

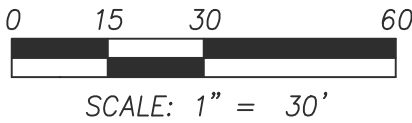
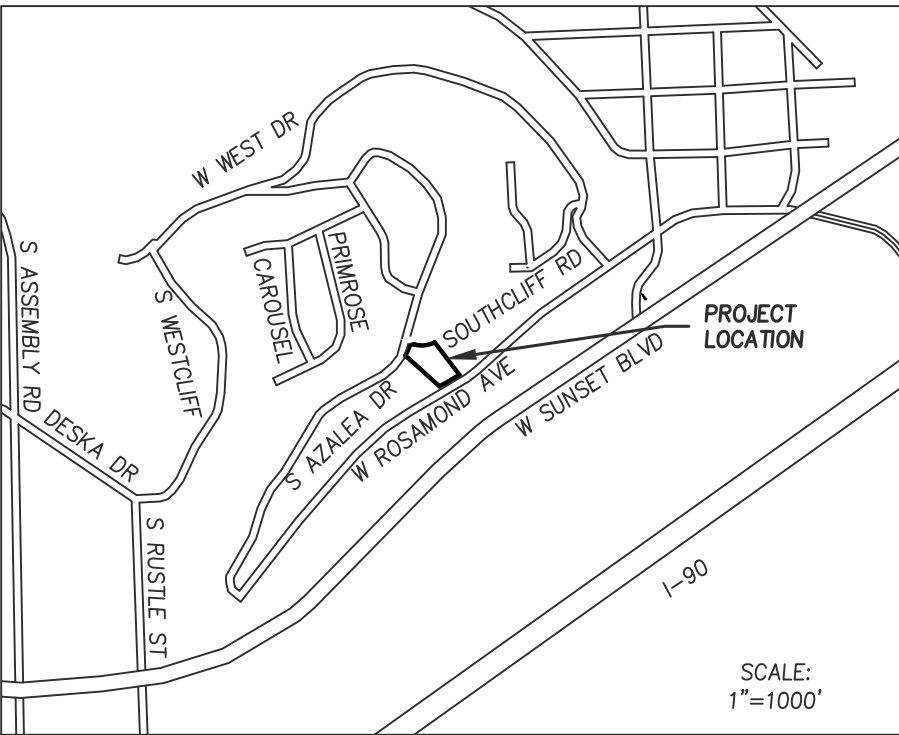
JONES PRELIMINARY SHORT PLAT
Z25-???PSP

PART OF LOT 12, BLOCK 2 OF SUNSET HILLS 2ND ADDITION, SITUATE IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 25 NORTH, RANGE 42 EAST, WILLAMETTE MERIDIAN, CITY OF SPOKANE, SPOKANE COUNTY, WASHINGTON

AUDITOR'S CERTIFICATE:

FILED FOR RECORD THIS DAY OF 20, AT M. IN BOOK OF AT PAGE AT THE REQUEST OF SPOKANE COUNTY AUDITOR DEPUTY

VICINITY MAP:



LEGEND:

- PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED EASEMENT LINE
- EXISTING CENTERLINE
- EXISTING RIGHT OF WAY LINE
- EXISTING LOT LINE
- EXISTING EASEMENT LINE
- MAJOR CONTOUR LINE - 10'
- MINOR CONTOUR LINE - 2'
- EXISTING EDGE OF ASPHALT
- EXISTING EDGE OF CONCRETE
- EXISTING EDGE OF GRAVEL
- SS SANITARY SEWER LINE
- W EXISTING WATER LINE
- SETBACK LINE
- EXISTING FENCE
- SANITARY SEWER MANHOLE
- FOUND MONUMENT
- EXISTING STRUCTURE

LAND DESCRIPTION PER TITLE GUARANTEE NUMBER 5020500-3072863 (FIRST AMERICAN)

LOT 12, BLOCK 2, SUNSET HILLS 2ND ADDITION, AS PER PLAT RECORDED IN VOLUME 7 OF PLATS, PAGE 61.

SITUATE IN THE CITY OF SPOKANE, COUNTY OF SPOKANE, STATE OF WASHINGTON.

CONTAINING: 66,958 SQUARE FEET OF LAND, MORE OR LESS. (AS SURVEYED)

VERTICAL DATUM

VERTICAL DATUM IS NAVD88 BASED ON THE WASHINGTON STATE REFERENCE NETWORK (WSRN). WITH VERIFICATION TIES TO THE FOLLOWING MONUMENT PUBLISHED BY WSDOT.

POINT DESIGNATION: GP32090-264 ELEVATION: 1701.043' U.S. SURVEY FEET

SURVEYOR'S CERTIFICATE:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF SEV JONES IN DECEMBER OF 2024.

DARREL WAYNE CARSTEN, PLS 45152 DATE

PROPERTY OWNER:

SEV JONES
1031 S AZALEA DR
SPOKANE, WA 99224
PHONE: 509-671-2292

APPLICANT:

ROSS ANDERSON
55 LINCOLN ROAD, SUITE 101
SPOKANE, WA 99208
PHONE: 509-467-1550
ROSS@SYNTIERENGR.COM

SITE ADDRESS:

1031 S AZALEA DR
SPOKANE, WA 99224

WATER PURVEYOR:

CITY OF SPOKANE
WATER DEPARTMENT

SEWER PURVEYOR:

CITY OF SPOKANE
WASTEWATER DEPARTMENT

PROPOSED USE:

CREATE LOTS FOR
RESIDENTIAL HOMES

NOTE:

LOT IS HEAVILY TREED

EXISTING NO. OF LOTS:

1

PROPOSED NO. OF LOTS:

4 SINGLE FAMILY RESIDENTIAL LOTS

ZONING:

RESIDENTIAL 1 (R1)

COMP. PLAN:

RESIDENTIAL 1 (R1)

HORIZONTAL DATUM

HORIZONTAL DATUM FOR THIS SURVEY IS NAD 1983(11), WASHINGTON STATE PLANE NORTH ZONE COORDINATE SYSTEM, U.S. SURVEY FEET, BASED ON THE WASHINGTON STATE REFERENCE NETWORK (WSRN). WITH VERIFICATION TIES TO THE FOLLOWING MONUMENT PUBLISHED BY WSDOT.

POINT DESIGNATION: GP32090-264
NORTHING: 253928.564'
EASTING: 2474844.634'

ZONING STANDARD

STANDARDS			SETBACKS - LOT WIDTH MORE THAN 40FT				
ZONE	LOT SIZE	DENSITY	FRONT	ATTACHED GARAGE	SIDE & STREET SIDE	REAR	DETACHED GARAGE
R1	1,200 MIN.	N/A	10'	20'	5'	15'	HEIGHT
							REAR
							20'

ACCURACY STATEMENT (WAC 332-130-100)

THIS SURVEY WAS PERFORMED USING A LEICA TS12P, 3-SECOND TOTAL STATION AND A TOPCON GR-3 GNSS/RTK GPS SYSTEM FOR A COMBINATION OF FIELD TRAVERSE AND GPS SURVEY METHODS TO MEET OR EXCEED THE REQUIRED MINIMUM STANDARDS FOR LAND BOUNDARY SURVEYS AND GEODETIC CONTROL SURVEYS PER WAC 332-130.

	By	Date	Scale: 1"=30'
Surveyed	BLS	07/24	Date: May. 29, 2025
Drawn	TMH	01/25	Drawing Name
Checked	DWC	01/25	MCP35-PRE SP.DWG
Approved			
Accepted			Sheet 1 of 1

SYNTIER Engineering, Inc.
55 E Lincoln Rd, Suite 101
Spokane, WA 99208
www.SynTierEngr.com 509.467.1550

For: SEV JONES
1031 S AZALEA DR.
SPOKANE, WA 99224

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