

GENERAL CONSTRUCTION NOTES

- PROPERTY LINES INDICATED WERE ESTABLISHED FROM INFORMATION PROVIDED BY OTHERS REPRESENTING THE OWNER. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS AND MAKE ANY REQUIRED ADJUSTMENTS. IF FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLANS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT IMMEDIATELY FOR INSTRUCTIONS.
- PRIOR TO LANDSCAPE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY SITE CONDITIONS MATCH THE APPROVED LANDSCAPE PLANS. NOTIFY THE LANDSCAPE ARCHITECT OF DISCREPANCIES INCLUDING UTILITY ENCLOSURES AND VAULTS, FIRE HYDRANTS, STREET AND SAFETY SIGNAGE, LIGHT POLES, CURBS, AND WALKWAYS.
- VERIFY SUB-GRADE PREPARATION HAS BEEN COMPLETED PRIOR TO LANDSCAPE WORK. THE LANDSCAPE CONTRACTOR ACCEPTS SUB-GRADES UPON COMMENCEMENT OF WORK. OBTAIN WRITTEN APPROVAL OF FINISHED GRADES FROM PROJECT CIVIL ENGINEER PRIOR TO PLANTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING LOCATIONS OF ALL UTILITIES PRIOR TO LANDSCAPE WORK. CALL FOR UTILITY LOCATES PRIOR TO EXCAVATION.
- CONTRACTOR SHALL PAY AND SECURE ANY REQUIRED LANDSCAPE CONSTRUCTION PERMITS.
- ALL WORK PERFORMED IN A PUBLIC RIGHT OF WAY SHALL MEET THE REQUIREMENTS OF THE LOCAL APPROVING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN ALL NEW AND EXISTING UTILITIES IN GOOD WORKING ORDER AND PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED.
- ALL CONSTRUCTION SHALL CONFORM TO THE 2018 VERSION OF THE INTERNATIONAL BUILDING CODE (IBC) OR LOCAL BUILDING CODE, WHICHEVER IS MORE RESTRICTIVE.

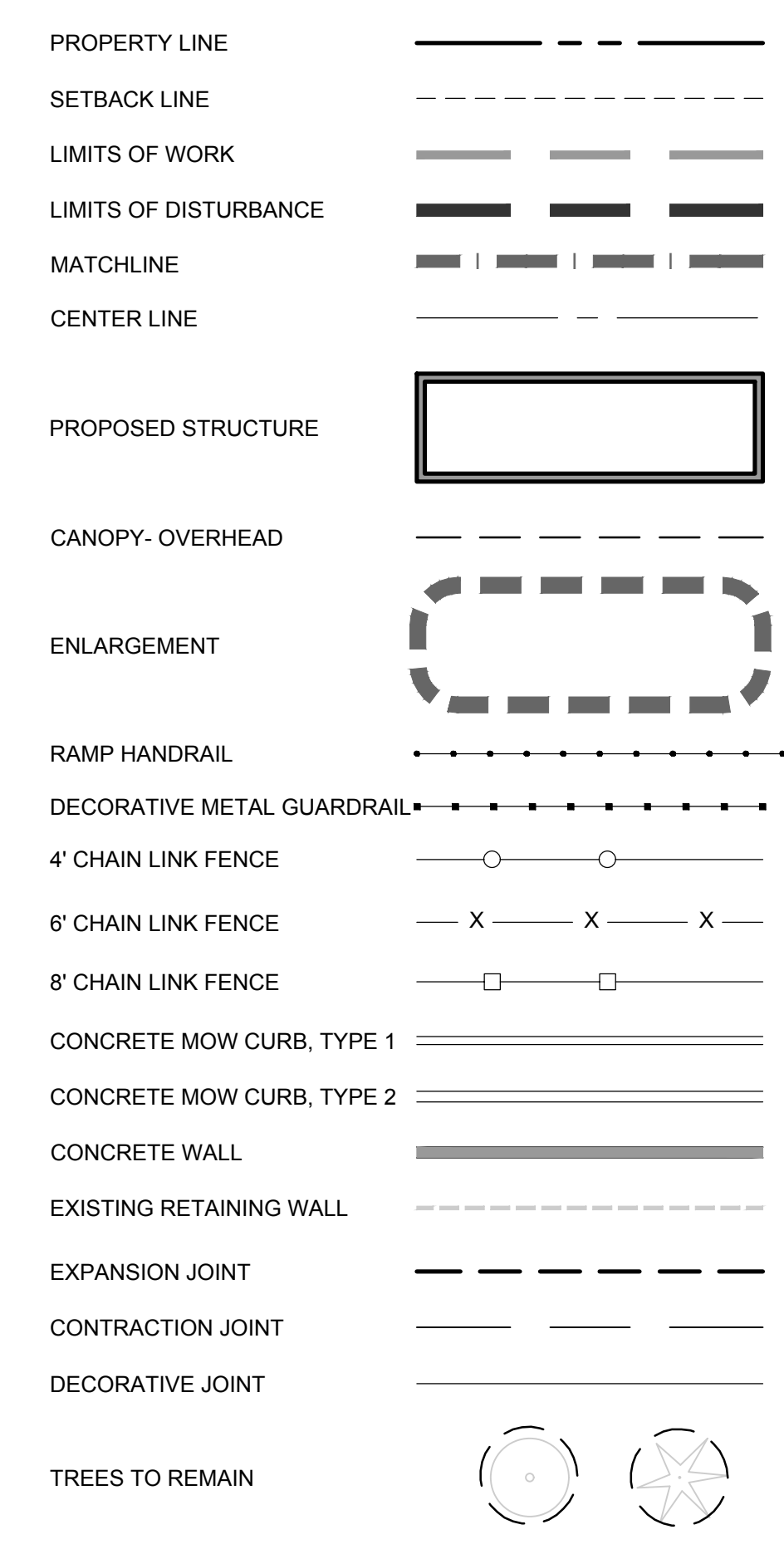
LAYOUT NOTES

- ALL DRAINS SHALL BE COORDINATED WITH PLANTING AND PAVING SO THAT DRAINS ARE LOCATED ENTIRELY WITHIN ONE MATERIAL. DRAINS SHALL NOT SPAN BETWEEN TWO MATERIAL TYPES OR BETWEEN PLANTING AND PAVED AREAS.
- FOR LAYOUT OF ROADWAYS AND PARKING LOTS, SEE CIVIL DWGS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF BELOW GRADE UTILITY STRUCTURES DURING SITE LAYOUT AND REPORT ANY DISCREPANCIES BETWEEN FOOTINGS AND EXISTING BELOW-GRADE STRUCTURES TO THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL STAKE OR FLAG ALL SITE ELEMENTS TO BE CONSTRUCTED IN THE FIELD FOR APPROVAL BY THE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL ANGLES ARE ASSUMED TO BE 90 DEGREES UNLESS OTHERWISE STATED. ALL LINES ARE ASSUMED TO BE PARALLEL UNLESS OTHERWISE STATED. ALL DIMENSIONS ARE TO FACE OF CURB, WALL OR BUILDING UNLESS OTHERWISE STATED.
- ALL BUILDING DIMENSIONS AND COLUMN GRIDS SHOULD BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
- CONSTRUCT CONCRETE PAVING CONTRACTION JOINTS WHERE INDICATED ON THIS PLAN. ALIGN JOINTS WITH EDGES AND FACES OF WALLS AND PAVEMENT UNLESS OTHERWISE INDICATED.
- SEE CONCRETE PAVING SPECS FOR ADDITIONAL INFORMATION ON CONTRACTION AND EXPANSION JOINTS.
- IN NEW CONCRETE AREAS WITHOUT JOINTS INDICATED, FOLLOW LOCAL STREETS AND/OR WSDOT REQUIREMENTS FOR JOINT TYPE, SPACING, AND LAYOUT.
- ALIGN JOINTS WHERE NEW PAVING FOR WALKS ABUTS EXISTING PAVING.

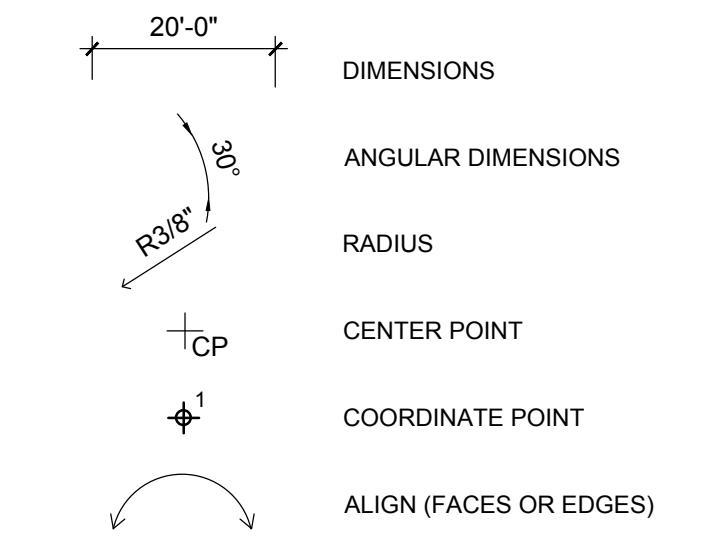
ABBREVIATIONS

ABV	ABOVE	QTY	QUANTITY
ADJ	ADJACENT	QUAL	QUALITY
ALT	ALTERNATE		
ALN	ALIGN	RAD/R	RADIUS
APPRX	APPROXIMATE	RD	ROOF DRAIN
ARCH	ARCHITECTURAL	REBAR	REINFORCING BAR
ASPH	ASPHALT	REF	REFER OR REFERENCE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	REINF	REINFORCED / REINFORCING
		REM	REMOVE
		REFL	REPLACE
BIO	BIO-INFILTRATION	REQD	REQUIRED
BM	BENCH MARK	REV	REVISE / REVISION
BLDG	BUILDING	ROW	RIGHT-OF-WAY LINE
BO	BY OTHERS		
BOT	BOTTOM	SCH	SCHEDULE
BS	BOTH SIDES	SD	STORM DRAIN
		SECT	SECTION
CAL	CALIPER	SPEC	SPECIFICATION
CB	CATCH BASIN	SQ	SQUARE
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	SS	SANITARY SEWER / STAINLESS STEEL
CI	CAST IRON	ST	STONE
CIPC	CAST-IN-PLACE CONCRETE	STA	STATION
CJ	CONTROL JOINT	STD	STANDARD
CL	CENTERLINE	STL	STEEL
CLR	CLEAR	SYM	SYMMETRICAL
CMU	CONCRETE MASONRY UNIT	SHT	SHEET
CO	CLEAN OUT	STRUCT	STRUCTURAL
COL	COLUMN	SW	SIDEWALK
CONC	CONCRETE	T	TREAD / THICK
CONST	CONSTRUCTION	TC	TOP OF CURB
CONT	CONTINUOUS	TEMP	TEMPORARY
CP	COORDINATES POINT / CENTER POINT	THK	THICKNESS
CTR	CENTER	TOC	TOP OF CONCRETE
		TOS	TOP OF SLAB/ STEEL
DBL	DOUBLE	TOW/W	TOP OF WALL
DBH	DIAMETER AT BREAST HEIGHT	TYP	TYPICAL
DEMO	DEMOLISH / DEMOLITION	UNO	UNLESS NOTED OTHERWISE
DET	DETAIL	V	VENT / VOLT/ VALVE
DIA	DIAMETER	(V)	VERIFY
DIM	DIMENSION	VERT	VERTICAL
DS	DOWNSPOUT	VOL	VOLUME
DWG	DRAWING	XFMR	TRANSFORMER
		&	AND
EJ	EACH	<	ANGLE
ELEC	ELECTRICAL	@	AT
ELEV	ELEVATION	ℓ	CENTERLINE
ENCL	ENCLOSURE	ℓ	PROPERTY LINE
EOP	EDGE OF PAVEMENT	∅	DIAMETER
EQUIP	EQUIPMENT	±	PLUS OR MINUS
EW	EACH WAY	#	NUMBER
EXIST	EXISTING		
FBO	FURNISHED BY OWNER		
FDC	FIRE DEPARTMENT CONNECTION		
FG	FINISH GRADE		
FOC	FACE OF CONCRETE		
FOW	FACE OF WALL		
FS	FINISHED SURFACE		
FTG	FOOTING		
FURN	FURNITURE/ FURNISHED		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		
GND	GROUND		
GV	GATE VALVE		
HOR	HORIZONTAL		
HR	HOUR		
HTH	HEIGHT / HIGH		
HVAC	HEATING, VENTILATING & AIR CONDITIONING		
ID	INSIDE DIAMETER		
INCL	INCLUDING		
INFO	INFORMATION		
INT	INTERIOR		
MAS	MASONRY		
MAT	MATERIAL		
MAX	MAXIMUM		
MECH	MECHANICAL		
MED	MEDIUM		
MET/MTL	METAL		
MFR	MANUFACTURER		
MH	MANHOLE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MIX	MIXTURE		
N	NORTH		
N/A	NOT APPLICABLE		
NIC	NOT IN CONTRACT		
NO	NUMBER		
NOM	NOMINAL		
NTS	NOT TO SCALE		
OC	ON CENTER		
OD	OUTSIDE DIAMETER		
OH	OVERHEAD		
PA	PLANTING AREA		
PC	PORTLAND CEMENT/PRECAST CONCRETE		
PL	PROPERTY LINE		
POLY	POLYETHYLENE		
PT	PRESSURE TREATED		
PVC	POLYVINYL CHLORIDE		

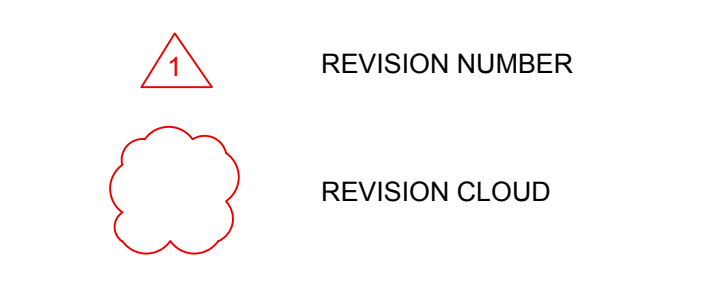
SYMBOL LEGENDS



DIMENSIONING SYMBOLS



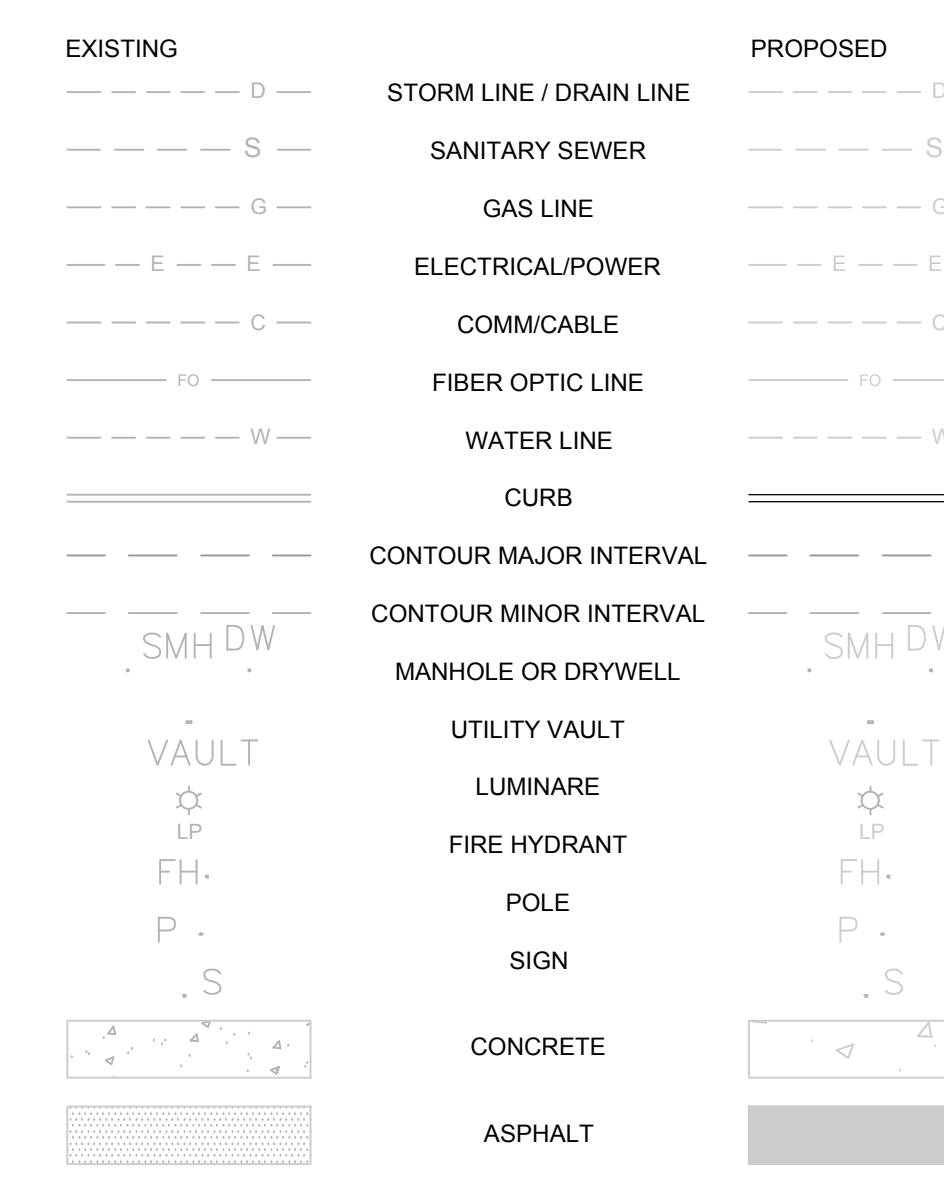
DRAWING REVISION SYMBOLS



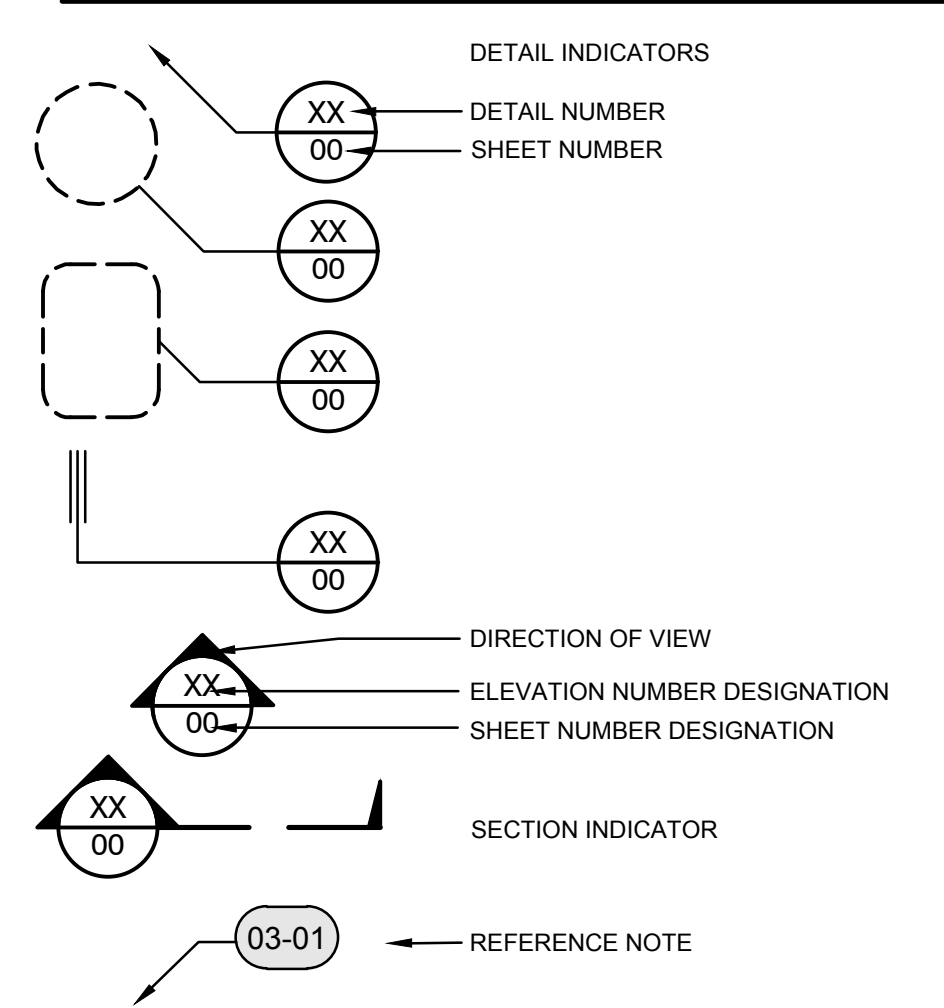
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SITE FEATURES



REFERENCE SYMBOLS



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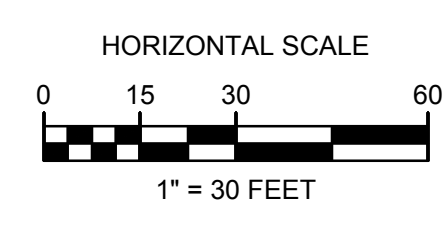
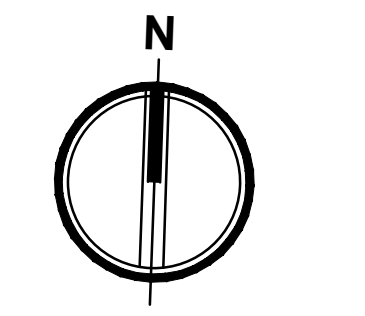
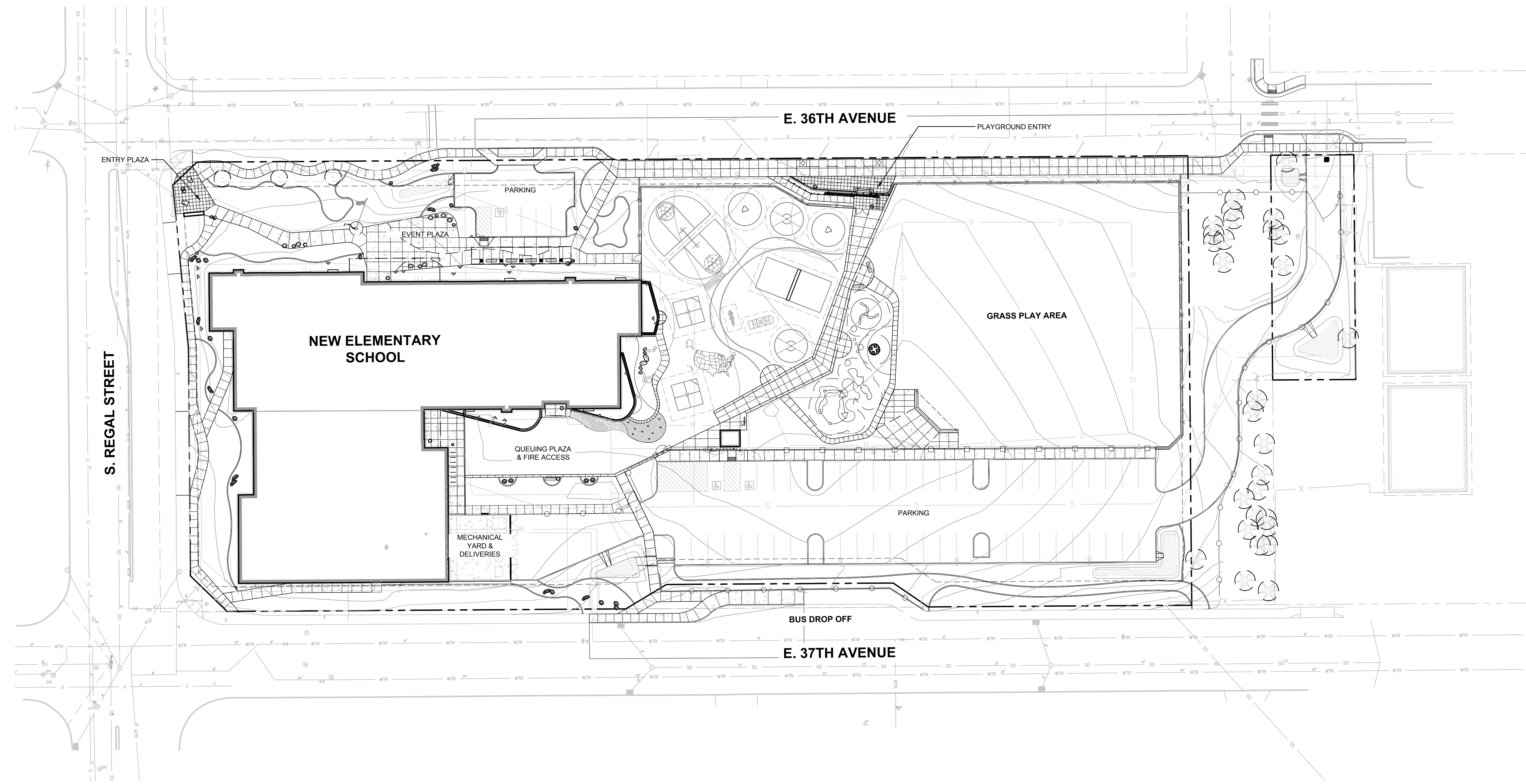
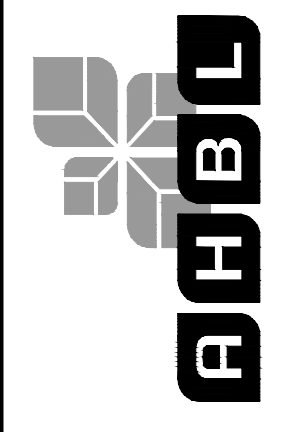
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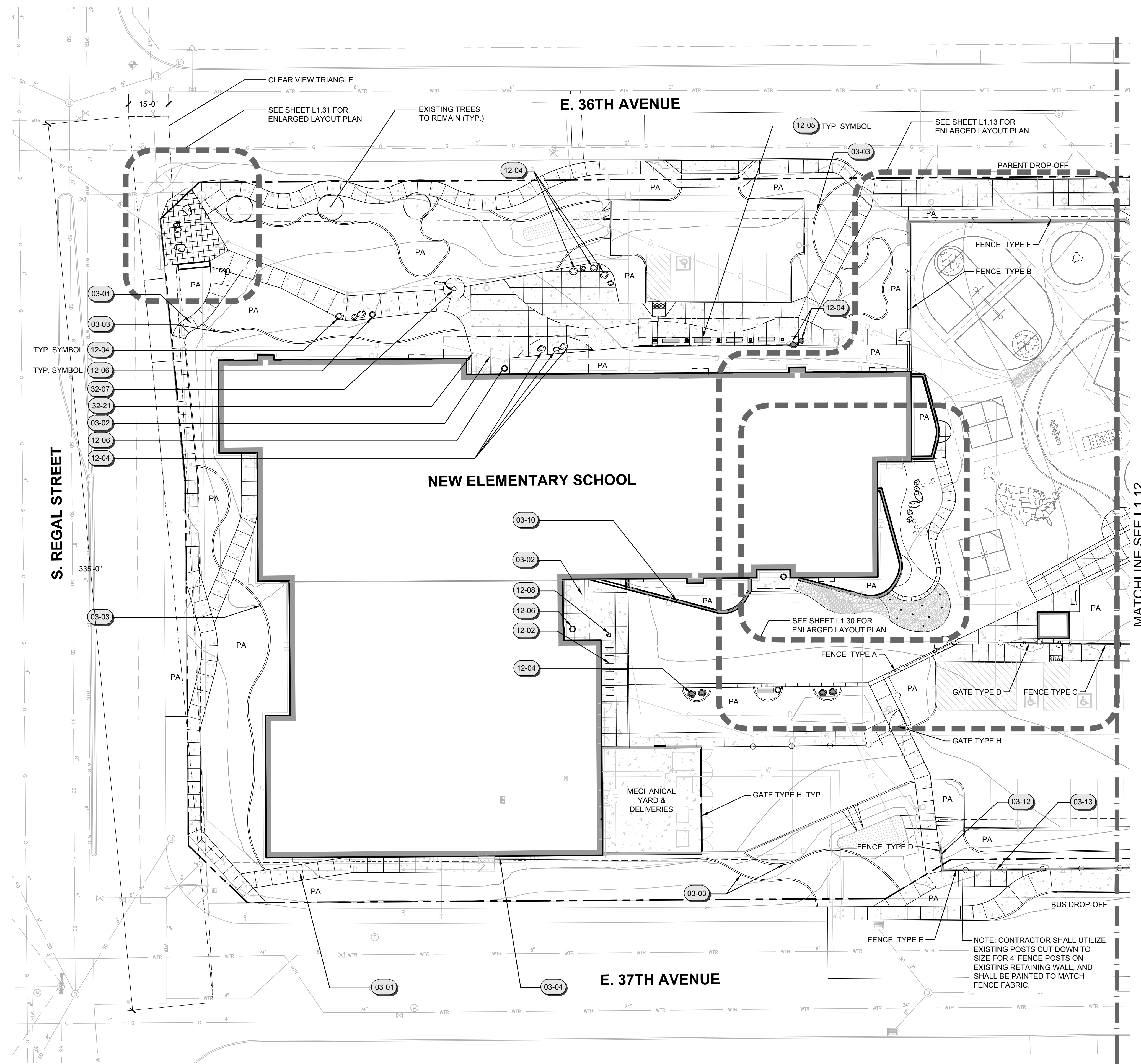
LANDSCAPE COVER SHEET

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Know what's below.
Call before you dig.



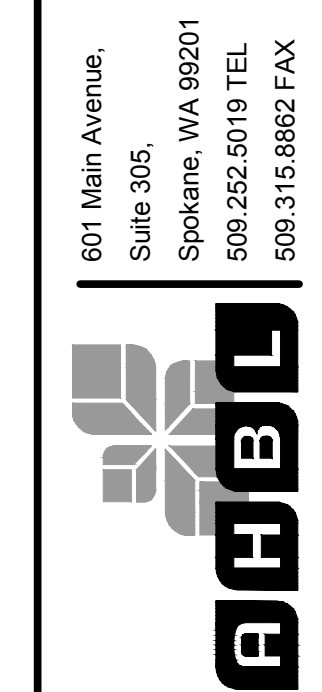
REFERENCE NOTES SCHEDULE

SYMBOL	03 CONCRETE DESCRIPTION	DETAIL
03-01	CONCRETE WALKWAY, SEE CIVIL PLANS	
03-02	CONCRETE WALKWAY W/ SNOW MELT SYSTEM, SEE CIVIL	
03-03	CONCRETE MOW CURB, TYPE 1	4/L6.10
03-04	CONCRETE MOW CURB, TYPE 2	5/L6.10
03-10	CONC. RETAINING WALL, SEE ARCH.	2/L6.00
03-12	4' CHAIN LINK FENCE ON NEW CONCRETE RETAINING WALL	3/L6.00
03-13	4' CHAIN LINK FENCE ON EXISTING WALL	3/L6.00
SYMBOL	12 FURNISHINGS DESCRIPTION	DETAIL
12-02	HOOP BIKE RACK	13/L6.04
12-04	BOULDER SEAT	11/L6.10
12-05	6' BENCH, SEE SPECS	
12-06	TRASH RECEPTACLE, SEE SPECS	
12-08	SCOOTER/SKATE BOARD RACK, SEE SPECS	11/L6.04
SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION	DETAIL
32-07	FLAG POLE	4/L6.04
32-21	ADA DOOR ACTUATOR	

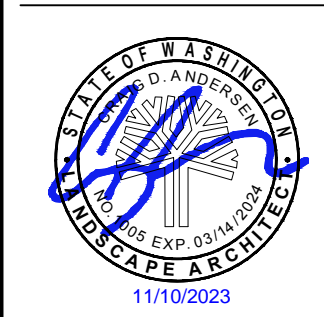
FENCE AND GATE SCHEDULE

FENCE/GATE	DESCRIPTION
A	4' CHAIN LINK FENCE
B	6' CHAIN LINK FENCE
C	8' CHAIN LINK FENCE
D	4' CHAIN LINK FENCE ON NEW CONC. RETAINING WALL
E	4' CHAIN LINK FENCE ON EXISTING WALL FACE
F	6' CHAIN LINK FENCE ON NEW CONC. RETAINING WALL
G	SLIDING GATE
H	PEDESTRIAN GATE
I	DECORATIVE METAL GATE
J	VEHICLE CONTROL SWING GATE
K	MECHANICAL ENCLOSURE, SEE ARCH.

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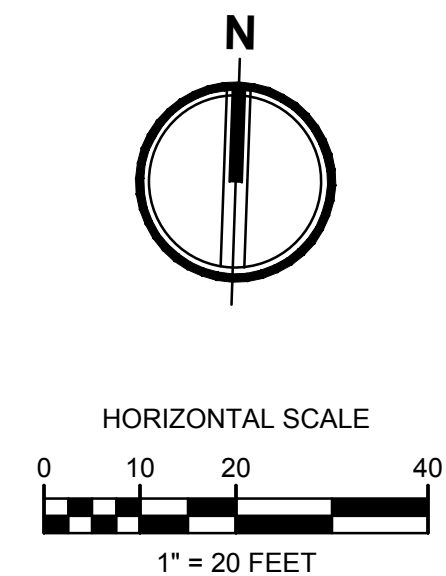


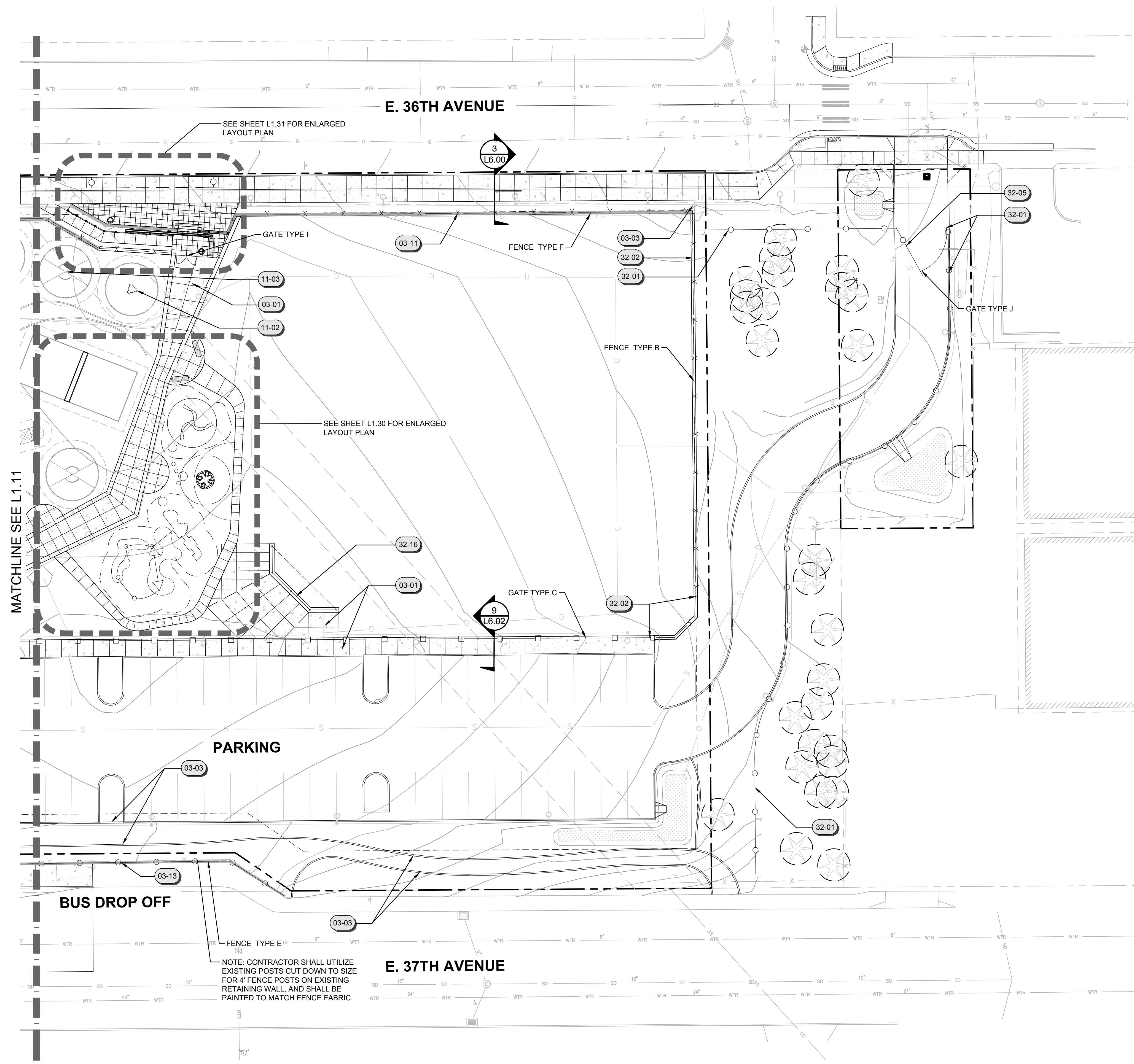
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SITE LAYOUT PLAN

CD
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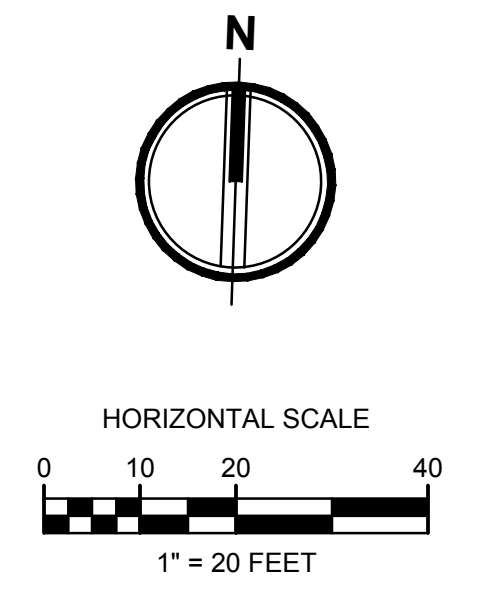


REFERENCE NOTES SCHEDULE

SYMBOL	03 CONCRETE DESCRIPTION	DETAIL
03-01	CONCRETE WALKWAY, SEE CIVIL PLANS	
03-03	CONCRETE MOW CURB, TYPE 1	4/L6.10
03-11	6' CHAIN LINK FENCE ON NEW CONC. RETAINING WALL	3/L6.00
03-13	4' CHAIN LINK FENCE ON EXISTING WALL	3/L6.00
SYMBOL	11 EQUIPMENT DESCRIPTION	DETAIL
11-02	TRIPLE-TOSS COURT	3/L6.04
11-03	TETHERBALL POLE & LAYOUT	5/L6.04
SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION	DETAIL
32-01	4' CHAIN LINK FENCE	4/L6.02
32-02	6' CHAIN LINK FENCE	3/L6.02
32-05	BARRIER GATE- SINGLE SWING	2/L6.03
32-16	BACKSTOP	5/L6.03

FENCE AND GATE SCHEDULE

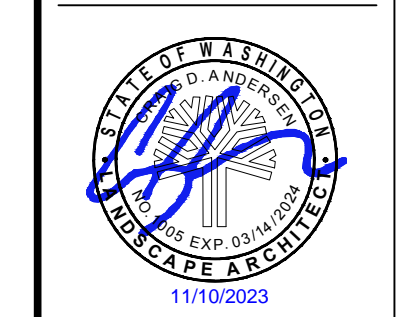
FENCE/GATE	DESCRIPTION
A	4' CHAIN LINK FENCE
B	6' CHAIN LINK FENCE
C	8' CHAIN LINK FENCE
D	4' CHAIN LINK FENCE ON NEW CONC. RETAINING WALL
E	4' CHAIN LINK FENCE ON EXISTING WALL FACE
F	6' CHAIN LINK FENCE ON NEW CONC. RETAINING WALL
G	SLIDING GATE
H	PEDESTRIAN GATE
I	DECORATIVE METAL GATE
J	VEHICLE CONTROL SWING GATE
K	MECHANICAL ENCLOSURE, SEE ARCH.



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SITE LAYOUT PLAN

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L1.12





REFERENCE NOTES SCHEDULE

SYMBOL	03 CONCRETE DESCRIPTION	DETAIL
03-03	CONCRETE MOW CURB, TYPE 1	4/L6.10
03-07	LOG ROUND PAVING	7/L6.00
03-08	EXPOSED AGGREGATE PAVING	4/L6.00
03-09	SENSORY PATH - STAMPED CONCRETE	6/L6.00
03-10	CONC. RETAINING WALL, SEE ARCH.	2/L6.00
03-11	6' CHAIN LINK FENCE ON NEW CONC. RETAINING WALL	3/L6.00
03-14	CONCRETE RETAINING WALL	2/L6.00
SYMBOL	04 MASONRY DESCRIPTION	DETAIL
04-01	WALL BALL	15/L6.00
SYMBOL	11 EQUIPMENT DESCRIPTION	DETAIL
11-01	DOUBLE HEAD BASKETBALL HOOP	2/L6.04
11-02	TRIPLE-TOSS COURT	3/L6.04
11-03	TETHERBALL POLE & LAYOUT	5/L6.04
SYMBOL	12 FURNISHINGS DESCRIPTION	DETAIL
12-01	EXTERIOR ACCESSIBLE DRINKING FOUNTAIN	7/L6.04
12-04	BOULDER SEAT	11/L6.10
12-05	6' BENCH, SEE SPECS	
12-06	TRASH RECEPTACLE, SEE SPECS	
SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION	DETAIL
32-01	4' CHAIN LINK FENCE	4/L6.02
32-02	6' CHAIN LINK FENCE	3/L6.02
32-03	PEDESTRIAN GATE (MATCH FENCE HEIGHT)	5/L6.02
32-04	SLIDING GATE	1/L6.02
32-08	TREE GRATE	5/L6.11
32-09	BACK-TO-BACK HALF-COURT BASKETBALL LAYOUT	1/L6.04
32-10	HOPSCOTCH STRIPING	9/L6.04
32-11	FOUR SQUARE STRIPING	10/L6.04
32-12	POURED IN PLACE FALL ZONE SURFACE	9/L6.00
32-13	BOULDERS IN SAFETY SURFACING	10/L6.10
32-14	SALVAGED & RELOCATED PLAY STRUCTURE, SEE SPECS	
32-15	OMNISPIN SPINNER BY LANDSCAPE STRUCTURES, SEE SPECS	
32-17	UNITED STATES MAP STENCIL	6/L6.04
32-18	4" WIDE PAINTED "TRACK" STRIPES	
32-19	BRONZE CONCRETE SURVEY MARKER	
32-20	ELECTRIC VEHICLE CHARGING STATION	
32-22	TYPICAL DECORATIVE METAL GUARDRAIL	6/L6.03
32-23	RAMP HANDRAIL	
32-24	COLUMNS, SEE ARCH.	

PLAYGROUND NOTES

- ALL PLAY EQUIPMENT SHALL BE PROCURED AND INSTALLED PER SPECIFICATION SECTION 116800 AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
- THE DETAILS PROVIDED ARE FOR DESIGN INTENT PURPOSES ONLY. PROVIDE SHOP DRAWINGS OF ALL PLAY EQUIPMENT AND SAFETY SURFACING FOR APPROVAL PRIOR TO INSTALLATION.
- THE CRITICAL FALL ZONE HEIGHT OF THE INDICATED EQUIPMENT IS 96-INCHES. CONTRACTOR SHALL FIELD VERIFY PRIOR TO INSTALLATION OF SAFETY SURFACING.
- CONTRACTOR SHALL FULLY FENCE OFF THE PLAYGROUND WITH TEMPORARY 6' CHAIN LINK FOR THE DURATION OF CONSTRUCTION.
- REMOVE AND LEGALLY DISPOSE OF EXISTING ENGINEERED WOOD FIBER OFF SITE.
- INSTALL ALL PLAYGROUND SURFACING AND STRUCTURES PER THE MANUFACTURER'S REQUIREMENTS AND APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HEALTH DEPARTMENT APPROVAL IF PLAY EQUIPMENT SUBSTITUTIONS ARE ACCEPTED.
- DIMENSIONS SHOWN ARE TO CENTER OF PAINTED LINES AND CENTER OF POSTS. SEE DETAILS.

PERMIT SET

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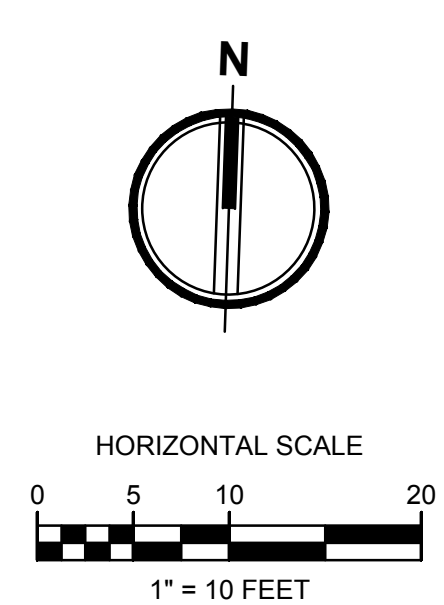
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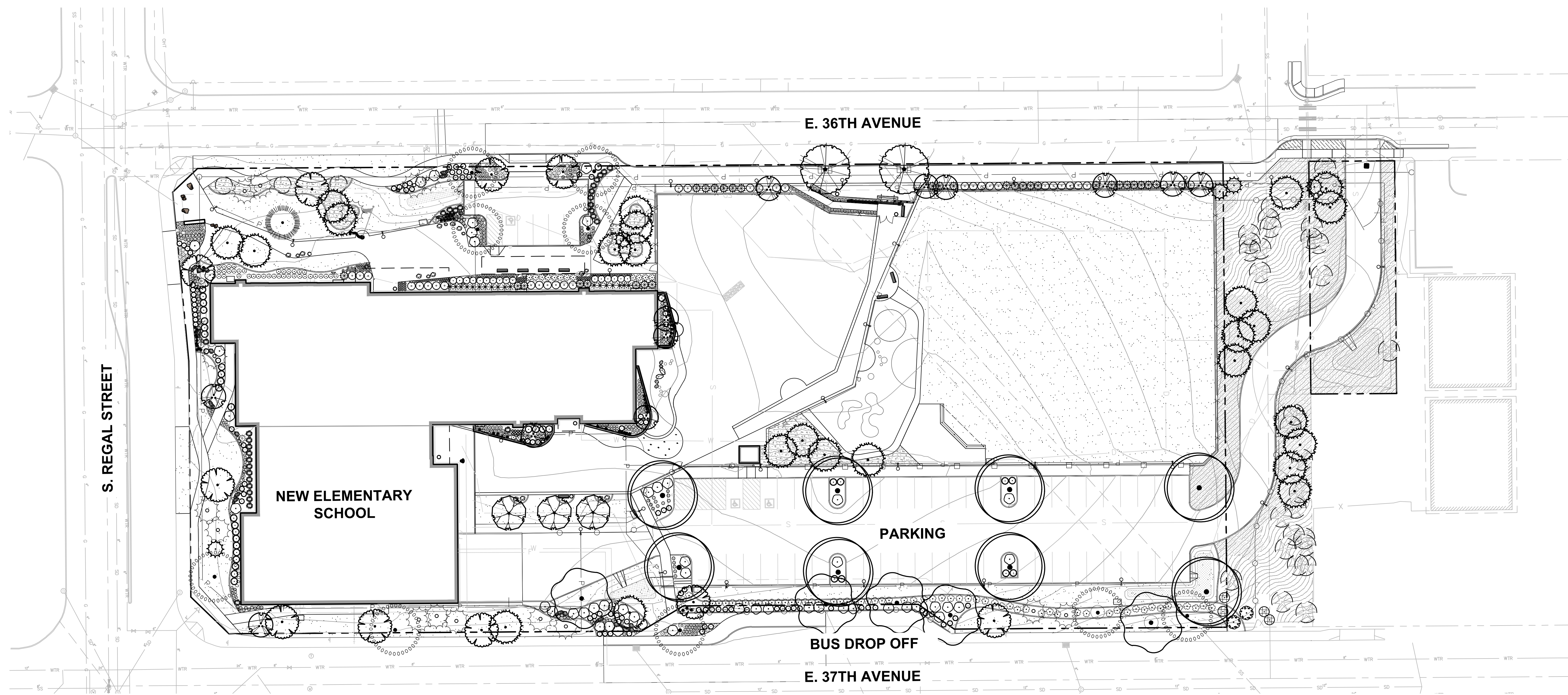
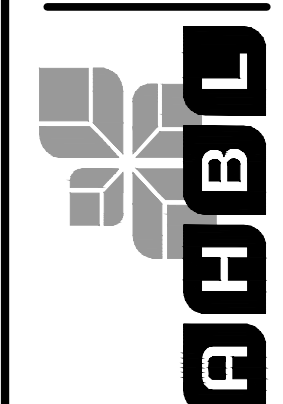
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ENLARGED
PLAYGROUND
PLAN
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L1.13





LANDSCAPE DATA TABLE

THE FOLLOWING TABLE IS PROVIDED FOR LANDSCAPE CALCULATIONS INDICATED IN THE CITY OF SPOKANE CODE 17C.200 LANDSCAPING AND SCREENING STANDARDS.

SITE ZONE:	RSF (SINGLE FAMILY RESIDENTIAL), RMF (RESIDENTIAL MULTIFAMILY)
SITE EXISTING USE:	ELEMENTARY SCHOOL
SITE PROPOSED USE:	ELEMENTARY SCHOOL
ADJACENT ZONE:	
NORTH: E. 36TH AVE.	
SOUTH: E. 37TH AVE.	
EAST: RMF (SINGLE FAMILY RESIDENTIAL)	
WEST: S. REGAL ST.	
ADJACENT USE:	RMF (RESIDENTIAL MULTIFAMILY)

LANDSCAPE BUFFERS

NORTH PROPERTY LINE: E. 36TH AVE., (6' WIDE L3 OPEN AREA LANDSCAPING) (SMC 17C.200.040.A.1.F)
 SOUTH PROPERTY LINE: E. 37TH AVE., (6' WIDE L3 OPEN AREA LANDSCAPING) (SMC 17C.200.040.B)
 EAST PROPERTY LINE: RMF (5' WIDE L3 PERIMETER BUFFER) (SMC 17C.200.040.A.1.F)
 WEST PROPERTY LINE: S. REGAL ST., (6' WIDE L3 OPEN AREA LANDSCAPING) (SMC 17C.200.040.A.1.F)

STREET TREES:

E. 36TH AVE.:
 REQUIRED STREET TREES: COLUMNAR TREES PLANTED 25' O.C., 665 LINEAR FEET/ 25 = 27 COLUMNAR TREES OR 22 CANOPY TREES
 PROVIDED STREET TREES=27

E. 37TH AVE.:
 REQUIRED STREET TREES: COLUMNAR TREES PLANTED 25' O.C., 646 LINEAR FEET/25= 26 COLUMNAR TREES OR 22 CANOPY TREES
 PROVIDED STREET TREES= 23

S. REGAL ST.:
 REQUIRED STREET TREES: COLUMNAR TREES PLANTED 240 LINEAR FEET/25= 10 COLUMNAR TREES OR 8 CANOPY TREES
 PROVIDED STREET TREES=8

PARKING AREA LANDSCAPING (SMC 17C.200.040.F)

NORTH VISITOR PARKING LOT: 5 PARKING STALLS
 REQUIRED LANDSCAPE BUFFER: 6' WIDE, L2 BUFFER
 REQUIRED INTERIOR PARKING LOT LANDSCAPING:
 • MIN. 10% TOTAL PAVED PARKING AREA EXCLUDING REQUIRED PERIMETER AND STREET FRONTAGE STRIPS
 • L3 OPEN AREA LANDSCAPING INCLUDING MINIMUM OF ONE INTERIOR TREE PLANTED FOR EVERY 6 PARKING SPACES.
 • ALL PARKING STALLS SHALL BE WITHIN 60' OF L3 OPEN AREA LANDSCAPING.
 • ALL INDIVIDUAL PLANTING AREAS WITHIN PARKING LOTS SHALL BE AT LEAST 150 SF.

SOUTH STAFF PARKING LOT: 51 PARKING STALLS
 REQUIRED LANDSCAPE BUFFER: 6' WIDE, L2 BUFFER
 REQUIRED INTERIOR PARKING LOT LANDSCAPING:
 • MIN. 10% TOTAL PAVED PARKING AREA EXCLUDING REQUIRED PERIMETER AND STREET FRONTAGE STRIPS
 • L3 OPEN AREA LANDSCAPING INCLUDING MINIMUM OF ONE INTERIOR TREE PLANTED FOR EVERY 6 PARKING SPACES.
 • ALL PARKING STALLS SHALL BE WITHIN 60' OF L3 OPEN AREA LANDSCAPING.
 • ALL INDIVIDUAL PLANTING AREAS WITHIN PARKING LOTS SHALL BE AT LEAST 150 SF.

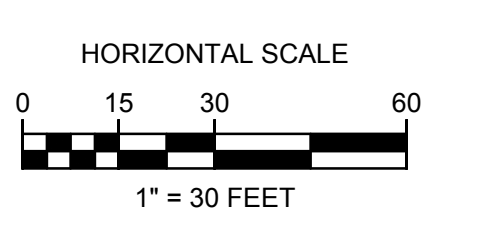
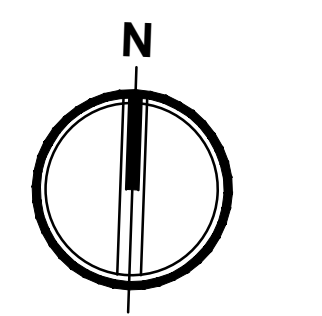
TOTAL SITE AREA: 181,872 SF
 REQUIRED SITE TO BE LANDSCAPED: MINIMUM 15% (181,872 x .15 = 27,280.8 SF)
 PROVIDED SITE TO TO BE LANDSCAPED: 77,986 SF

GENERAL PLANTING NOTES

- THESE PLANS ARE CONSIDERED INCOMPLETE WITHOUT THE ACCOMPANYING SPECIFICATIONS. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF DISCREPANCIES BETWEEN PLANS AND SPECIFICATIONS OR DIFFERENCES BETWEEN SITE CONDITIONS AND THE PLANS ARE ENCOUNTERED. SEE SPECIFICATIONS FOR REQUIRED OWNER AND LANDSCAPE ARCHITECT INSPECTIONS.
- PRIOR TO PLANTING, THE CONTRACTOR SHALL VERIFY SITE CONDITIONS MATCH THE APPROVED LANDSCAPE PLANS. NOTIFY THE LANDSCAPE ARCHITECT OF DISCREPANCIES INCLUDING UTILITY ENCLOSURES AND VAULTS, FIRE HYDRANTS, STREET AND SAFETY SIGNAGE, LIGHT POLES, CURBS, AND WALKWAYS.
- VERIFY SUB-GRADE PREPARATION HAS BEEN COMPLETED PRIOR TO LANDSCAPE WORK. THE LANDSCAPE CONTRACTOR ACCEPTS SUB-GRADES UPON COMMENCEMENT OF WORK. OBTAIN WRITTEN APPROVAL OF FINISHED GRADES FROM PROJECT CIVIL ENGINEER PRIOR TO PLANTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING LOCATIONS OF ALL UTILITIES PRIOR TO PLANTING. CALL FOR UTILITY LOCATES PRIOR TO EXCAVATION.
- VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION. ANY PLANT MATERIAL QUANTITIES LISTED ARE FOR THE CONVENIENCE OF THE CONTRACTOR. ACTUAL NUMBER OF SYMBOLS ON THE PLAN SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED IN THE PLANT SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COUNTING THE TOTAL NUMBER OF PLANTS INDICATED ON THE PLANS AND ESTIMATING GROUNDCOVER QUANTITIES.
- ANY SUBSTITUTIONS OF STREET TREES MUST HAVE WRITTEN APPROVAL FROM URBAN FORESTRY PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FURNISH AND PAY FOR ALL CONTAINER OR FIELD GROWN TREES, SHRUBS AND GROUNDCOVERS, INCLUDING SEEDED AND SODDED TURF, HYDROMULCHES AND FLATTED GROUNDCOVERS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE AND PAY FOR: PLANTING OF ALL PLANT MATERIALS; THE SPECIFIED GUARANTEE OF ALL PLANT MATERIALS; THE STAKING AND GUYING OF TREES AND THE CONTINUOUS PROTECTION OF ALL PLANT MATERIALS UPON THEIR ARRIVAL AT THE SITE.
- PROVIDE TEMPORARY IRRIGATION TO LAWN AND PLANTING AREAS OUTSIDE THE LIMITS OF WORK.
- MINIMUM SEPARATION DISTANCES FROM THE CENTERLINE OF A TREE TO OTHER STRUCTURES OR IMPROVEMENTS IN THE PLANTING STRIP SHALL BE AS FOLLOWS:
 - 10 FEET TO EDGE OF SINGLE-FAMILY RESIDENTIAL DRIVEWAY, 15 FEET TO EDGE OF COMMERCIAL OR MULTI-FAMILY DRIVEWAY (10 FEET MAY BE ALLOWED IN SOME CASES);
 - 20 FEET TO STREET LIGHT LUMINAIRE (15 FEET MAY BE ALLOWED WHERE LIGHTING PATTERN IS NOT AFFECTED);
 - 10 FEET TO HYDRANTS AND UTILITY POLES. LOWER LIMBS MUST BE PRUNED FOR FULL VISIBILITY OF THE HYDRANT. NO NEW UTILITY POLE LOCATION SHALL BE ESTABLISHED CLOSER THAN 10 FEET TO AN EXISTING TREE;
 - AS REQUIRED TO PROVIDE AN ADEQUATE CLEAR SIGHT TRIANGLE AS DEFINED IN THE CITY OF SPOKANE DESIGN STANDARDS 3.4-6 ROADSIDE PLANTINGS.
 - 15 FEET TO UNDERGROUND DUCT OR PIPE;
 - 5 FEET FROM CURB CUT FOR DRAINAGE;
 - 20 FEET FROM DRYWELL, UNLESS THE SPECIES PERMITS A CLOSER PLACEMENT DUE TO CROWN DIAMETER; AND SHALL CONFORM WITH THE ARBORICULTURAL MANUAL SPECIFICATIONS AND STANDARDS OF PRACTICE.
- CONTRACTOR SHALL PLANT ALL TREES AND SHRUBS ACCORDING TO DETAIL V-101 AND V-102 ON SHEET L6.11. AFTER PLANTING IF TREES ARE UNSTABLE STAKING MAY BE USED BUT ONLY AS NECESSARY. AT 6 MONTHS ALL STAKING MATERIAL SHALL BE REMOVED. IF TREE IS STILL UNSTABLE AFTER 6 MONTHS TREE MAY NEED TO BE REPLACED.
- PRIOR TO STREET/PUBLIC TREE INSTALLATION, PRUNING (CROWN/ROOT) OR REMOVAL PLEASE HAVE THE CONTRACTED LICENSED CERTIFIED ARBORIST SUBMIT A COMPLETE PUBLIC TREE PERMIT APPLICATION AT LEAST 10 DAYS PRIOR TO WORK BEING PERFORMED FOR THIS PROJECT TO INCLUDE CERTIFIED ARBORIST INFORMATION AND START AND COMPLETION DATES. THE GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THE LANDSCAPE CONTRACTOR IS AWARE AND COMPLIANT WITH THIS REQUIREMENT.
- ALL STREET TREES SHALL HAVE A FIVE FEET DIAMETER TREE WELL AT THE BASE THAT IS FREE OF TURF AND OTHER VEGETATION.

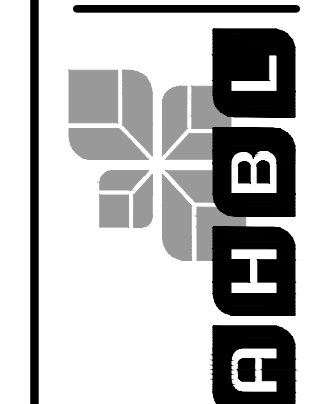
*TREE RETENTION			
#	SPECIES	DIAMETER AT 4.5' ABOVE THE GROUND	POINTS RECEIVED
7	PONDEROSA PINE	8-15"	105
3	QUERCUS PALUSTRIS	8-15"	30
20	PONDEROSA PINE	16" +	500
TOTAL			635

*SEE CIVIL PLANS FOR TREE PROTECTION DETAIL AND NOTES

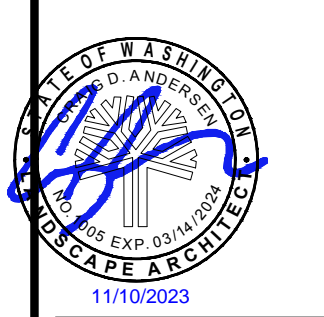


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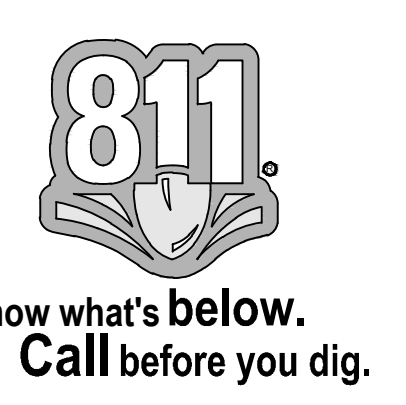
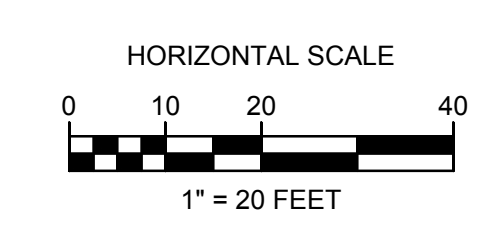
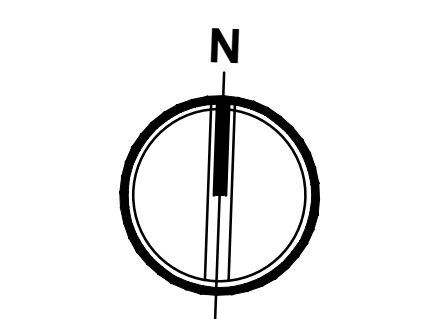
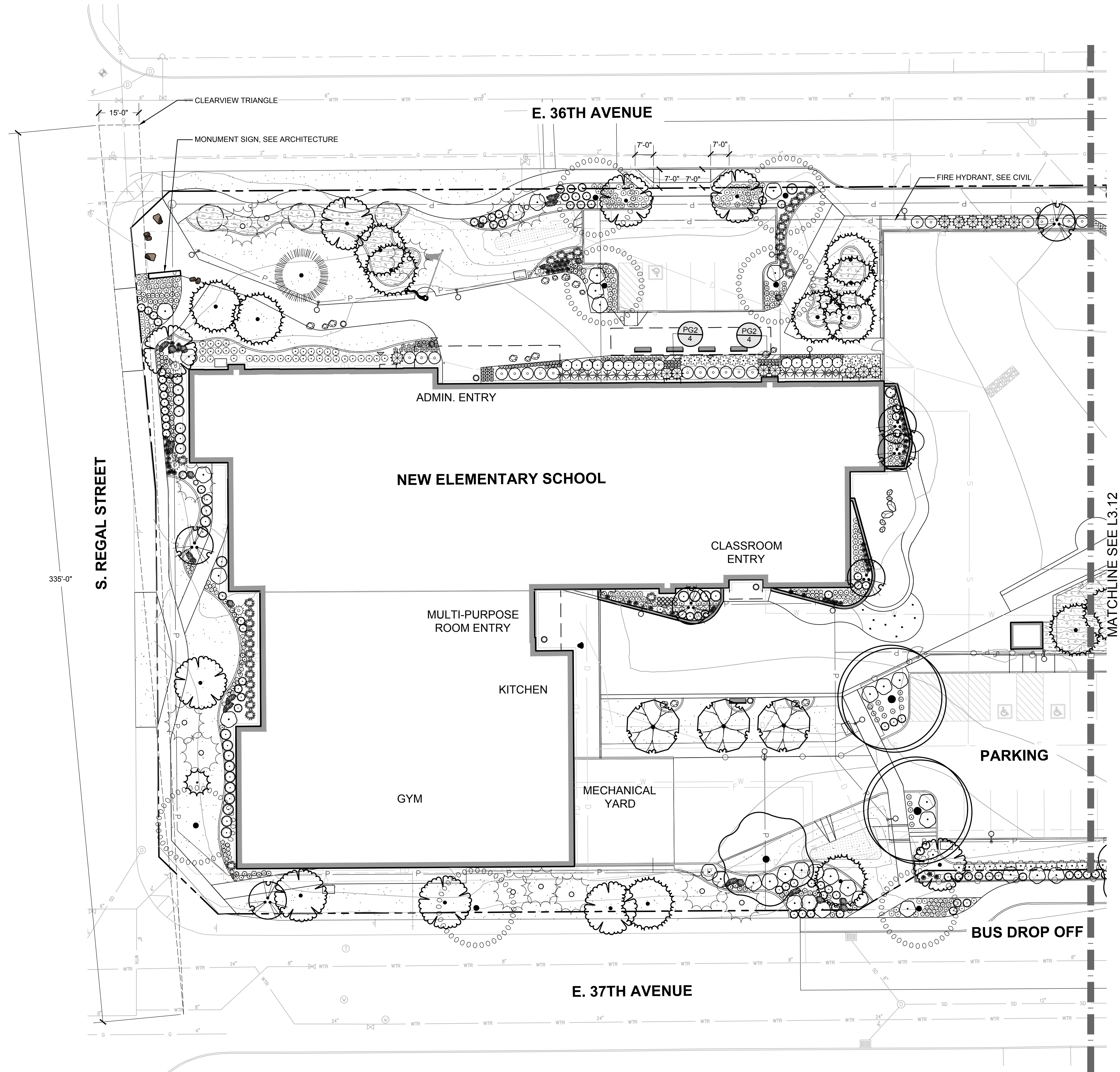
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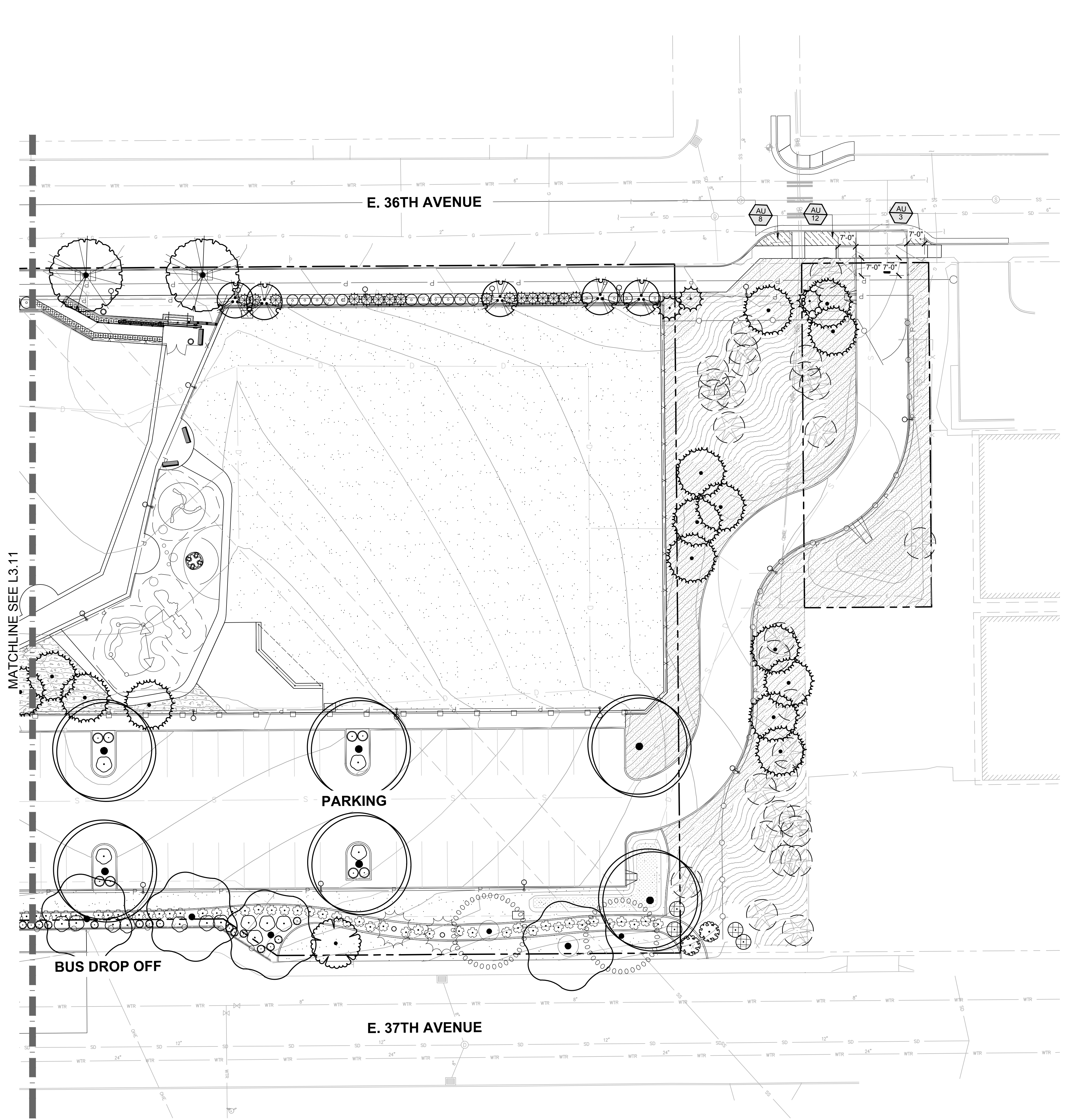
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DATE: 11/10/2023

PLANTING PLAN

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L3.11

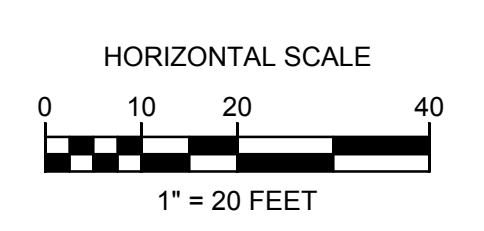
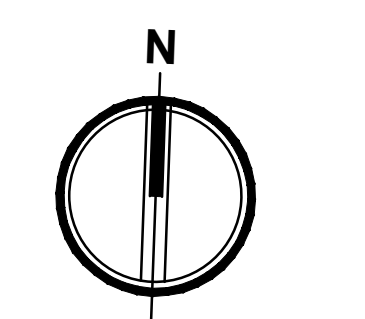
TREES	QTY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE		
	8	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE® FREEMAN MAPLE	2" CAL.		
	12	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	7-8' HT., MULTI TRUNK		
	5	CERCIS CANADENSIS	EASTERN REDBUD	2" CAL.		
	9	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	2" CAL.		
	2	NYSSA SYLVATICA	TUPELO	2" CAL.		
	1	PICEA PUNGENS 'GLAUCA'	BLUE COLORADO SPRUCE	8' HT. MIN.		
	15	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LIMBER PINE	8' HT. MIN.		
	5	PINUS LEUCODERMIS	BOSNIAN PINE	8' HT. MIN.		
	25	PINUS PONDEROSA	PONDEROSA PINE	8' HT. MIN.		
	10	PRUNUS X 'SNOW GOOSE'	SNOW GOOSE CHERRY	2" CAL.		
	3	PRUNUS X YEDOENSIS 'CASCADE SNOW'	CASCADE SNOW CHERRY	2" CAL.		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE		
	35	AZALEA X 'HINO-CRIMSON'	HINO-CRIMSON AZALEA	3 GAL		
	16	BERBERIS THUNBERGII 'CRIMSON PYGM'	CRIMSON PYGMY JAPANESE BARBERRY	2 GAL		
	116	BERBERIS THUNBERGII 'GORUZAM'	GOLDEN RUBY® JAPANESE BARBERRY	2 GAL		
	49	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	SUFFRUTICOSA COMMON BOXWOOD	2 GAL		
	124	CALLUNA VULGARIS 'FIREFLY'	FIREFLY HEATHER	1 GAL		
	40	CORNUS SERICEA 'KELSEY'	KELSEY'S DWARF RED TWIG DOGWOOD	1 GAL		
	39	ERICA CARNEA 'SPRINGWOOD PINK'	SPRINGWOOD PINK WINTER HEATH	1 GAL		
	88	ERICA X DARLEYENSIS 'MARY HELEN'	MARY HELEN DARLEY HEATH	1 GAL		
	58	GERANIUM X 'ROZANNE'	ROZANNE CRANESBILL	1 GAL		
	61	HAKONECHLOA MACRA 'ALL GOLD'	ALL GOLD JAPANESE FOREST GRASS	1 GAL		
	52	HEUCHERA X 'TNEUSSOD'	SIREN'S SONG™ ORANGE DELIGHT HEUCHERA	1 GAL		
	12	HOSTA X 'FRANCEE'	FRANCEE HOSTA	2 GAL		
	62	ILEX GLABRA 'CHAMZIN'	NORDIC™ INKBERRY HOLLY	3 GAL		
	94	JUNIPERUS HORIZONTALIS 'LIMEGLOW'	LIMEGLOW CREEPING JUNIPER	2 GAL		
	49	JUNIPERUS SABINA 'MONARD'	MOOR-DENSE® JUNIPER	2 GAL		
	18	MATTEUCCIA STRUTHIOPTERIS	OSTRICH FERN	1 GAL		
	10	MISCANTHUS SINENSIS 'LITTLE KITTEN'	LITTLE KITTEN EULALIA GRASS	1 GAL		
	30	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	2 GAL		
	16	PIERIS JAPONICA 'PURITY'	PURITY JAPANESE PIERIS	3 GAL		
	4	PINUS MUGO 'MOPS'	MOPS MUGO PINE	3 GAL		
	30	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL		
	2	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	1 GAL		
	36	SPIRAEA X BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	3 GAL		
	4	VACCINIUM OVALIFOLIUM	OVAL-LEAF BLUEBERRY	1 GAL		
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	SPACING	
	10,145 SF	MEADOW GRASS MIX				
GROUND COVERS	QTY	CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	SPACING
	398 SF		PINE STRAW MULCH AREAS			
	5,671 SF		NATIVE TO REMAIN			
	23	AU	ARCTOSTAPHYLOS UVA-URSI	KINNIKINICK	4" POT	36" o.c.
	8	PG2	PACHYSANDRA TERMINALIS 'GREEN CARPET'	GREEN CARPET JAPANESE PACHYSANDRA	4" POT	24" o.c.
	45,176 SF		TURF SOD	DROUGHT TOLERANT FESCUE BLEND	SOD	
			PLANT IDENTIFICATION SIGN, SEE DETAIL SHEET			





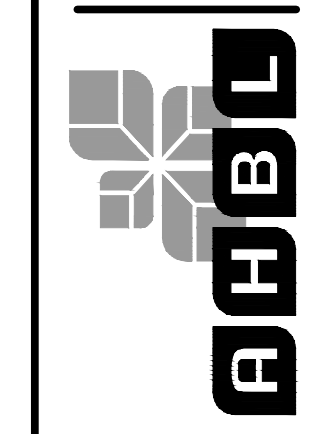
PLANT SCHEDULE

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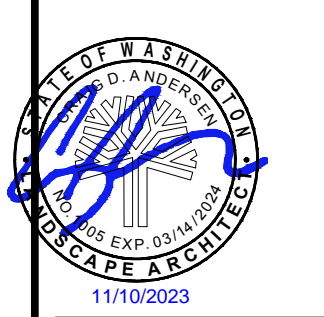


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