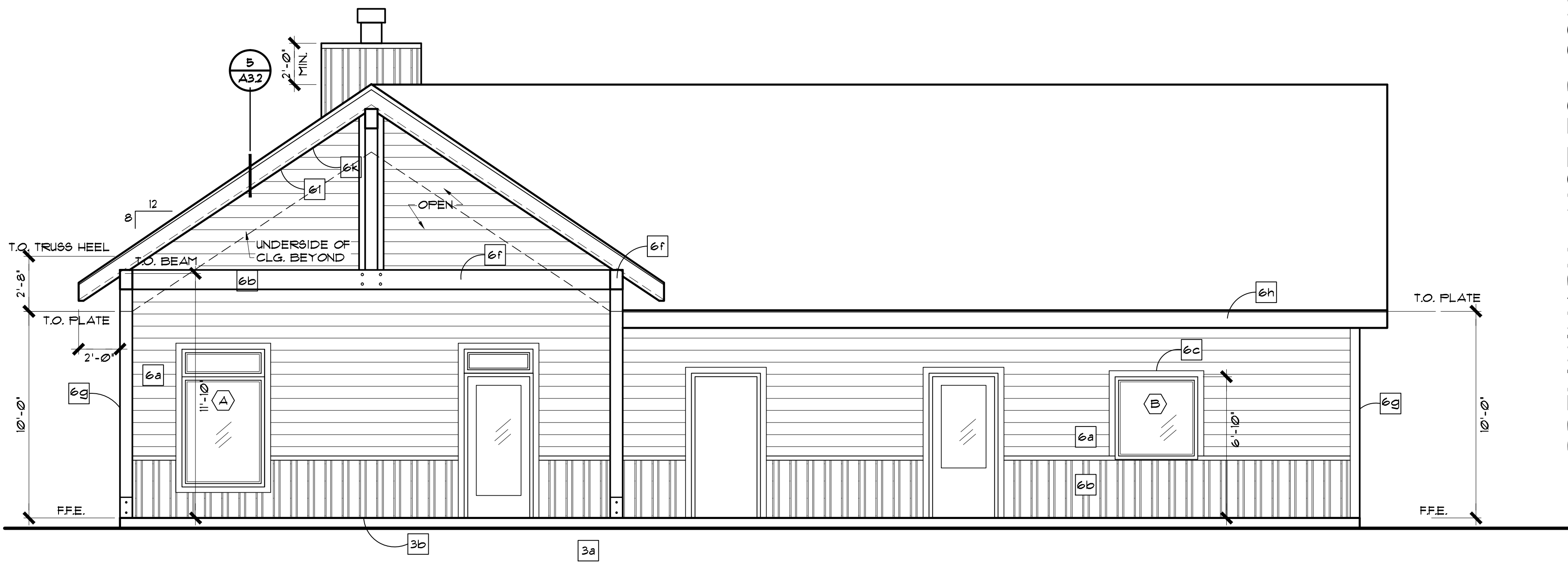
Shall be painted to match trim with two (2) coats solid body pigmented stain.
- EXTERIOR GRILLES AND VENTS:

grilles and vents in walls and roofs shall be painted to match color of roof or flashing.
- STEEL 4 FIBERGLASS ENTRY DOORS:

shall be painted with color to match trim.



1
A3.1
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



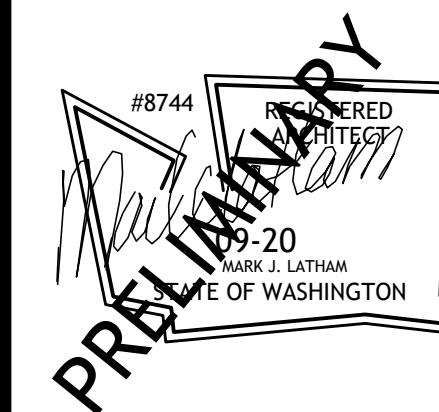
2
A3.1
BACK ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

COMMUNITY CLUBHOUSE FOR
LATAH GLEN
S. INLAND EMPIRE WAY
SPOKANE, WA

ELEVATIONS
KEYED NOTES

A3.1



PROJECT NUMBER: 20-69
DATE: 09-08-20
DRAWN: MJL
REVISIONS: ---

COMMUNITY CLUBHOUSE FOR
LATAH GLEN
5. INLAND EMPIRE WAY
SPOKANE, WA

ELEVATIONS DETAILS

A3.2

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LEFT SIDE ELEVATION

1
A3.2

LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

2
A3.2

PRELIMINARY - NOT FOR CONSTRUCTION