

Spokane Falls Blvd. Height Restrictions and the adverse impact they have on downtown



Presentation:

- Problem statement
- Rationale for amending the regulations

Opportunity Sites Lie Dormant

- After 10 years these “Catalytic Opportunity Sites” as defined in the Downtown Plan, remain undeveloped.
- Research indicates that, but not for the height restrictions, one or more would be developed.
- These restrictions do not protect against shadowing in the Park
- By curtailing development adjacent to the Park, our policies run counter to GMA, the City Comp Plan and other elements of the Downtown Plan



CHAPTER FOUR STRATEGY FRAMEWORK



The current regulations do not prevent shadowing.

Sun Study June.11 8:00am-5:00pm

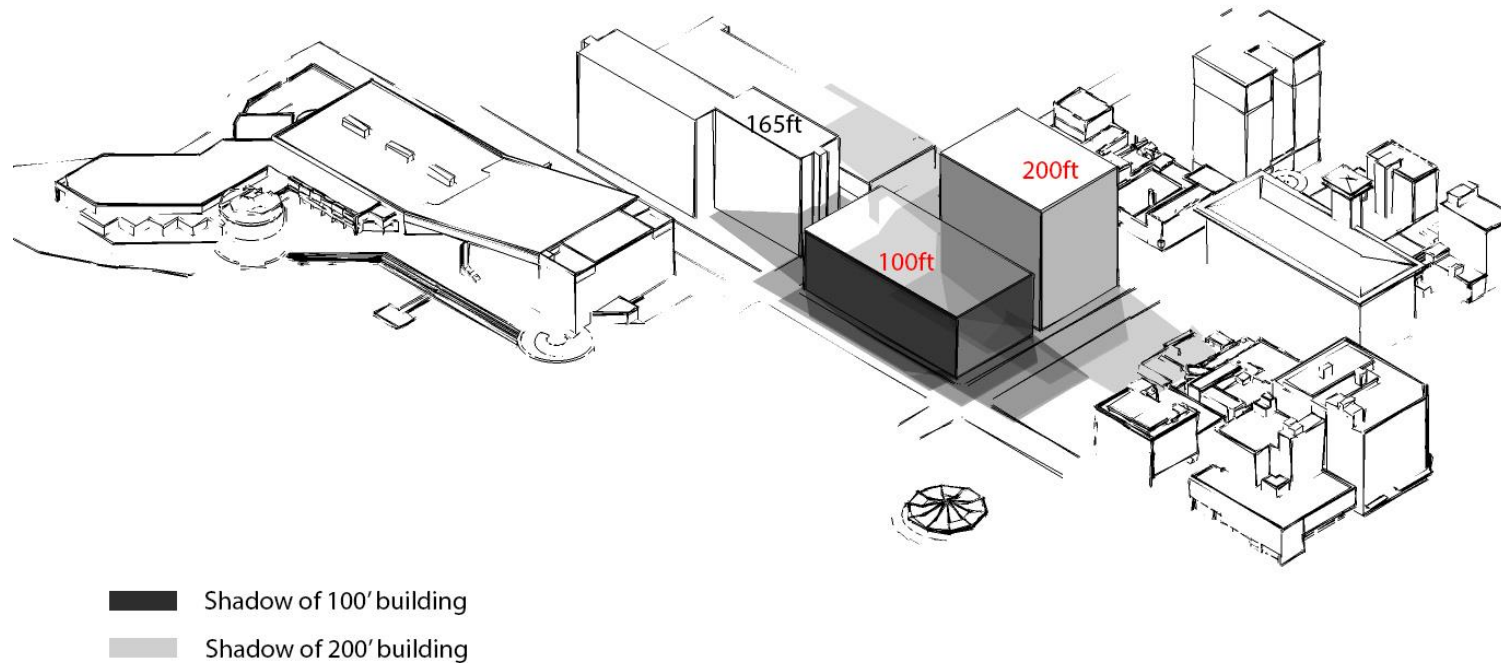
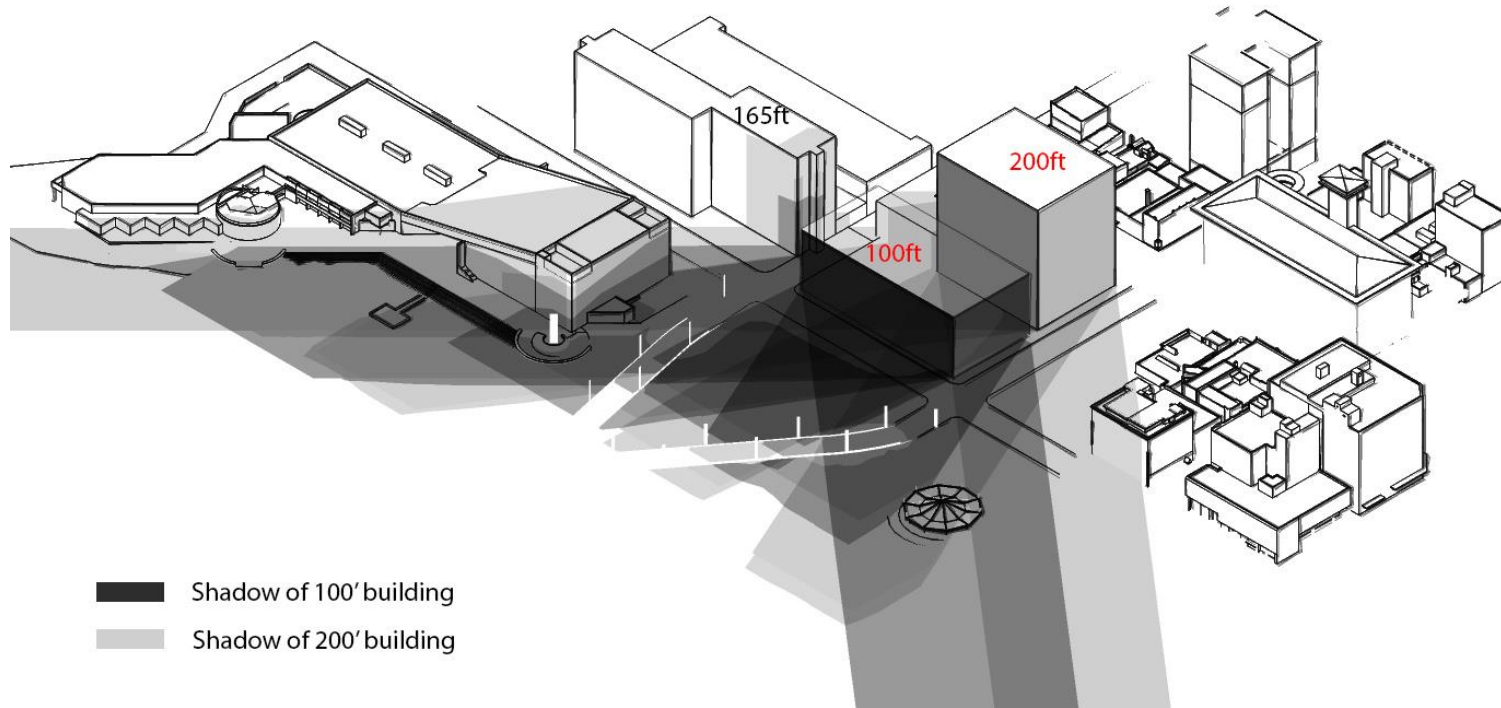


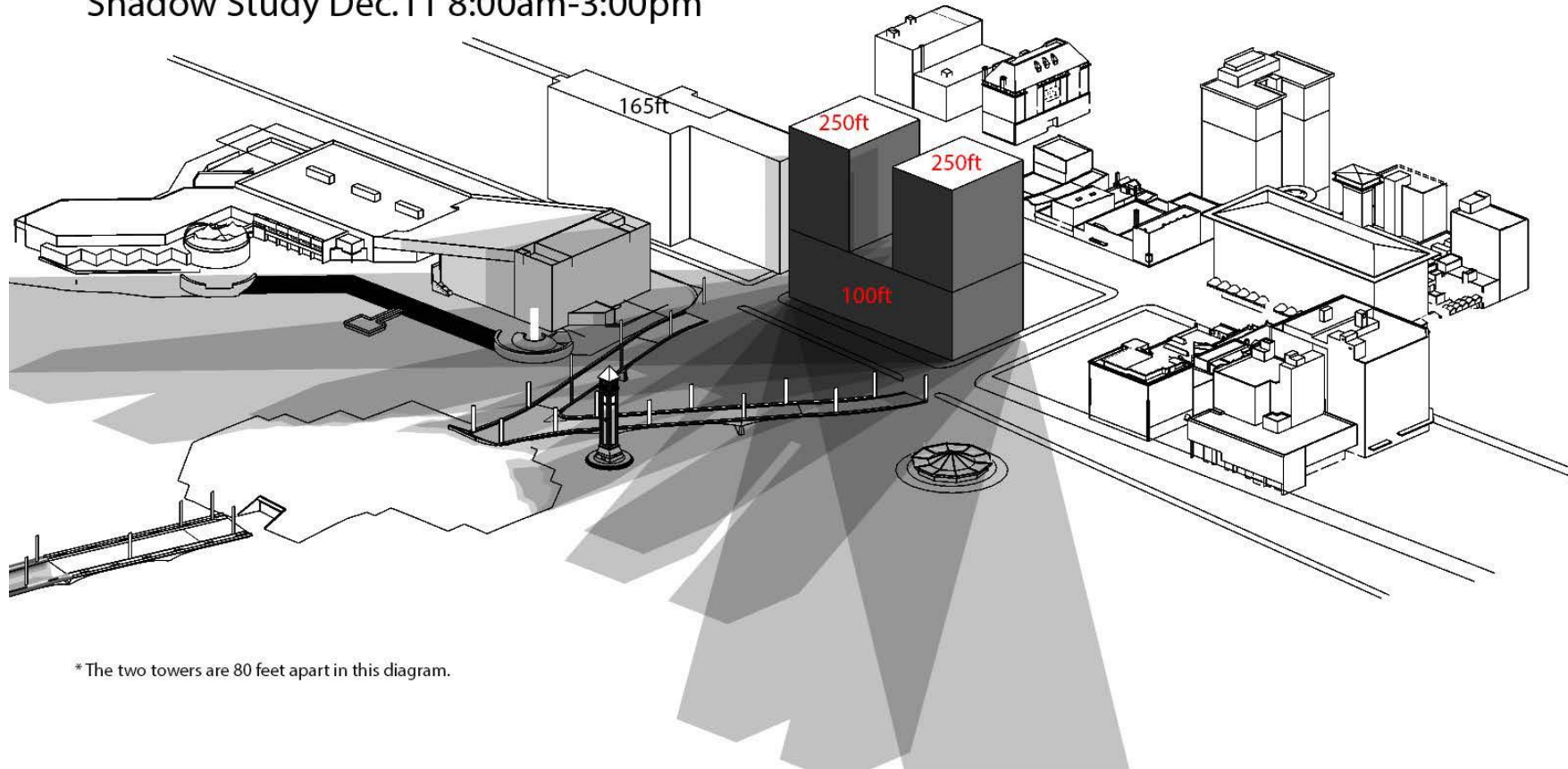
Image of shadow modeling

Sun Study Dec.11 8:00am-3:00pm



Creative design could accomplish both catalytic development and reasonable impacts from shadows.

Shadow Study Dec.11 8:00am-3:00pm



*The two towers are 80 feet apart in this diagram.

We could have this...



Instead we have this...

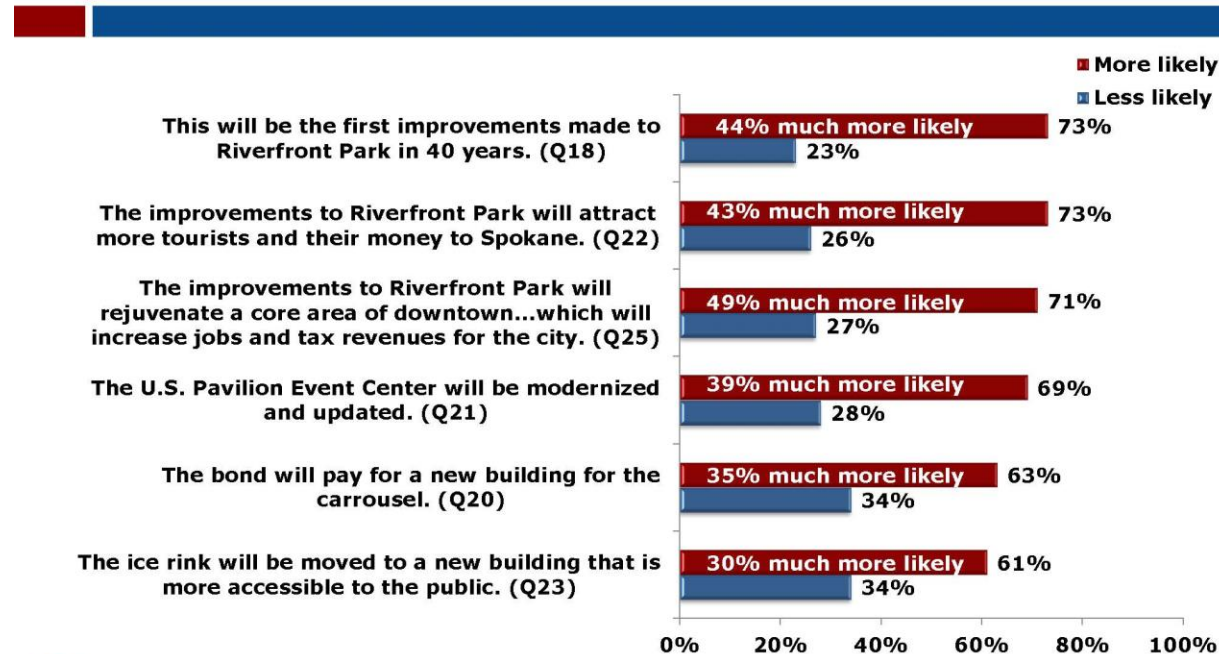


And this...



We told voters there would be an economic return on their investment

Riverfront Park Messages -2



And there was a good reason why

Riverfront Park Messages: *Riverfront Park Bond*

% Much more likely	Riverfront Park Bond		
	All	Approve	Reject
The bond will pay for security, safety and lighting improvements to Riverfront Park to make it more accessible and safe at night. (Q19)	57%	79%	13%
The bond will result in a one million dollar savings in maintenance for Riverfront Park. These savings will be used for improvements and maintenance of neighborhood parks throughout the city. (Q17)	50%	68%	16%
The improvements to Riverfront Park will rejuvenate a core area of downtown...which will increase jobs and tax revenues for the city. (Q25)	49%	70%	9%
The bond will make Riverfront Park more accessible and appealing to families. (Q24)	47%	65%	13%
This will be the first improvements made to Riverfront Park in 40 years. (Q18)	44%	62%	9%
The improvements to Riverfront Park will attract more tourists and their money to Spokane. (Q22)	43%	60%	9%
The U.S. Pavilion Event Center will be modernized and updated. (Q21)	39%	56%	7%
The bond will pay for a new building for the carrousel. (Q20)	35%	47%	11%
The ice rink will be moved to a new building that is more accessible to the public. (Q23)	30%	42%	10%

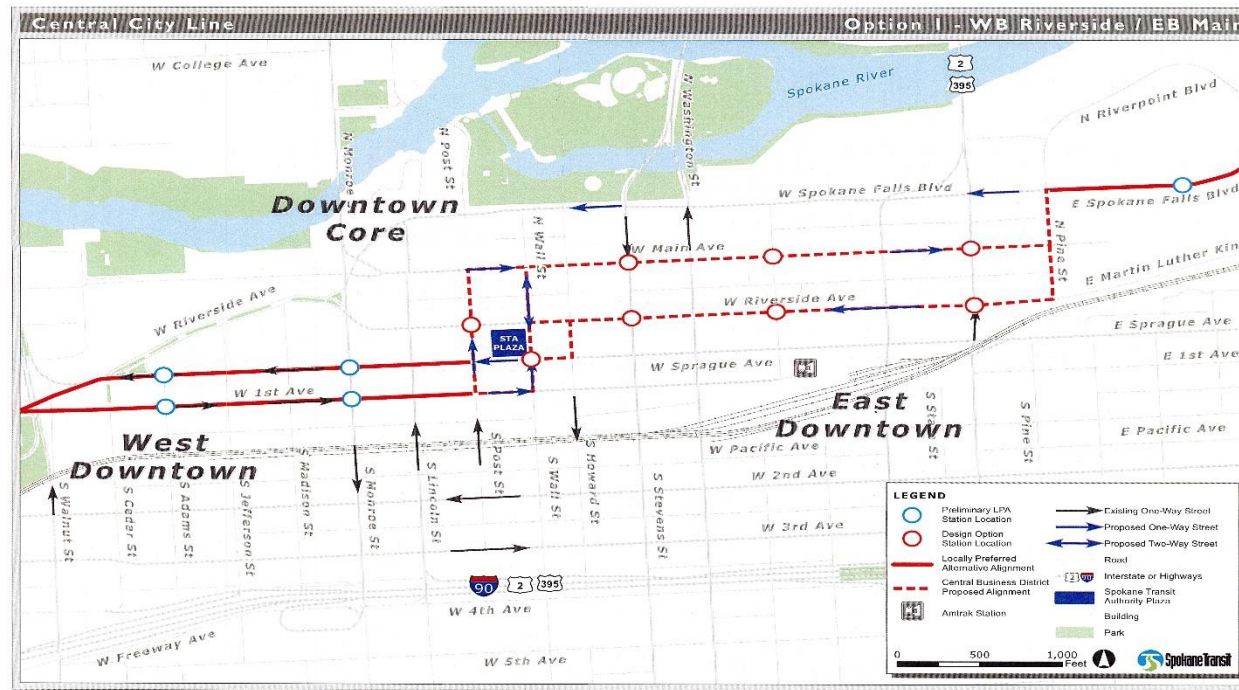
Tax revenue and jobs had bipartisan support

Riverfront Park Messages: *Partisan Voting Behavior*

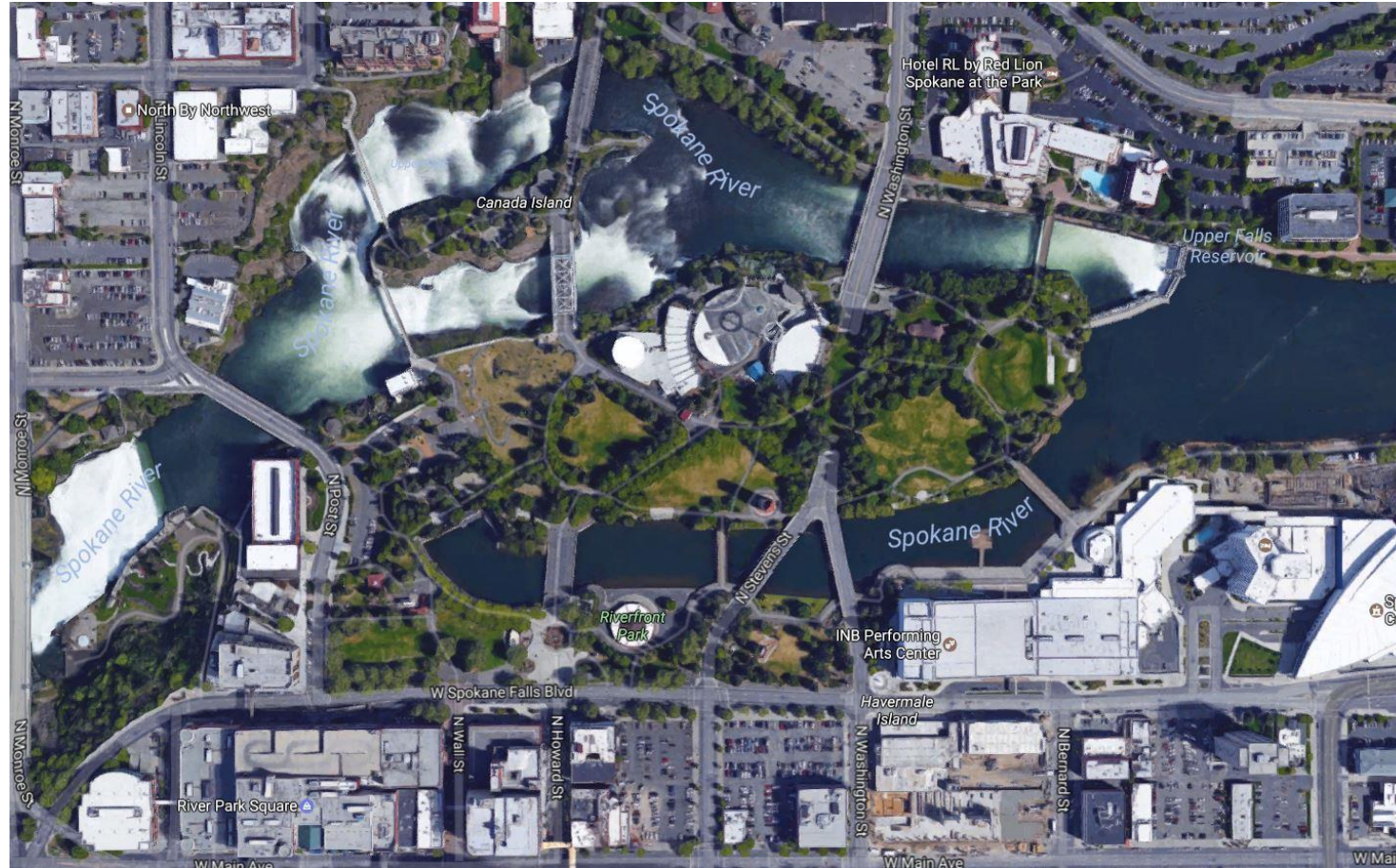
% Much more likely	Partisan Voting Behavior			
	All	Reps.	Inds. (N=42)	Dems.
The bond will pay for security, safety and lighting improvements to Riverfront Park to make it more accessible and safe at night. (Q19)	57%	54%	59%	58%
The bond will result in a one million dollar savings in maintenance for Riverfront Park. These savings will be used for improvements and maintenance of neighborhood parks throughout the city. (Q17)	50%	42%	50%	57%
The improvements to Riverfront Park will rejuvenate a core area of downtown...which will increase jobs and tax revenues for the city. (Q25)	49%	46%	47%	52%
The bond will make Riverfront Park more accessible and appealing to families. (Q24)	47%	43%	31%	55%
This will be the first improvements made to Riverfront Park in 40 years. (Q18)	44%	35%	40%	52%
The improvements to Riverfront Park will attract more tourists and their money to Spokane. (Q22)	43%	46%	36%	43%
The U.S. Pavilion Event Center will be modernized and updated. (Q21)	39%	30%	46%	44%
The bond will pay for a new building for the carrousel. (Q20)	35%	30%	37%	39%
The ice rink will be moved to a new building that is more accessible to the public. (Q23)	30%	28%	19%	35%

24

The Central City Line is banking on economic return as well



Where else can it proximate investment occur?



Parks around the world seek to attract
“proximate” investment



The legitimacy of the proximate principle was conventional wisdom that prevailed among park professionals, landscape architects and urban planners in the early years of the twentieth century. Given his legendary, inspirational role in architecture, design and popularization of parks in the United States, it should come as no surprise that this conventional wisdom emerged from the work of Frederick Law Olmsted.



- Olmsted ...was responsible for the earliest documentation of the relationship between public parks and real estate values (Fox, 1990)
- Olmsted's study of New York's Central Park concluded that "when aggregated, it is sufficient to pay the annual debt charges required to retire the bonds used to acquire and develop the park".
 - John L. Crompton; Department of Recreation, Park and Tourism Sciences, Texas A&M University - Journal of Leisure Research 2001

American Planning Association concurs

“Atlanta: After Centennial Olympic Park was built, adjacent condominium prices rose from \$115 to \$250 a square foot.”
As noted on the Centennial Olympic Park website,

"Thousands of people who have made the move to downtown Atlanta have chosen Centennial Olympic Park as their front yard." www.centennialpark.com.



Chicago's Millennium Park





ph/Wabash M

Millennium

Harris Theater

E Randolph St
Jay Pritzker Pavilion

Maggie
Daley Park

Millennium
Park

Grant Park

The Gage

Crown Fountain

S Michigan Ave

N Michigan Ave

DuSable Ha

Hilton Chicago

El Balbo Ave

Lower Hutchinson Field

Museum Campus/11th St.

S Lake Shore Dr

Shedd Aquarium

The Field Museum

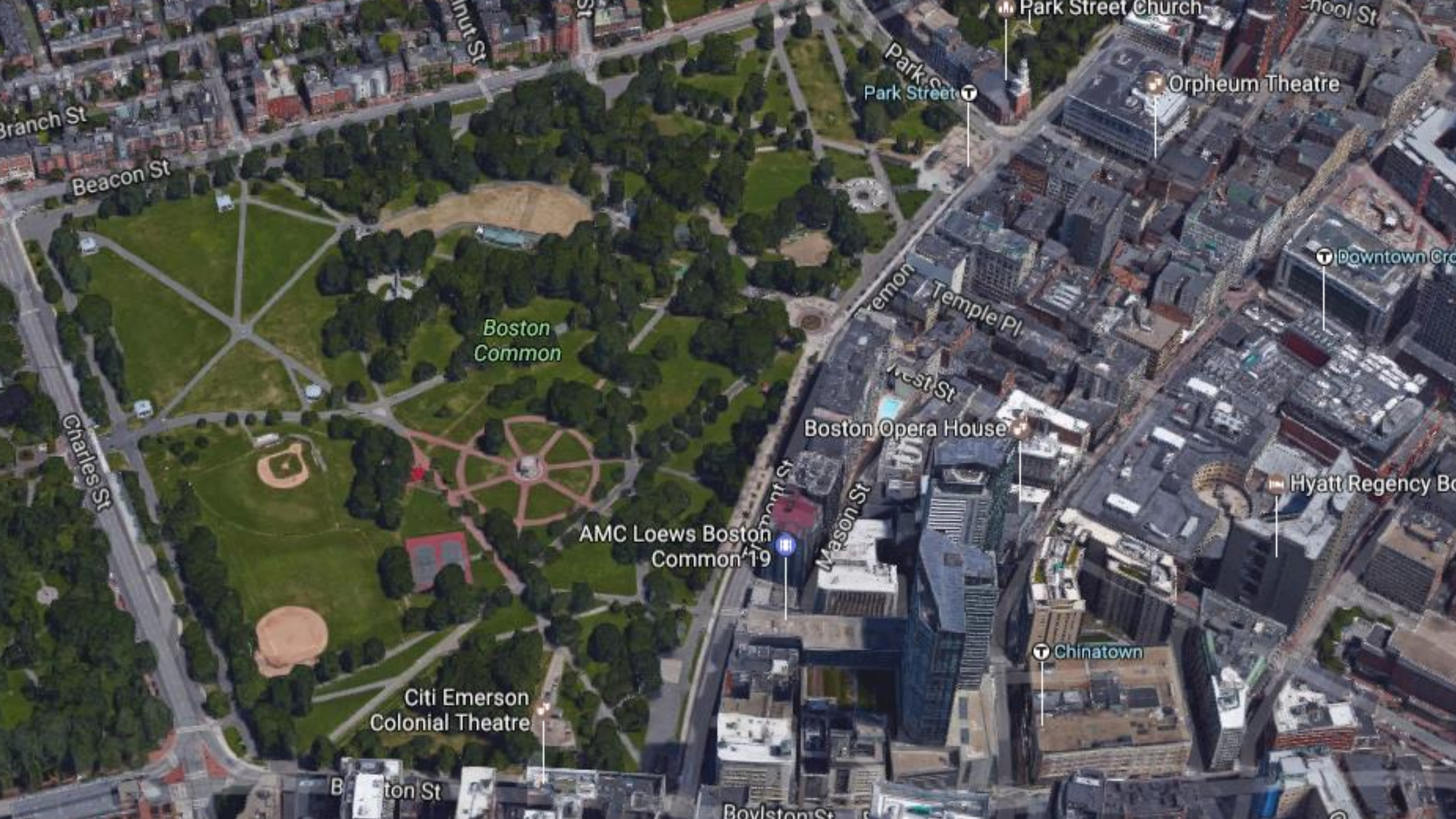
Roosevelt Rd



Boston Common



Klyde Warren Park, Dallas



Branch St

Beacon St

Charles St

Boston
Common

AMC Loews Boston
Common '19

Citi Emerson
Colonial Theatre

Boston St

Park Street

Park Street Church

Orpheum Theatre

Downtown Crossing

Hyatt Regency Boston

Chinatown

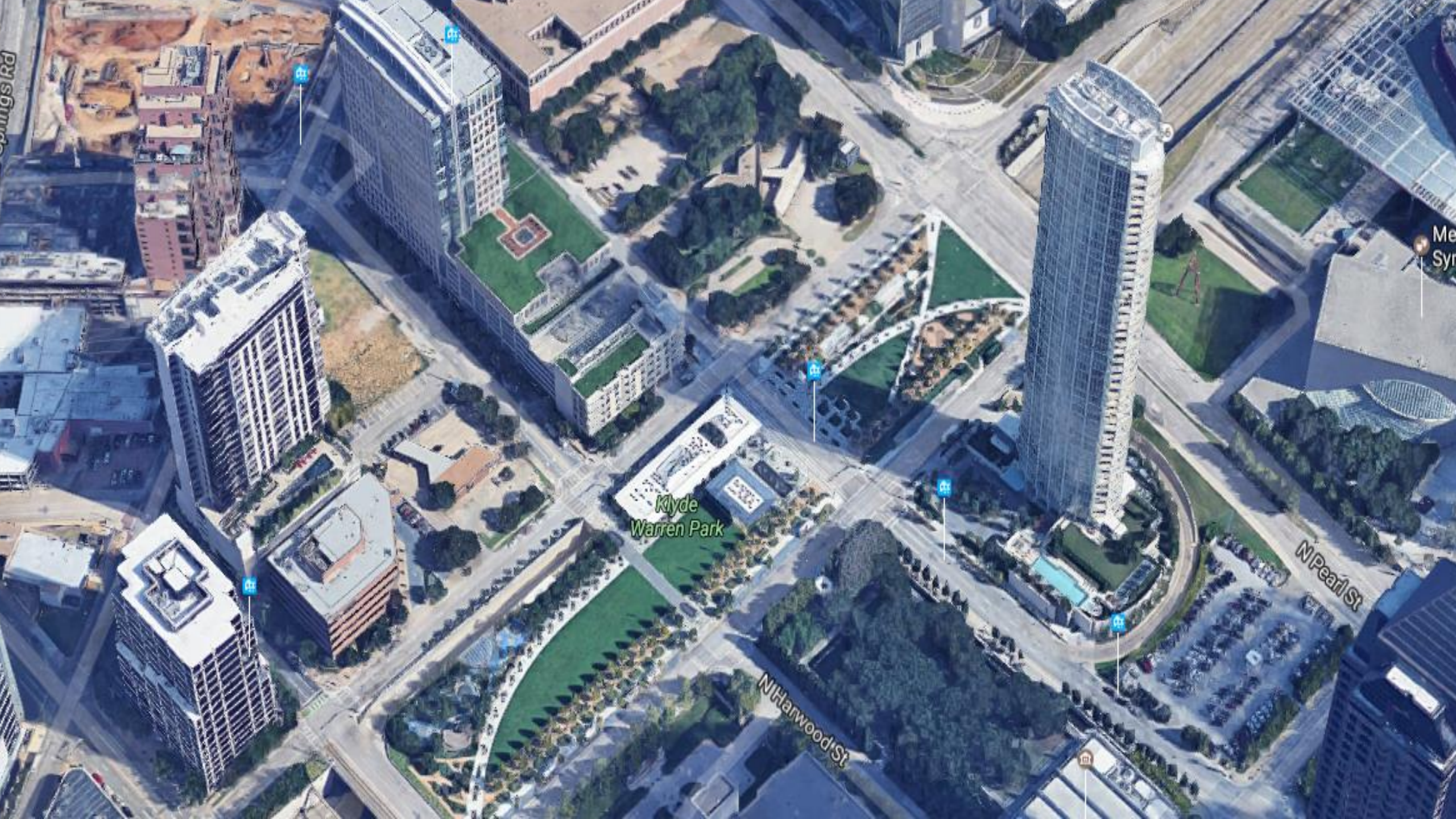
Boston Opera House

Temple Pl

West St

Mason St

Boylston St



Springs Rd

Me
Syn

Klyde
Warren Park

N Pearl St

N Harwood St

Fathers of the Park renovation already built protections into street design along the Park



Sidewalks average 30' in width along the South side of the Park.



This is double what appears to be the average
in downtown



- We respectfully request alignment of the Comprehensive Plan, and regulations with the Growth Management Act
- That will honor the Park
- While allowing for the catalytic growth contemplated in both the Downtown Plan and the Central City Line Plan
- Attracting tens of millions of dollars in investment
- And the jobs and residents to support them



If we want to buck national retail trends.
we need to provide unique and dramatic
opportunities for people to live and work
in downtown



Thank you.

