

CITY OF SPOKANE



REGARDING CITY COUNCIL MEETINGS

City Council's standing committee meetings, Agenda Review Sessions, and Legislative Sessions are held in City Council Chambers – Lower Level of City Hall, 808 W. Spokane Falls Blvd.

City Council Members, City staff, presenters and members of the public have the option to participate virtually via WebEx during all meetings, with the exception of Executive Sessions which are closed to the public. Call in information for the January 27, 2025, meetings is below. All meetings will be streamed live on Channel 5 and online at <https://my.spokanecity.org/citycable5/live> and <https://www.facebook.com/spokanecitycouncil>.

WebEx call in information for the week of January 27, 2025:

3:30 p.m. Agenda Review Session: 1-408-418-9388; access code: 248 249 50291; password: 0320

6:00 p.m. Legislative Session: 1-408-418-9388; access code: 249 653 53421; password: 0320

To participate in public comment (including Open Forum):

Testimony sign-up is open beginning at 5:00 p.m. on Friday, January 24, 2024, and ending at 6:00 p.m. on Monday, January 27, 2025, via the online testimony sign-up form link which can be accessed by clicking <https://forms.gle/Vd7n381x3seaL1NW6> or in person outside council chambers beginning at 8:00 a.m. on January 27, 2025. You must sign up by 6:00 p.m. to be called on to testify. (If you are unable to access the form by clicking the hyperlink, please copy and paste the link address into your browser window.) Instructions for participation are provided on the form when you sign up.

The open forum is a limited public forum; all matters discussed in the open forum shall relate to the affairs of the City and not relating to the current or advance agendas, pending hearing items, or initiatives or referenda in a pending election. "Affairs of the city" shall include (i) matters within the legislative, fiscal or regulatory purview of the city, (ii) any ordinance, resolution or other official act adopted by the city council, (iii) any rule adopted by the city, (iv) the delivery of city services and operation of city departments, (v) any act of members of the city council, the mayor or members of the administration, or (vi) any other matter deemed by the council president to fall within the affairs of the city, which determination may be overridden by majority vote of the council members present. Individuals speaking during the open forum shall address their comments to the council president and shall maintain decorum as laid out in Rule 2.15 (Participation by Members of the Public in Council Meetings).

THE CITY OF SPOKANE



FINAL COUNCIL AGENDA

MEETING OF MONDAY, JANUARY 27, 2025

MISSION STATEMENT

**TO DELIVER EFFICIENT AND EFFECTIVE SERVICES
THAT FACILITATE ECONOMIC OPPORTUNITY
AND ENHANCE QUALITY OF LIFE.**

MAYOR LISA BROWN

COUNCIL PRESIDENT BETSY WILKERSON

COUNCIL MEMBER JONATHAN BINGLE

COUNCIL MEMBER MICHAEL CATHCART

COUNCIL MEMBER PAUL DILLON

COUNCIL MEMBER KITTY KLITZKE

COUNCIL MEMBER LILI NAVARRETE

COUNCIL MEMBER ZACK ZAPPONE

**CITY COUNCIL CHAMBERS
CITY HALL**

**808 W. SPOKANE FALLS BLVD.
SPOKANE, WA 99201**

City of Spokane Guest Wireless access for Council Chambers for January 27, 2025:

Username: **COS Guest**

Password: **K8vCr44y**

Please note the space in username.

Both username and password are case sensitive.

LAND ACKNOWLEDGEMENT

We acknowledge that we are on the unceded land of the Spokane people. And that these lands were once the major trading center for the Spokanes as they shared this place and welcomed other area tribes through their relations, history, trade, and ceremony. We also want to acknowledge that the land holds the spirit of the place, through its knowledge, culture, and all the original peoples Since Time Immemorial.

As we take a moment to consider the impacts of colonization may we also acknowledge the strengths and resiliency of the Spokanes and their relatives. As we work together making decisions that benefit all, may we do so as one heart, one mind, and one spirit.

We are grateful to be on the shared lands of the Spokane people and ask for the support of their ancestors and all relations. We ask that you recognize these injustices that forever changed the lives of the Spokane people and all their relatives.

We agree to work together to stop all acts of continued injustices towards Native Americans and all our relatives. It is time for reconciliation. We must act upon the truths and take actions that will create restorative justice for all people.

Adopted by Spokane City Council on the 22nd day of March, 2021
via Resolution 2021-0019

AGENDA REVIEW AND LEGISLATIVE SESSIONS

Council meetings consist of two parts: The Agenda Review Session (starting at 3:30 P.M.) and the Legislative Session (starting at 6:00 P.M.). The Agenda Review Session is open to the public, but participation is limited to Council Members and appropriate staff. The Legislative Session also is open to the public, and public comment is taken on legislative items (except those that are adjudicatory or solely administrative in nature). Following the conclusion of the Legislative portion of the meeting, an Open Forum is held unless a majority of Council Members vote otherwise. Please see additional Open Forum information that appears at the end of the City Council agenda.

SPOKANE CITY COUNCIL AGENDA REVIEW SESSIONS (BEGINNING AT 3:30 P.M. EACH MONDAY) AND LEGISLATIVE SESSIONS (BEGINNING AT 6:00 P.M. EACH MONDAY) ARE BROADCAST LIVE ON CITY CABLE CHANNEL FIVE AND STREAMED LIVE ON THE CHANNEL FIVE WEBSITE. THE SESSIONS ARE REPLAYED ON CHANNEL FIVE ON THURSDAYS AT 6:00 P.M. AND FRIDAYS AT 10:00 A.M.

ADDRESSING THE COUNCIL

- Public participation in Council meetings is governed by Council Rules 2.15 and 2.16. A complete copy of the council rules can be found here: [City Council Rules](#).
- No member of the public may speak without first being recognized for that purpose by the Chair. Except for named parties to an adjudicative hearing, a person may be required to sign a sign-up sheet and provide their name and city of residence as a condition of recognition.
- Persons speaking at the podium shall verbally identify themselves by name, city of residency and, if appropriate, representative capacity.
- Speakers may be provided additional written or verbal instructions to ensure that verbal remarks are electronically recorded. Documents submitted for the record are identified and marked by the Clerk. (If you are submitting paper copies of documents to the Council Members, please provide a minimum of ten copies via the City Clerk. The City Clerk is responsible for officially filing and distributing your submittal.)
- To ensure that evidence and expressions of opinion are included in the record, and to ensure that decorum befitting a deliberative process is maintained, no modes of expression including but not limited to demonstrations, banners, signs, applause, profanity, vulgar language, or personal insults are permitted. To prevent disruption of council meetings and visual obstruction of proceedings, members of the audience shall remain seated during council meetings.
- A speaker asserting a statement of fact may be asked to document and identify the source of the factual datum being asserted.
- When addressing the Council, members of the public shall direct all remarks to the Council President, and shall confine their remarks to the matters that are specifically before the Council at that time or, if speaking during Open Forum, shall confine their remarks to affairs of the city.
- City staff may testify at Council meetings, including open forum, providing the testimony is in compliance with the City of Spokane Code of Ethics and the staff follow the steps outlined in the City Council Rules of Procedure.

SPEAKING TIME LIMITS: Each person addressing the Council is limited to two minutes of speaking time, except during hearings and items under final consideration by the Council, for which three minutes will be allowed. The chair may allow additional time if the speaker is asked to respond to questions from the Council. Public testimony and consideration of an item may be extended to a subsequent meeting by a majority vote of the Council. Note: No public testimony shall be taken on amendments to consent or legislative agenda items, or solely procedural, parliamentary, or administrative matters of the Council.

CITY COUNCIL AGENDA: The City Council agendas may be obtained prior to Council Meetings by accessing the City's website at <https://my.spokanecity.org/citycouncil/documents/>.

AGENDA REVIEW SESSION

(3:30 p.m.)

(Council Chambers Lower Level of City Hall)

(No Public Testimony Taken)

ROLL CALL OF COUNCIL

INTERVIEWS OF NOMINEES TO BOARDS AND COMMISSIONS

COUNCIL OR STAFF REPORTS OF MATTERS OF INTEREST

DRAFT AGENDAS REVIEW (Staff or Council Member briefings and discussion)

APPROVAL BY MOTION OF THE DRAFT AGENDA

CONSIDERATION OF ANY REQUESTS FOR DEFERRAL OF ITEMS ON THE FINAL AGENDA

EXECUTIVE SESSION

(Closed Session of Council)

(Executive Session may be held or reconvened during the 6:00 p.m. Legislative Session)

LEGISLATIVE SESSION

(6:00 P.M.)

(Council Reconvenes in Council Chamber)

LAND ACKNOWLEDGEMENT

PLEDGE OF ALLEGIANCE

POETRY AT THE PODIUM, WORDS OF INSPIRATION, AND SPECIAL INTRODUCTIONS

ROLL CALL OF COUNCIL

PROCLAMATIONS AND SALUTATIONS

REPORTS FROM COMMUNITY ORGANIZATIONS

ANNOUNCEMENTS

(Announcements regarding Changes to the City Council Agenda)

NO BOARDS AND COMMISSIONS APPOINTMENTS

CONSENT AGENDA

The consent agenda consists of purchases and contracts for supplies and services provided to the city, as well as other agreements that arise (such as settlement or union agreements), and weekly claims and payments of previously approved obligations and biweekly payroll claims against the city. Any agreement over \$50,000 must be approved by the city council. Typically, the funding to pay for these agreements has already been approved by the city council through the annual budget ordinance, or through a separate special budget ordinance. If the contract requires a new allocation of funds, that fact usually will be indicated in the summary of the contract in the consent agenda.

Unless a council member requests that an item be considered separately, the council approves the consent agenda as a whole in a single vote. Note: The consent agenda is no longer read in full by the city clerk. The public is welcome to testify on matters listed in the consent agenda, but individual testimony is limited to three minutes for the entire consent agenda.

REPORTS, CONTRACTS AND CLAIMS

RECOMMENDATION

- | | | |
|--|------------------------------|---------------|
| 1. Purchase from Mallory Safety and Supply LLC (Spokane Valley, WA) of Area Rae air monitoring system for the Fire Department for large community events (e.g. Bloomsday, Hoopfest) and expanded hazardous material incidents utilizing funds from a Department of Ecology Spill Response Grant awarded in 2024—\$93,461.84. (Council Sponsors: Council President Wilkerson and Council Members Dillon and Cathcart) | Approve | OPR 2025-0035 |
| 2. Purchase of various insurance policies for the City, utilizing Willis Towers Watson Insurance (Seattle, WA) as broker, for the period of January 1, 2025, to January 1, 2026—\$4,063,002. (Council Sponsors: Council President Wilkerson and Council Members Dillon and Cathcart) | Approve | OPR 2025-0036 |
| 3. Contract with Halme Construction, Inc. (Spokane) for emergency project to slip-line a failing 36-inch sewer pipe on a steep hillside—\$149,000. (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke) | Approve & Authorize Contract | OPR 2025-0037 |

Klitzke Proposed Amendment:

- Request motion to amend dollar amount to \$250,000 and replace briefing paper with updated revised version filed January 13, 2025, and included in agenda packet under OPR 2025-0037.

4. Report of the Mayor of pending:

Approve &
Authorize
Payments

CPR 2025-0002

- a. Claims and payments of previously approved obligations, including those of Parks and Library, through January 10, 2025, total \$10,294,255.11, with Parks and Library claims approved by their respective boards. Warrants excluding Parks and Library total \$10,092,259.78.

- b. Claims and payments of previously approved obligations, including those of Parks and Library, through January 17, 2025, total \$10,898,015.83, with Parks and Library claims approved by their respective boards. Warrants excluding Parks and Library total \$10,020,358.88.

CPR 2025-0002

- c. Payroll claims of previously approved obligations through January 18, 2025: \$9,269,612.23.

CPR 2025-0003

5. a. City Council Meeting Minutes: January 6, January 9, and January 13, 2025.

Approve All

CPR 2025-0013

- b. City Council Public Safety and Community Health Standing Committee Meeting Minutes: January 6, 2025.

CPR 2025-0018

The following item was deferred from the January 13, 2025, Agenda, during the January 13, 2025, 3:30 p.m. Agenda Review Session (OPR 2025-0014):

6. Contract with Transitions to fast-track spend-down of \$1.26 million remaining eviction prevention funds under the System Demonstration Grant—\$230,047. (Council Sponsors: Council Members Zappone, Bingle, and Klitzke).

Approve

OPR 2025-0014

Arielle Anderson

LEGISLATIVE AGENDA

NO SPECIAL BUDGET ORDINANCES

NO EMERGENCY ORDINANCES

RESOLUTIONS & FINAL READING ORDINANCES

(Require Four Affirmative, Recorded Roll Call Votes)

RES 2025-0004 Declaring the waiver of public bid requirements for the purchase of 2025 insurance premiums for specified City insurance coverages. (Council Sponsors: Council President Wilkerson and Council Members Dillon and Cathcart)

ORD C36629 (To be considered under Hearings Item H1.)

Council Member Navarrete request motion to defer the following item to February 10, 2025, Agenda to consider future amendment on the normal timeline during the February 3, 2025, Agenda Review Meeting (ORD C36630):

ORD C36630 Relating to language access and the recruitment of bilingual and multilingual applicants to the City of Spokane, and amending Section 18.11.050 of the Spokane Municipal Code. (Council Sponsors: Council Members Navarrete, Cathcart, and Dillon)

Staff requests motion to defer the following item to February 3, 2025, Agenda (ORD C36633):

ORD C36633 Amending Section 17D.100.230 of the Spokane Municipal Code to add Centers and Corridors to Historic Preservation review of proposed demolition of historic properties, also to bring review of buildings by the Spokane Historic Landmarks Commission into compliance with 2023 Washington House Bill 1293 by implementing clear and objective design standards, and to modify the limitations on redevelopment of a property after a historic or eligible structure has been demolished. (Council Sponsors: Council Members Zappone, Klitzke, and Bingle)

FIRST READING ORDINANCES

ORD C36634 Relating to creating an Alcohol Impact Area within specific boundaries of the City of Spokane; adopting a new Chapter 10.82 of the Spokane Municipal Code. (Council Sponsors: Council President Wilkerson and Council Members Zappone and Dillon)

ORD C36635 Implementing a Community Health Impact Area and public health measures to mitigate the impacts of addiction; adopting a new Division

VII and Chapter 10.81 to the Spokane Municipal Code. (Council Sponsors: Council President Wilkerson and Council Members Zappone and Dillon)

ORD C36632 Providing for the acquisition by eminent domain of certain lands necessary for water booster pump station in the vicinity of N. Wieber Drive and W. Shawnee Lane, located in the City and County of Spokane, State of Washington. (Deferred from January 13, 2025, Agenda, during the January 13, 2025, 3:30 p.m. Agenda Review Session) (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

FURTHER ACTION DEFERRED

NO SPECIAL CONSIDERATIONS

HEARINGS

H1.	Hearing on Final Reading Ordinance C36629 relating to Building Opportunity for Housing (BOH) follow up code fixes making changes to the Unified Development Code that are intended to fix errors, clarify, and create more flexibility within the Spokane Municipal Code, amending Spokane Municipal Code (SMC) sections 17A.020.060 "F" Definitions, 17C.111.205 Development Standards Tables, 17C.111.210 Density, 17C.111.220 Building Coverage and Impervious Coverage, 17C.111.235 Setbacks, 17C.111.310 Open Space, 17C.111.315 Entrances, 17C.111.320 Windows, 17C.111.325 Building Articulation, 17C.111.335 Parking Facilities, 17C.111.420 Open Spaces, 17C.230.100 General Standards, 17C.230.110 Minimum Required Parking Spaces, 17C.230.120 Maximum Required Parking Spaces, 17C.230.130 Parking Exceptions, 17C.230.140 Development Standards, 17G.080.040 Short Subdivisions, 17G.080.065 Unit Lot Subdivisions, adopting a new section 17C.230.020 Vehicle Parking Summary Table, and repealing 17C.111.450 Pitched Roofs. (As amended during the January 6, 2025, 3:30 p.m.	Hold Hearing/ Pass Upon Roll Call Vote	ORD C36629
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Agenda Review Session.) (Council Sponsors:
Council Members Bingle, Zappone, and Klitzke)

Ryan Shea

Klitzke Proposed Amendment:

- Request motion to amend Final Reading Ordinance C36629 with proposed updates filed January 14, 2025, and included in agenda packet under Hearings Item H1.

OPEN FORUM

At the conclusion of legislative business, the Council may recess briefly and then convene an open public comment period for up to twenty (20) speakers, unless a majority of council members vote otherwise. If more than twenty (20) people sign up for open forum, the individuals assigned to the twenty (20) spaces available will be chosen at random, with preference given to individuals who have not spoken at open forum during the calendar month. Each speaker is limited to no more than two (2) minutes. In order to participate in Open Forum, you must sign up beginning at 5:00 p.m. on the Friday immediately preceding the legislative session and ending at 6:00 p.m. on the date of the meeting via the virtual testimony form linked in the meeting packet (<https://my.spokanecity.org/citycouncil/documents/>) or in person outside council chambers beginning at 8:00 a.m. on the day of the legislative session. The virtual sign-up form can also be found here: <https://forms.gle/Vd7n381x3seaL1NW6>. (If you are unable to access the form by clicking the hyperlink, please copy and paste the link address into your browser window.) Speakers must sign themselves in using a name. Instructions for virtual participation are provided on the form when you sign up. The Open Forum is a limited public forum; all matters discussed in the open forum shall relate to the affairs of the City other than items appearing on the final or draft agendas, pending hearing items, and initiatives or referenda in a pending election. Individuals speaking during the open forum shall address their comments to the Council President and shall not use profanity, engage in obscene speech, or make personal comment or verbal insults about any individual.

Motion to Approve Final Agenda for January 27, 2025 (per Council Rule 2.1.B)

ADJOURNMENT

The January 27, 2025, Regular Legislative Session of the City Council is adjourned to February 3, 2025.

AMERICANS WITH DISABILITIES ACT (ADA) INFORMATION: The City of Spokane is committed to providing equal access to its facilities, programs and services for persons with disabilities. The Spokane City Council Chamber in the lower level of Spokane City Hall, 808 W. Spokane Falls Blvd., is wheelchair accessible and also is equipped with an infrared assistive listening system for persons with hearing loss. Headsets may be checked out (upon presentation of picture I.D.) at the City Cable 5 Production Booth located on the First Floor of the Municipal Building, directly above the Chase Gallery or through the meeting organizer. Individuals requesting reasonable accommodations or further information may call, write, or email Risk Management at 509.625.6221, 808 W. Spokane Falls Blvd, Spokane, WA, 99201; or mlowmaster@spokanecity.org. Persons who are deaf or hard of hearing may contact Risk Management through the Washington Relay Service at 7-1-1. Please contact us forty-eight (48) hours before the meeting date.

NOTES

**Agenda Sheet for City Council:****Committee:** Urban Experience **Date:** 01/13/2025**Committee Agenda type:** Consent**Date Rec'd**

12/31/2024

Clerk's File #

OPR 2025-0035

Cross Ref #**Project #****Council Meeting Date:** 01/27/2025**Submitting Dept**

FIRE

Bid #**Contact Name/Phone**

MIKE FORBES 509-435-7029

Requisition #**Contact E-Mail**

MFORBES@SPOKANECITY.ORG

Agenda Item Type

Purchase w/o Contract

Council Sponsor(s)

PDILLON

BWILKERSON

MCATHCART

Sponsoring at Administrators Request

NO

Lease? NO**Grant Related?** YES**Public Works?** NO**Agenda Item Name**

HAZMAT AIR MONITORS EQUIPMENT PURCHASE

Agenda Wording

The Spokane Fire Department is requesting permission to use grant funds to purchase a new air monitoring system (Area Rae) for large community events (e.g. Bloomsday, Hoopfest) and expanded hazardous material incidents.

Summary (Background)

The SFD is requesting permission to use grant funds to purchase a new air monitoring system (Area Rae) for large community events (e.g. Bloomsday, Hoopfest) and expanded hazardous material incidents. This system monitors radiological, flammability and chemical signatures in the atmosphere. The system uses portable monitor cases that link back to one main computer for a centralized operations center. It is used in several large cities throughout United States and has the servicing support of Honeywell Industries.

What impacts would the proposal have on historically excluded communities?

How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?

Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

Council Subcommittee Review

Fiscal Impact			
Approved in Current Year Budget? YES			
Total Cost		\$ 93,461.84	
Current Year Cost		\$ 93,461.84	
Subsequent Year(s) Cost		\$ n/a	
<u>Narrative</u>			
This purchase would be with funds from a Department of Ecology Spill Response Grant awarded in 2024. The purchase would be from the following pre-competed federal contract.			
<u>Amount</u>		<u>Budget Account</u>	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
<u>Funding Source</u>		One-Time	
<u>Funding Source Type</u>		Grant	
Is this funding source sustainable for future years, months, etc?			
<u>Expense Occurrence</u>		Recurring	
Other budget impacts (revenue generating, match requirements, etc.)			
This equipment has periodic maintenance needs and software updates. Those items will be funded through M&O budgets within the fire department.			
<u>Approvals</u>		<u>Additional Approvals</u>	
<u>Dept Head</u>	GBYRD	<u>PS EXEC REVIEW</u>	YATES, MAGGIE
<u>Division Director</u>	GBYRD	<u>ACCOUNTING -</u>	MURRAY, MICHELLE
<u>Accounting Manager</u>	GBYRD		
<u>Legal</u>	GBYRD		
<u>For the Mayor</u>	GBYRD		
<u>Distribution List</u>			
Mike Forbes mforbes@spokanecity.org		Kevin Schmitt kschmitt@spokanecity.org	
Fire Accounting fireaccounting@spokanecity.org		Sue Raymon sraymon@spokanecity.org	

Committee Agenda Sheet

Public Safety & Community Health Committee

Committee Date	01/06/2025
Submitting Department	Fire
Contact Name	Mike Forbes
Contact Email & Phone	mforbes@spokanecity.org – 509-435-7029
Council Sponsor(s)	<u>Councilmember Dillon, Council President Wilkerson, Councilmember Cathcart</u>
Select Agenda Item Type	<input checked="" type="checkbox"/> Consent <input type="checkbox"/> Discussion Time Requested:
Agenda Item Name	Equipment Purchase – Hazmat Air Monitors
Proposed Council Action	<input checked="" type="checkbox"/> Approval to proceed to Legislative Agenda <input checked="" type="checkbox"/> Information Only
Summary (Background) *use the Fiscal Impact box below for relevant financial information	The SFD is requesting permission to use grant funds to purchase a new air monitoring system (Area Rae) for large community events (e.g. Bloomsday, Hoopfest) and expanded hazardous material incidents. This system monitors radiological, flammability and chemical signatures in the atmosphere. The system uses portable monitor cases that link back to one main computer for a centralized operations center. It is used in several large cities throughout United States and has the servicing support of Honeywell Industries.
Fiscal Impact Approved in current year budget? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A Total Cost: <u>\$93,461.84</u> Current year cost: \$93,461.84 Subsequent year(s) cost: n/a Narrative: This purchase would be with funds from a Department of Ecology Spill Response Grant awarded in 2024. The purchase would be from the following pre-competed federal contract. Vendor: Mallory Safety and Supply – Contract: US Communities #4400008495 Funding Source <input checked="" type="checkbox"/> One-time <input type="checkbox"/> Recurring <input type="checkbox"/> N/A Specify funding source: Select Funding Source* Is this funding source sustainable for future years, months, etc? Click or tap here to enter text. Expense Occurrence <input type="checkbox"/> One-time <input checked="" type="checkbox"/> Recurring <input type="checkbox"/> N/A This equipment has periodic maintenance needs and software updates. Those items will be funded through M&O budgets within the fire department. Other budget impacts: (revenue generating, match requirements, etc.) - None	
Operations Impacts (If N/A, please give a brief description as to why)	
What impacts would the proposal have on historically excluded communities?	
How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?	

How will data be collected regarding the effectiveness of this program, policy or product to ensure it is the right solution?

Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?



MALLORY
SAFETY AND SUPPLY LLC

3808 N Sullivan B100 Ste B ■ Spokane, WA 99216
Ph: 509-534-0661 ■ Fax: 509-534-0991

QUOTATION

Purchase Order Address:

PO Box 2068
Longview, WA 98632

Order Number	
3610817	
Order Date	Page
08/16/2024 07:59:06	1 of 1
ESTIMATED DATE	
09/27/2024 00:00:00	

Quote Expires On: 10/15/2024

Bill To:

CITY OF SPOKANE- FIRE DEPARTMENT
ATTN: ACCOUNTS PAYABLE
44 WEST RIVERSIDE
SPOKANE, WA 99201

509-625-7025

Ship To:

SPOKANE FIRE DEPARTMENT
1722 SOUTH BERNARD ST
SPOKANE, WA 99203
US

Requested By: Mr. ROB MATHEWS

Customer ID: 15814

Job Name:

Freight Code: CUSTOMER PAYS INCOMING AND OUTGOING FREIGHT

PO Number						Carrier		Ship Route		Taker	
RAE PRO QUOTE						UPS Ground commercial				TDONLEY	
Line No	Quantities					Item ID			Pricing UOM	Unit Price	Extended Price
	Ordered	Allocated	Remaining	UOM Unit Size	Disp.	Item Description					
									Unit Size		

Delivery Instructions:

US COMMUNITIES #4400008495
THIS PRICING IS FOR CITY OF SPOKANE
FIRE DEPT AND IS NOT ELIGIBLE FOR
OTHER PUBLIC OR NON PROFIT
AGENCIES
FOB: DESTINATION

1	1.0000	0.0000	1.0000	EA	1.0	RAESY-W01R11010105607911 AREA RAE PRO RDK CSA ASM 900MHz MESH PID PPB LEL O2 CO H2S GAMMA RAEMET	EA	81,602.76	81,602.76
2	1.0000	0.0000	1.0000	EA	1.0	RAESY-0290505000 RAELink 3 Kit Model RLM-3000 includes-charging cradle,power adapter,alkaline battery pack,cable assembly,whip antenna,antenna assembly for magnetic mount,antenna for magnetic mount,25' & 50' remote antenna cable extension	EA	4,142.05	4,142.05

Total Lines: 2

SUB-TOTAL: 85,744.81

TAX: 7,717.03

AMOUNT DUE: 93,461.84

U.S. Dollars

**Agenda Sheet for City Council:****Committee:** Public Safety **Date:** 01/06/2025**Committee Agenda type:** Consent**Date Rec'd**

12/30/2024

Clerk's File #

OPR 2025-0036

Cross Ref #

OPR 2022-0260

Project #**Council Meeting Date:** 01/27/2025**Submitting Dept**

RISK MANAGEMENT

Bid #**Contact Name/Phone**

JASON 625-6585

Requisition #**Contact E-Mail**

JNECHANICKY@SPOKANECITY.ORG

Agenda Item Type

Contract Item

Council Sponsor(s)

PDILLON BWILKERSON MCATHCART

Sponsoring at Administrators Request

NO

Lease? NO**Grant Related?** NO**Public Works?** NO**Agenda Item Name**

2025 CITY INSURANCE PREMIUM RENEWALS

Agenda Wording

The City is self-insured but carries excess liability coverage as part of fiscal policy to minimize financial exposure. The estimated premium cost is ~ 0.26% lower than 2024 expense

Summary (Background)

Requesting approval to purchase various insurance policies for the City of Spokane for the period of 1/1/2025 to 1/1/2026. Willis Towers Watson, the City's contracted broker has marketed the City's insurance requirements. Policy coverage information, 2025 estimated expense and comparison to prior year expense is listed in the attachment "2025 01 COS Estimate Premium Comparison Updated 12-23-2024".

What impacts would the proposal have on historically excluded communities?

How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?

Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

Council Subcommittee Review

Fiscal Impact			
Approved in Current Year Budget? YES			
Total Cost		\$ 4,063,002.00	
Current Year Cost		\$ 3,766,955.00, *395,000 was paid in 2024.	
Subsequent Year(s) Cost		\$	
<u>Narrative</u>			
Willis Towers Watson (WTW) compensation is covered under a separate contract OPR 2022-0620. Paying WTW a flat fee for services helps to ensure best pricing for premiums.			
<u>Amount</u>		<u>Budget Account</u>	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
<u>Funding Source</u>			
<u>Funding Source Type</u> Select			
Is this funding source sustainable for future years, months, etc?			
<u>Expense Occurrence</u>			
Other budget impacts (revenue generating, match requirements, etc.)			
<u>Approvals</u>		<u>Additional Approvals</u>	
<u>Dept Head</u>	JORDAN, SCOTT		
<u>Division Director</u>	BOSTON, MATTHEW		
<u>Accounting Manager</u>	BAIRD, CHRISTI		
<u>Legal</u>	SCHOEDEL, ELIZABETH		
<u>For the Mayor</u>	PICCOLO, MIKE		
<u>Distribution List</u>			

Committee Briefing Paper

Public Safety & Community Health Committee

Committee Date	1/6/2025
Submitting Department	Risk Management
Contact Name	Jason Nechanicky
Contact Email & Phone	jnechanicky@spokanecity.org
Council Sponsor(s)	
Select Agenda Item Type	<input checked="" type="checkbox"/> Consent <input type="checkbox"/> Discussion Time Requested:
Agenda Item Name	2025 City insurance premiums renewals
Proposed Council Action	<input checked="" type="checkbox"/> Approval to proceed to Legislative Agenda <input type="checkbox"/> Information Only
Summary (Background) *use the Fiscal Impact box below for relevant financial information	<p>Requesting approval to purchase various insurance policies for the City of Spokane for the period of 1/1/2025 to 1/1/2026. Willis Towers Watson, the City's contracted broker has marketed the City's insurance requirements. Policy coverage information, 2025 estimated expense and comparison to prior year expense is listed in the attachment "2025 01 COS Estimate Premium Comparison Updated 12-23-2024".</p> <p>The City is self-insured but carries excess coverage liability as part of fiscal policy to minimize financial exposure. The estimated premium cost is ~ 0.26% lower than 2024 expense.</p>
Fiscal Impact Approved in current year budget? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A Total Cost: <u>4,063,002.00</u> Current year cost: 3,766,955.00, *395,000 was paid in 2024. Subsequent year(s) cost:	
Narrative: <u>Willis Towers Watson (WTW) compensation is covered under a separate contract OPR 2022-0260. Paying WTW a flat fee for services helps to ensure best pricing for premiums.</u>	
Funding Source <input checked="" type="checkbox"/> One-time <input type="checkbox"/> Recurring <input type="checkbox"/> N/A Specify funding source: Program revenue Is this funding source sustainable for future years, months, etc? Funding is covered by various departments as part of operation costs.	
Expense Occurrence <input type="checkbox"/> One-time <input checked="" type="checkbox"/> Recurring <input type="checkbox"/> N/A Other budget impacts: (revenue generating, match requirements, etc.)	
Operations Impacts (If N/A, please give a brief description as to why) <ul style="list-style-type: none"> What impacts would the proposal have on historically excluded communities? 	

- N/A – part of fiscal policy.
- How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?
- N/A – part of fiscal policy.
- How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?
- Risk management reviews City operations to help identify the correct level of coverage as well as promote opportunities to reduce risk in an effort to minimize the need for coverage.
- Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?
- As part of risk management strategy and good fiscal management.

Council Subcommittee Review

- Please provide a summary of council subcommittee review. If not reviewed by a council subcommittee, please explain why not.

City of Spokane
Premium Comparison
January 1, 2025 to January 2026

	Excluding TRIA Premiums	Excluding TRIA Premiums		
Coverage	Bound Premiums 2023 to 2024	Renewal Premiums 2025 to 2026	Diff \$/#	Diff %
Excess Workers Compensation				
Insurer	Safety National	Safety National		
Limit of Liability				
Employers' Liability Limit of Liability	\$5,000,000	\$5,000,000		
Self Insured Retention (SIR)				
Each Accident	\$1,500,000	\$1,500,000		
Premium	\$316,203	\$338,581	\$22,378	7.08%
Total Limit of Liability	\$10,000,000	\$10,000,000		
PE Excess Retained Limit Liability \$5m x SIR CGL, BAUT, LEL, POL, EPL & EXLI Safety National	\$630,534	\$716,254	\$85,720	13.59%
Premium \$5m x \$1.5m SIR	\$630,534	\$716,254		
Excess Liability (EXLI) \$5m x \$5m x SIR - Obsidian	n/a	\$600,000		
Surplus Lines Taxes & Fees		\$13,800		
Premium \$5m x \$5m x SIR	\$0	\$613,800		
Excess Liability (EXLI) 1st 2m x \$5m x SIR - Upland	\$349,920	Replaced by Obsidian		
Surplus Lines Tax & Fee	\$7,348			
Premium \$2m x \$5m x SIR	\$357,268	\$0		
Excess Liability (EXLI) 2nd \$3m x \$7m x SIR - General Star	\$454,250	Replaced by Obsidian		
Surplus Lines Tax & Fee	\$9,539			
Premium \$3m X \$7m x SIR	\$463,789	\$0		
Total Excess Liability Program Premium \$10m x SIR	\$1,451,592	\$1,330,054	-\$121,538	-8.37%
Upriver Dam Hydro Project				
Insurer	Hartford & Princeton	Hartford & Princeton		
Policy Limit \$129,468,677				
Premium (100%)	\$356,485	\$338,404		
Surplus Lines Tax & Fee	\$7,486	\$7,783		
Total Premium (100%)	\$363,971	\$346,187	-\$17,784	-4.89%
Waste to Energy Plant				
Insurer	HSB, ACE, Princeton	HSB, ACE, Princeton		
Policy Limit \$285,308,630				
Premium (100%) * Estimated for 2024-2025	\$877,343	\$950,861		
Surplus Lines Tax & Fee (100%)	\$18,424	\$21,870		
Total Premium (100%)	\$895,767	\$972,731	\$76,964	8.59%
Waste Water Treatment Plant				
Insurer	Affiliated FM	Affiliated FM		
Policy Limit \$500,000,000				
Premium	\$413,524	\$421,795	\$8,271	2.00%
Terrorism				
Insurer	Lloyd's of London	Lloyd's of London		
Policy Limit \$100,000,000				
Premium	\$69,500	\$69,500		
Surplus Lines Tax & Fee	\$1,459	\$1,599		
Total Premium	\$70,959	\$71,099	\$140	0.20%
Equipment Breakdown (B&M)				
Insurer	Liberty Mutual	Liberty Mutual		
Policy Limit \$200,000,000				
Premium	\$96,017	\$104,915	\$8,898	9.27%
Crime				

City of Spokane
Premium Comparison
January 1, 2025 to January 2026

	Excluding TRIA Premiums	Excluding TRIA Premiums		
Coverage	Bound Premiums 2023 to 2024	Renewal Premiums 2025 to 2026	Diff \$/#	Diff %
Insurer	AIG	AIG		
Premium	\$21,528	\$21,523	-\$5	-0.02%
Inland Marine (Equipment Floater)				
Insurer	AGCS	AGCS		
Catastrophe Limit	\$32,509,079	\$48,700,000	\$16,190,921	49.80%
Premium	\$49,934	\$75,238	\$25,304	50.67%
Aviation				
Insurer	Various	Various		
Number of Units on Schedule	30	25	-5	-16.67%
Premium (Pro-Rated 9/12/2023 to 9/1/2024)	\$8,834	\$6,061	-\$2,773	-31.39%
Cyber Security				
Insurer	AIG	AIG		
Premium	\$116,350	\$77,000		
Surplus Lines Tax & Fee	\$2,443	\$1,771		
Total Premium	\$118,793	\$78,771	-\$40,022	-33.69%
Total 1-01-2025 Insurance Premium Including SL Taxes & Fees - All Policies	\$3,807,122	\$3,766,955	-\$40,167	-1.06%

	9/1/2023 to 9/1/2024	Bound 9/1/2024 - 1/1/2026	Diff \$/#	Diff %
City Property				
Insurer	Travelers	Travelers		
Policy Limit \$250,000,000	12-month	15-month		
Premium	\$266,545	\$395,000	\$128,455	48.19%
Annualized Premium	\$266,545	\$296,047	\$29,502	11.07%

**Agenda Sheet for City Council:****Committee:** PIES **Date:** 12/16/2024**Committee Agenda type:** Discussion**Date Rec'd**

12/9/2024

Clerk's File #

OPR 2025-0037

Cross Ref #**Project #****Council Meeting Date:** 01/27/2025**Submitting Dept**

WASTEWATER MANAGEMENT

Bid #**Contact Name/Phone**

RAYLENE X7901

Requisition #

CR 27013

Contact E-Mail

RGNETT@SPOKANECITY.ORG

Agenda Item Type

Contract Item

Council Sponsor(s)

BWILKERSON JBINGLE KKLITZKE

Sponsoring at Administrators Request

NO

Lease? NO**Grant Related?** NO**Public Works?** YES**Agenda Item Name**

4310 - INTERCEPTOR 3 CORRODED PIPE EMERGENCY SLIP-LINING

Agenda Wording

Emergency project to slip-line a failing 36-inch sewer pipe (interceptor 3) on a steep hillside before it completely fails and becomes a hazard to the public and the larger interceptor pipe below it.

Summary (Background)

Sinkhole was a displacement of soil that fell into the pipe where the top of the 1981 concrete pipe collapsed, presumably from hydrogen sulfide (H₂S) internal corrosion in an unexpected part of the system (fast flow rather than slow flows that are more commonly susceptible to hydrogen sulfide).

What impacts would the proposal have on historically excluded communities?

How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?

Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

Council Subcommittee Review

Fiscal Impact			
Approved in Current Year Budget? YES			
Total Cost		\$ 149,000.00	
Current Year Cost		\$	
Subsequent Year(s) Cost		\$	
<u>Narrative</u>			
Amount		Budget Account	
Expense	\$ 149,000.00	#	4310-43117-35148-54899-99999
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Funding Source			
Funding Source Type Select			
Is this funding source sustainable for future years, months, etc?			
Expense Occurrence			
Other budget impacts (revenue generating, match requirements, etc.)			
Approvals		Additional Approvals	
<u>Dept Head</u>	GBYRD		
<u>Division Director</u>	GBYRD		
<u>Accounting Manager</u>	GBYRD		
<u>Legal</u>	GBYRD		
<u>For the Mayor</u>	GBYRD		
Distribution List			
		sspence@spokanecity.org	
kkeck@spokanecity.org		mmurray@spokanecity.org	
Tax & Licenses		rgennett@spokanecity.org	
dstuder@spokanecity.org		mlund@spokanecity.org	
tlester@spokanecity.org			

Committee Agenda Sheet

Public Infrastructure, Environment & Sustainability Committee

Committee Date	12-16-24
Submitting Department	Wastewater Management
Contact Name	Duane Studer
Contact Email & Phone	dstuder@spokanecity.org , 509-625-7902
Council Sponsor(s)	Wilkerson, Bingle, Klitze
Select Agenda Item Type	<input type="checkbox"/> Consent <input checked="" type="checkbox"/> Discussion Time Requested: 5 minutes
Agenda Item Name	Interceptor 3 corroded pipe emergency slip-lining
Proposed Council Action	<input type="checkbox"/> Approval to proceed to Legislative Agenda <input checked="" type="checkbox"/> Information Only
Summary (Background) *use the Fiscal Impact box below for relevant financial information	<ul style="list-style-type: none"> The City recently discovered a sinkhole where a 36 inch interceptor pipe is failing. It is a connecting segment that is outside the street pavement, but on a steep hillside. Sinkhole was a displacement of soil that fell into the pipe where the top of the pipe collapsed from excessive corrosion, presumably from hydrogen sulfide (H2S). This is an emergency project to slip-line a failing 36-inch sewer pipe (Interceptor 3) on a steep hillside before it completely fails and becomes a hazard to the public and the larger interceptor pipe below it. This 1981 concrete pipe has apparent hydrogen sulfide internal corrosion in an unexpected part of the system (fast flow rather than slow flows that are more commonly susceptible to H2S). Condition was difficult to assess previously due to excessively high flow velocities that prevented crew's ability to safely CCTV sewer camera the line more than the upper section. See attached exhibit for location of the project. Construction of the project is as soon as possible in 2024. This briefing paper pertains to the proposed construction contract with Halme Construction, who already is responsible for the adjacent site (final stages of the T.J. Meenach Sewer Siphon project). This project design will be paid with existing utility funds already budgeted for 2024 (Sewer Line Replacement).
Fiscal Impact Approved in current year budget? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A Total Cost: \$149,000 (est.) to be confirmed later Current year cost: \$149,000 (est.) Subsequent year(s) cost: \$0 Narrative: Please provide financial due diligence review, as applicable, such as number and type of positions, grant match requirements, summary type details (personnel, maintenance and supplies, capital, revenue), impact on rates, fees, or future shared revenue Funding Source <input checked="" type="checkbox"/> One-time <input type="checkbox"/> Recurring <input type="checkbox"/> N/A Specify funding source: Select Funding Source* Is this funding source sustainable for future years, months, etc? Click or tap here to enter text. Expense Occurrence <input checked="" type="checkbox"/> One-time <input type="checkbox"/> Recurring <input type="checkbox"/> N/A Other budget impacts: (revenue generating, match requirements, etc.)	

Operations Impacts (If N/A, please give a brief description as to why)

- What impacts would the proposal have on historically excluded communities?

Public works services and projects are designed to serve all citizens and businesses. We strive to offer a consistent level of service to all, to distribute public investment throughout the community and to respond to gaps in services identified in various City plans.

- How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

N/A

- How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?

Public Works follows the City's established procurement and public works bidding regulations and policies to bring items forward, and then uses contract management best practices to ensure desired outcomes and regulatory compliance.

- Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

This work is consistent with annual budget strategies to limit costs and approved projects in the 6-year CIP.

Council Subcommittee Review

- Please provide a summary of council subcommittee review. If not reviewed by a council subcommittee, please explain why not.

Interceptor 3 (I03) pipe segment to be lined (north is up):





EMERGENCY NONCOMPETITIVE PROCUREMENT JUSTIFICATION FORM

CITY OF SPOKANE
808 W Spokane Falls Blvd
Spokane WA 99201

Description of Product/Service: pipe slip lining

Requisition Number: ?

Estimated amount of this purchase: \$ \$60,000

Contract Period: December 11, 2024 - Jan. 15, 2025

Department: Wastewater Management Contact Person: Duane Studer Phone: 509-625-7902

Due Date: substantial Dec. 20, 2024 Work must be completed by: Dec. 31, 2024

Date Material/Equipment/Supplies must be delivered by: Dec. 16, 2024

Location: Riverview & Alberta (Near TJ Meenach)

Date Service must begin by: Dec. 13, 2024

Please provide the following information in order to document justification of an emergency noncompetitive procurement.

1. Identify which of the four circumstances listed in 2 C.F.R. § 200.320(f) justify a noncompetitive procurement:

☐ The item is available only from a single source

☒ The public exigency or emergency for the requirement will not permit a delay resulting from competitive solicitation

☐ The Federal awarding agency or pass-through entity expressly authorizes noncompetitive proposals in response to a written request from the non-Federal

☐ After solicitation of a number of sources, competition is determined inadequate

2. Provide a brief description of the product or service being procured, including the expected amount of the procurement.

- Excavate and remove top section of MH 0367836 for direct access to pipe
- Slip-line a severely corroded concrete pipe. Seal annular ends of new pipe.
- Grout lower section and grout annulus between pipes (steep hillside).
- Reassemble, backfill and compact MH.

+

3. Explain why a noncompetitive procurement is necessary. If utilizing the exigency/emergency exception, the justification should explain the nature of the public exigency or emergency, including specific conditions and circumstances that clearly illustrate why procurement other than through noncompetitive proposals would cause unacceptable delay in addressing the public exigency or emergency. (Failure to plan for transition to competitive procurement cannot be the basis for continued use of noncompetitive procurement based on public exigency or emergency).

Severely degraded pipe that has already failed in multiple locations 10' deep will not last in the event of rain storm and active soil forces. The consequence of a failure at this site (such as washing out the hillside and jeopardizing the 60" interceptor pipe immediately below that carries majority of the City's sewer flow) would put the public at

+

4. State how long the noncompetitively procured contract will be used for the defined scope of work and the impact on that scope of work should the noncompetitively procured contract not be available for that amount of time (e.g., how long do you anticipate the exigency or emergency circumstances will continue; how long will it take to identify your requirements and award a contract that complies with all procurement requirements; or how long would it take another contractor to reach the same level of competence).

Non-compet. contract term to be used: 2 to 3 weeks anticipated.

Basic parameters and sketch to construct repair - 2 to 4 days +/- . Ancillary items like erosion control and logistics for stockpiling/access could be worked out as material gathering commences. Scope of work would exponentially increase to mitigating

+

5. Describe the specific steps taken to determine that full and open competition could not have been used, or was not used, for the scope of work (e.g., research conducted to determine that there were limited qualified resources available that could meet the contract provisions).

Contractor likely would follow Force Account (GSP Section 1-09.6) procedures for actual labor, equipment, and materials per WSDOT/City Standard Specifications.

6. Describe any known conflicts of interest and any efforts that were made to identify possible conflicts of interest before the noncompetitive procurement occurred. If no efforts were made, explain why. If a conflict of interest is unavoidable, such as due to exigent/emergency circumstances, explain how it was unavoidable and any steps taken to address the impact of that conflict of interest.

None known. Contractors preliminarily screened verbally for any known interest conflicts or relatives that could bias selection.

Requested Vendor: Halme Construction

Vendor's Address: _____

Vendor Contact: _____ Phone: _____

If the cost of the noncompetitive procurement is greater than the appropriate procurement threshold for department action, immediately contact the Purchasing Division or City Attorney's Office as appropriate.

My department's recommendation for noncompetitive procurement is based upon an objective review of the good/service being required and appears to be in the best interest of the City. I know of no conflict of interest on my part or personal involvement in any way with this request. No gratuities, favor, or compromising action have taken place. Neither has my personal familiarity with particular brands, types of equipment, materials or firms been a deciding influence on my request to sole source this purchase when there are other known suppliers to exist.

Malfred Lund Digitally signed by Malfred Lund
Date: 2024.12.06 07:19:32 -08'00'

Signature of Requestor
(Must be an authorized Department Buyer)

Date

Malfred Lund Digitally signed by Malfred Lund
Date: 2024.12.06 09:21:22 -08'00'

Signature of Department Head or Designee

Date

APPROVED

By Jason Nechanicky at 9:33 am, Dec 06, 2024

Approval by Purchasing (Over \$50,000)

Date

Approval by Grants Management
(Required for grant funded purchases)

Date

In the Consent Agenda Item No. 3, OPR 2025-0037:

1. Strike the current agenda wording and replace it with the following:

OPR 2025-0037

Contract with Halme Construction, Inc. (Spokane) for emergency project to slip-line a failing 36-inch sewer pipe on a steep hillside– not to exceed \$250,000. (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

Raylene Gennett

2. Correct all references to the dollar amount in the agenda sheet and companion materials to reflect the correct dollar amount.
3. Strike the current briefing paper and replace it with the attached briefing paper.

PURPOSE OF AMENDMENT: The amendment would strike the current briefing paper and replace it with the attached. The amendment would also adjust the dollar amount listed on the agenda sheet to read “not to exceed \$250,000.”

UPDATED Committee Briefing Paper**Public Infrastructure, Environment & Sustainability Committee**

Committee Date	12-16-24
Submitting Department	Wastewater Management
Contact Name	Duane Studer
Contact Email & Phone	dstuder@spokanecity.org , 509-625-7902
Council Sponsor(s)	Wilkerson, Bingle, Klitze
Select Agenda Item Type	<input type="checkbox"/> Consent <input checked="" type="checkbox"/> Discussion Time Requested: 5 minutes
Agenda Item Name	Interceptor 3 corroded pipe emergency slip-lining
Proposed Council Action	<input type="checkbox"/> Approval to proceed to Legislative Agenda <input type="checkbox"/> Information Only
Summary (Background) *use the Fiscal Impact box below for relevant financial information	<ul style="list-style-type: none"> • The City recently discovered a sinkhole where a 36 inch interceptor pipe is failing. It is a connecting segment that is outside the street pavement, but on a steep hillside. Sinkhole was a displacement of soil that fell into the pipe where the top of the pipe collapsed from excessive corrosion, presumably from hydrogen sulfide (H2S). • This is an emergency project to slip-line a failing 36-inch sewer pipe (Interceptor 3) on a steep hillside before it completely fails and becomes a hazard to the public and the larger interceptor pipe below it. This 1981 concrete pipe has apparent hydrogen sulfide internal corrosion in an unexpected part of the system (fast flow rather than slow flows that are more commonly susceptible to H2S). Condition was difficult to assess previously due to excessively high flow velocities that prevented crew's ability to safely CCTV sewer camera the line more than the upper section. • See attached exhibit for location of the project. • Construction of the project is as soon as possible in 2024. • This briefing paper pertains to the proposed construction contract with Halme Construction, who already is responsible for the adjacent site (final stages of the T.J. Meenach Sewer Siphon project). • This project design will be paid with existing utility funds already budgeted for 2024 (Sewer Line Replacement).
Fiscal Impact Approved in current year budget? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A Total Cost: \$250,000 (est.) to be confirmed later Current year cost: \$250,000 (est.) Subsequent year(s) cost: \$0 Narrative: <u>COUNCIL APPROVAL IS SOUGHT FOR UP TO \$250,000</u> Funding Source <input checked="" type="checkbox"/> One-time <input type="checkbox"/> Recurring <input type="checkbox"/> N/A Specify funding source: Select Funding Source* Is this funding source sustainable for future years, months, etc? Click or tap here to enter text.	

Expense Occurrence <input checked="" type="checkbox"/> One-time <input type="checkbox"/> Recurring <input type="checkbox"/> N/A
Other budget impacts: (revenue generating, match requirements, etc.)
Operations Impacts (If N/A, please give a brief description as to why) <ul style="list-style-type: none">• What impacts would the proposal have on historically excluded communities? Public works services and projects are designed to serve all citizens and businesses. We strive to offer a consistent level of service to all, to distribute public investment throughout the community and to respond to gaps in services identified in various City plans.• How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities? N/A• How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution? Public Works follows the City's established procurement and public works bidding regulations and policies to bring items forward, and then uses contract management best practices to ensure desired outcomes and regulatory compliance.• Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others? This work is consistent with annual budget strategies to limit costs and approved projects in the 6-year CIP.
Council Subcommittee Review <ul style="list-style-type: none">• Please provide a summary of council subcommittee review. If not reviewed by a council subcommittee, please explain why not. Not applicable

**Agenda Sheet for City Council:****Committee:** Date: N/A**Committee Agenda type:****Date Rec'd**

1/13/2025

Clerk's File #

CPR 2025-0002

Cross Ref #**Project #****Council Meeting Date:** 01/27/2025**Submitting Dept**

ACCOUNTING & GRANTS

Bid #**Contact Name/Phone**

REBECCA 625-6096

Requisition #**Contact E-Mail**

RGRAYBEAL@SPOKANECITY.ORG

Agenda Item Type

Claim Item

Council Sponsor(s)**Sponsoring at Administrators Request**

NO

Lease? NO**Grant Related?** NO**Public Works?** NO**Agenda Item Name**

5600-CLAIMS THRU 1-10-2025

Agenda Wording

Report of the Mayor of pending claims & payments of previously approved obligations through: 01/10/2025. Total \$10,294,255.11 with Parks & Library Claims being approved by their respective boards. Claims excluding Parks & Library Total \$10,092,259.78.

Summary (Background)

Pages 1-34 Check numbers: 608103 - 608256 Credit Card numbers: 001086- 001109 ACH payment numbers: 136770 - 136960 On file for review in City Clerks Office: 34 Page listing of Claims

What impacts would the proposal have on historically excluded communities?

How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?

Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

Council Subcommittee Review

Fiscal Impact			
Approved in Current Year Budget?			
Total Cost	\$		
Current Year Cost	\$		
Subsequent Year(s) Cost	\$		
<u>Narrative</u>			
Amount		Budget Account	
Expense	\$ 10,092,259.78	#	Various
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Funding Source			
Funding Source Type Select			
Is this funding source sustainable for future years, months, etc?			
Expense Occurrence			
Other budget impacts (revenue generating, match requirements, etc.)			
Approvals		Additional Approvals	
<u>Dept Head</u>	BAIRD, CHRISTI		
<u>Division Director</u>			
<u>Accounting Manager</u>			
<u>Legal</u>			
<u>For the Mayor</u>			
Distribution List			

REPORT: PG3620
SYSTEM: FMSAP
USER: MANAGER
RUN NO: 02

APPROVAL FUND SUMMARY

DATE: 01/13/25
TIME: 11:40
PAGE: 1

FUND	FUND NAME	AMOUNT
0100	GENERAL FUND	644,041.65
1100	STREET FUND	167,638.60
1200	CODE ENFORCEMENT FUND	14,233.74
1300	LIBRARY FUND	53,052.77
1360	MISCELLANEOUS GRANTS FUND	0.00
1380	TRAFFIC CALMING MEASURES	3,250.89
1390	URBAN FORESTRY FUND	568.67
1400	PARKS AND RECREATION FUND	63,528.31
1425	AMERICAN RESCUE PLAN	173,113.40
1460	PARKING METER REVENUE FUND	9,053.74
1500	PATHS AND TRAILS RESERVE FUND	7,200.00
1560	FORFEITURES & CONTRIBUTION FND	51,733.11
1620	PUBLIC SAFETY & JUDICIAL GRANT	1,373.09
1625	PUBLIC SAFETY PERSONNEL FUND	4,493.29
1640	COMMUNICATIONS BLDG M&O FUND	442.37
1680	CD/HS OPERATIONS	14,954.27
1910	CRIMINAL JUSTICE ASSISTANCE FD	17,559.17
1970	FIRE/EMS FUND	155,443.03
1985	VOYA DEFINED CONTR ADMIN FUND	8,100.78
3200	ARTERIAL STREET FUND	355,806.88
4100	WATER DIVISION	369,411.41
4250	INTEGRATED CAPITAL MANAGEMENT	94,740.42
4300	SEWER FUND	709,728.12
4480	SOLID WASTE FUND	556,670.20
4600	GOLF FUND	8,802.59
4700	DEVELOPMENT SVCS CENTER	71,098.42
5100	FLEET SERVICES FUND	233,633.64
5110	FLEET SVCS EQUIP REPL FUND	2,728.98
5200	PUBLIC WORKS AND UTILITIES	19,701.21
5300	IT FUND	44,827.72
5400	REPROGRAPHICS FUND	903.13
5500	PURCHASING & STORES FUND	6,599.74
5600	ACCOUNTING SERVICES	55,379.78
5700	MY SPOKANE	8,072.09
5750	OFFICE OF PERFORMANCE MGMT	5,473.98
5800	RISK MANAGEMENT FUND	1,276,617.96
5810	WORKERS' COMPENSATION FUND	1,978.65
5820	UNEMPLOYMENT COMPENSATION FUND	80.53
5830	EMPLOYEES BENEFITS FUND	314,400.50
5900	FACILITIES MANAGEMENT FUND OPS	19,187.09
5901	ASSET MANAGEMENT FUND CAPITAL	568,367.44
5903	PROPERTY ACQUISITION FIRE	3,317.30
6060	EMPLOYEES' RETIREMENT FUND	2,158.32
6070	FIREFIGHTERS' PENSION FUND	96,403.67
6080	POLICE PENSION FUND	68,768.72
6255	LAW ENFORCEMENT RECORDS MGMT	4,987.25
6920	CLAIMS CLEARING FUND	586,900.75
6960	SALARY CLEARING FUND NEW	2,932,013.14

TOTAL: 9,808,540.51

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	USE TAX AMOUNTS	1,574.89		
00608103	BILL'S HEATING, AIR, APPLIAN	60.00		
00608104	CONTINENTAL BATTERY SYSTEMS	84.84		
00608105	NORTHWEST RENEWABLES	6.50		
00608106	KATHLEEN M NICHOLS	15.00		
00608107	R.V. KUHN & ASSOCIATES, INC	8,100.78		
00608108	SPOKANE CITY TREASURER	800.00		
00608109	US CONFERENCE OF MAYORS	13,870.00		
00608110	WA STATE BAR ASSOCIATION	6,113.90		
00608111	WASHINGTON LEOFF	1,383.99		
00608112	OVERHEAD DOOR CORPORATION	10,213.77		
00608113	CELLEBRITE USA INC	703.05		
00608114	CENTURYLINK	281.28		
00608115	COMCAST	305.58		
00608116	IAN EICKMEYER	389.00		
00608117	FELIX HAYNES	180.00		
00608118	WILLIAM J MCPHEE	136.00		
00608119	MERI CHINA 401K PLAN	1,919.34		
00608120	OMNICARE LLC	1,883.15		
00608121	PUBLIC SAFETY TESTING INC	1,497.00		
00608122	STRIPE RITE INC	9,254.40		
00608123	T-MOBILE	9,345.34		
00608124	WA STATE BAR ASSOCIATION	5,273.30		
00608125	WA STATE DEPT OF NATURAL	32,887.22		
00608126	WOMENS TRANSPORTATION SEMINAR	500.00		
00608127	SUMMIT NATIONAL BANK			10,998.85
00608128	SNAP FINANCIAL ACCESS	6,666.97		
00608129	WILLIAM MEREDITH	2,973.57		
00608130	BNSF RAILWAY COMPANY	2,000.00		
00608131	DS SERVICES OF AMERICA INC			63.54
00608132	WATERCO OF THE PACIFIC NORTH			30.47
00608133	GENERAL STORE INC			196.20
00608134	KHQ INC			1,200.00
00608135	AARON AMEZOLA			37.84
00608136	CSWW INC			471.18
00608137	O'REILLY AUTOMOTIVE STORES I			115.56
00608138	PARK DEPT IMPREST FUND			48.54
00608139	SIX ROBBLEES INC			216.65
00608140	SPOKANE CITY TREASURER			7,788.00
00608141	SWANSON'S REFRIGERATION &			508.18
00608142	ACCELERATION PHYSICAL THERAP	295.94		
00608143	ALPINE ORTHOPEDIC & SPINE PS	229.55		
00608144	APEX PHYSICAL THERAPY PLLC	443.91		
00608145	JACOB BARNETT	1,316.70		
00608146	MICHAEL J BRUNNER	4,159.68		
00608147	GORDON PHYSICAL THERAPY PLLC	295.94		
00608148	TODD CHISM	4,159.68		
00608149	IVAN J COSTICH	8,943.00		
00608150	JEREMY DANIEL	3,897.04		
00608151	DEER HOLLOW OUTPATIENT	18,128.00		
00608152	DEWING SPORTS ORTHOPEDIC	238.72		
00608153	CANNON SPARKS MASSAGE LLC	110.98		
00608154	WILLIAM MICHAEL STOBIE JR	443.91		

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00608155	GOODWIN OCCUPATIONAL MEDICIN	633.28		
00608156	INLAND IMAGING LLC	71.38		
00608157	STEPHANIE KENNEDY	4,159.68		
00608158	JERALD LEASE	4,159.68		
00608159	GARY MANNING	193.12		
00608160	GARY MANNING	193.12		
00608161	SCOTT J MCCANN	4,159.68		
00608162	NICHOLAS MCKENZIE	2,919.60		
00608163	MEDICAL EVALUATION SPECIALIS	728.06		
00608164	SEAN M MERRITT	85.99		
00608165	APPLIED HEALTH CARE ASSOCIAT	321.00		
00608166	APPLIED HEALTH CARE ASSOCIAT	221.96		
00608167	MULTICARE HEALTH SYSTEMS	1,919.07		
00608168	MULTICARE HEALTH SYSTEM	73.78		
00608169	MULTICARE HEALTH SYSTEM	301.85		
00608170	MULTICARE HEALTH SYSTEM	647.39		
00608171	NATURAL HEALTH CENTER OF	910.50		
00608172	NORTH IDAHO PHYSICAL THERAPY	295.94		
00608173	NORTHLAND HEARING CENTERS IN	499.94		
00608174	NORTHWEST ORTHOPAEDIC	2,466.94		
00608175	NORTHWEST ORTHOPAEDIC	1,797.87		
00608176	NW SPECIALTY HOSPITAL	328.56		
00608177	OCCUPATIONAL HEALTH CENTERS	1,133.71		
00608178	ADAM J OLSGAMP MD PC	1,217.59		
00608179	ORTHOPAEDIC SPECIALTY CLINIC	295.94		
00608180	PACIFIC NORTHWEST HEARING	3,560.64		
00608181	PROVIDENCE HEALTH & SERVICES	2,145.91		
00608182	PROVIDENCE HEALTH & SERVICES	739.85		
00608183	RIVER CITY ANESTHESIA	1,664.92		
00608184	RPM REHABILITATION &	8,673.28		
00608185	SPOKANE EMERGENCY PHYSICIANS	127.16		
00608186	SPOKANE SPORTS & PHYSICAL	887.82		
00608187	SUMMIT REHABILITATION	503.74		
00608188	ROYTER PHYSICAL THERAPY	147.97		
00608189	THERAPEUTIC ASSOCIATES INC	443.91		
00608190	THERAPEUTIC ASSOCIATES INC	295.94		
00608191	THERAPEUTIC ASSOCIATES INC	147.97		
00608192	JESSICA THOMAS	492.10		
00608193	U-DISTRICT PHYSICAL THERAPY	443.91		
00608194	WOLF CHIROPRACTIC CLINIC	64.17		
00608195	ABADAN REPROGRAPHICS	6,917.69		
00608196	DONOVAN K AURAND	201.00		
00608197	CENTURYLINK	853.46		
00608198	WATERCO OF THE PACIFIC NORTH	551.07		
00608199	EVERGREEN FOUNTAINS LLC	12,014.00		
00608200	FAIRWINDS SPOKANE LLC	65,543.50		
00608201	JP MORGAN COMMERCIAL CARD	586,900.75		
00608202	PET EMERGENCY CLINIC	1,675.69		
00608203	POINTE PEST CONTROL	147.15		
00608204	SPOKANE UNITED METHODIST HOM	9,470.37		
00608205	SIX ROBBLEES INC	284.55		
00608206	SNOW PEAK 1 LIBERTY LAKE REA	8,325.00		
00608207	TERRY D SOMERS	152.45		

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00608208	SPOKANE COUNTY WATER DIST NO	26.32		

00608209	STREET DEPT IMPREST FUND	21.31	
00608210	SULLIVAN VENTURES, LLC	7,708.71	
00608211	TERRY CARE GROUP LLC	9,780.00	
00608212	T-MOBILE	617.75	
00608213	T-MOBILE	1,237.16	
00608214	JAMES VEITENHEIMER	7,759.00	
00608215	PRORATE AND FUEL TAX	7,934.38	
00608216	WALTER E NELSON CO	665.73	
00608217	CLIFFORD WALTER	15.69	
00608218	WELLTOWER PEGASUS TENNANT LL	8,931.00	
00608219	JACK W WHIPPLE	102.00	
00608220	CHALRES PRODUCTS		1,736.65
00608221	CENTURYLINK		201.16
00608222	COMCAST		221.04
00608223	BERRY ELLISON		49.57
00608224	KAPP KONCEPTS INC		1,180.00
00608225	NORMED		175.62
00608226	PILGRIM IMPORTS INC		1,185.95
00608227	THE TORO COMPANY		534.80
00608228	POLLYANNE F BIRGE	127.84	
00608229	PIIONEER TITLE COMPANY OF	477.65	
00608230	CHILD SUPPORT SERVICES	1,352.88	
00608231	COMCAST	467.18	
00608232	COMCAST	64.95	
00608233	HUMAN RESOURCES	855.50	
00608234	ICMA RETIREMENT TRUST 457	570,292.88	
00608235	ICMA RETIREMENT TRUST 457 LO	56,407.55	
00608236	ING LIFE INSURANCE & ANNUITY	160,284.76	
00608237	WALKER CONSTRUCTION, INC	101,192.70	
00608238	FIREPOWER INC	1,039.50	
00608239	LEVEL 3 FINANCING INC	3,662.56	
00608240	PEOPLE QUALIFIED COMMITTEE	5.00	
00608241	PRE-PAID LEGAL SERVICES INC	341.71	
00608242	DAVID A ROGERS	110.00	
00608243	SPOKANE POLICE DEPARTMENT	125.79	
00608244	SPOKANE REGIONAL CLEAN AIR	502.00	
00608245	STATE DISBURSMENT UNIT	862.60	
00608246	ROBERT E STOFFREGEN MA PS	3,200.00	
00608247	SURVEYMONKEY INC	2,943.00	
00608248	UNITED STATES TREASURY	12.50	
00608249	US BANK OR CITY TREASURER	2,074,482.25	
00608250	VOYA FINANCIAL LOAN REPAYMEN	3,030.09	
00608251	WA GET PROGRAM	375.00	
00608252	WA STATE BAR ASSOCIATION	778.00	
00608253	WA STATE PATROL	4,987.25	
00608254	WA STATE SUPPORT REGISTRY OR	16,310.36	
00608255	WA WATER UTILITIES COUNCIL	5,500.00	
00608256	WESTERN STATES POLICE MEDICA	3,250.00	
70001086	NORTHWEST INDUSTRIAL SERVICE	210.00	
70001087	ELJAY OIL CO INC	657.40	
70001088	OXARC INC	2,510.76	
70001089	NORTHWEST INDUSTRIAL SERVICE	110.00	451.00

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70001090	CONSOLIDATED SUPPLY CO	8,312.98		
70001091	GALLS LLC	4,124.99		
70001092	GENERAL KINEMATICS CORPORATI	16,318.82		
70001093	OXARC INC	10,625.54		
70001094	CINTAS CORPORATION			273.09

70001095	GALLS LLC		638.46
70001096	HORIZON DISTRIBUTORS		217.55
70001097	NORCO INC		761.50
70001098	ALASKA RUBBER GROUP INC	38.26	
70001099	NORTHWEST INDUSTRIAL SERVICE	1,209.45	73.58
70001100	CINTAS CORPORATION	855.79	
70001101	HUGHES FIRE EQUIPMENT INC	1,543.28	
70001102	SITEONE LANDSCAPE SUPPLY LLC		5,755.20
70001103	PEROVICH PARTNERS INC		250.56
70001104	WESTERN STATES EQUIPMENT CO	27,917.14	
70001105	NORTHWEST INDUSTRIAL SERVICE	117.00	420.00
70001106	ANATEK LABS INC	88.00	
70001107	ELJAY OIL CO INC	706.89	
70001108	EVERGREEN STATE TOWING LLC	138.43	
70001109	POLYDYNE INC	6,834.30	
80136770	ACTION MATERIALS	1,750.05	
80136771	ATS INLAND NW LLC	1,351.60	
80136772	CONTINENTAL DOOR COMPANY LLC	114,410.34	
80136773	GWP HOLDINGS LLC	568,367.44	
80136774	HALME CONSTRUCTION INC	45,382.05	
80136775	INLAND INFRASTRUCTURE LLC	10,123.75	
80136776	INNOVIA FOUNDATION	2,500.00	
80136777	MCCLINTOCK & TURK INC	468,115.61	
80136778	MOTION INDUSTRIES INC	1,738.06	
80136779	NATIONAL LEAGUE OF CITIES	15,767.00	
80136780	NOVATION INC	385.00	
80136781	PAPE MACHINERY INC	173,510.13	
80136782	SPOKANE NEIGHBORHOOD ACTION	7,051.80	
80136783	TWO RIVERS TERMINAL LLC	9,280.61	
80136784	VYANET OPERATIONS GROUP dba	2,591.07	
80136785	ALS LABORATORY GROUP	210.00	
80136786	ALSCO DIVISION OF ALSCO INC	962.25	
80136787	AVISTA CORPORATION	1,682.38	
80136788	AVISTA UTILITIES	128,505.87	
80136789	CAMTEK INC		290.86
80136790	CATHOLIC CHARITIES	20,045.78	
80136791	CDW GOVERNMENT INC	41,479.95	
80136792	COALITION FOR CLEAN WATER	9,550.00	
80136793	COLEMAN OIL COMPANY LLC	18,921.76	
80136794	COMMUNITY FRAMEWORKS	2,682.99	
80136795	COMPUNET INC	9,801.92	
80136796	CONNELL OIL INC	187.68	
80136797	CONTROL FACTORS - SEATTLE IN	2,572.40	
80136798	COPIERS NORTHWEST INC	6.01	
80136799	CORBIN SENIOR ACTIVITY CENTE		2,612.50
80136800	CORE & MAIN LP	756.50	
80136801	CORWIN OF SPOKANE LLC	15,247.30	
80136802	DEVRIES INFORMATION MANAGEME	101.53	

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80136803	EUROFINS ENVIRONMENT TESTING	95.00		
80136804	GORLEY LOGISTICS LLC	133.07		58.22
80136805	FOUR SEASONS SERVICES INC	572.25		
80136806	GRAINGER INC	108.48		
80136807	INDUSTRIAL SERVICE SOLUTIONS	7,743.50		
80136808	MCCLINTOCK & TURK INC			41,902.66
80136809	MUNICIPAL EMERGENCY SERVICES	11,076.14		
80136810	NORLIFT INC	300.00		
80136811	NORTH COUNTRY SERVICES LLC	451.24		

80136812	MATTHEW G NORTON	140.00	
80136813	PACIFIC POWER GROUP LLC	5,374.02	
80136814	PUGET SOUND SOLAR LLC	2,728.98	
80136815	REVIVE COUNSELING SPOKANE PL	21,399.89	
80136816	ROB'S DEMOLITION INC	29,282.85	
80136817	SITECRAFTING INC	165.00	
80136818	SPOKANE INT'L AIRPORT	40.00	
80136819	SPOKANE POLICE CHAPLAINCY	288.41	
80136820	STANTEC CONSULTING SERVICES	30,114.75	
80136821	TRUTH MINISTRIES OF SPOKANE	137,028.06	
80136822	VESTIS GROUP INC	463.22	
80136823	YFA CONNECTIONS	2,083.33	
80136824	ZETIN CONTRACTORS LLC		35,434.36
80136825	SHAMROCK AUTOMOTIVE	415.84	
80136826	BATTERY SYSTEMS INC		135.71
80136827	BEARING DISTRIBUTORS INC		646.52
80136828	FASTENAL CO		431.19
80136829	GRAINGER INC		3.63
80136830	CPM DEVELOPMENT CORP DBA	303,692.40	
80136831	LANDMARK STRUCTURES I LP	9,024.81	
80136832	NAPA AUTO PARTS		11.79
80136833	PREMERA BLUE CROSS OR	101,061.28	
80136834	RW LOTHROP ENTERPRISES		215.82
80136835	SPOKANE POWER TOOL & HDWE		53.37
80136836	WESTERN EQUIPMENT DISTRIBUTO		412.42
80136837	SPOKANE ENVELOPE LLC	79.42	
80136838	ALLPLAY SYSTEMS LLC		2,516.05
80136839	ALSCO DIVISION OF ALSCO INC	518.69	68.33
80136840	AMERIGAS PROPANE LP		299.03
80136841	AVISTA UTILITIES	81,032.12	
80136842	A-L COMPRESSED GASES		178.22
80136843	BUDINGER & ASSOCIATES INC	2,812.95	
80136844	CARAHSOFT TECHNOLOGY CORP	3,005.20	
80136845	CDW GOVERNMENT INC		1,028.11
80136846	COLEMAN OIL COMPANY LLC		2,077.66
80136847	STEVE CONNER		38.78
80136848	COPIERS NORTHWEST INC	317.60	
80136849	COPPER STATE BOLT & NUT CO		57.32
80136850	CREEK AT QUALCHAN GOLF COURS		1,256.90
80136851	L N CURTIS & SONS	3,269.99	
80136852	DEVRIES INFORMATION MANAGEME	83.07	
80136853	FEDERAL EXPRESS CORP/DBA FED	24.48	
80136854	GMCO CORP	91,256.52	
80136855	GRAINGER INC	33.30	

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80136856	H D FOWLER COMPANY			3,143.38
80136857	HOSPICE OF SPOKANE	500.00		
80136858	INLAND POWER & LIGHT CO	183.86		
80136859	KAISER FOUNDATION HEALTH PLA	140,208.39		
80136860	KUTAK ROCK LLP	7,300.00		
80136861	LOOMIS ARMORED US INC	5,556.74		
80136862	NORTHEAST PUBLIC DEVELOPMENT	2,167.12		
80136863	PAPE MACHINERY INC	57,783.08		
80136864	PARAMETRIX INC	8,336.25		
80136865	PRIMARY PHARMACEUTICALS INC	719.24		
80136866	RAE SECURITY SOUTHWEST LLC			5,300.54
80136867	RIVER PARK SQUARE LLC	3,205.50		
80136868	VIRGINIA M SCUDDER	3,300.00		

80136869	SHERWIN WILLIAMS CO		456.33
80136870	SHIPLEY COMMUNICATION		658.07
80136871	MCLOUGHLIN & EARDLEY GROUP	47.31	
80136872	SPOKANE CONSERVATION DISTRIC		3,750.00
80136873	STARPLEX CORP	1,128.60	
80136874	THE HUNTINGTON NATIONAL BANK		4,081.67
80136875	TRANSPORT EQUIPMENT INC	260.49	
80136876	VERIZON WIRELESS	10,284.30	
80136877	VESTIS GROUP INC	58.47	
80136878	WEST PLAINS AIRPORT AREA	13,371.20	
80136879	WESTERN EQUIPMENT DISTRIBUTO		6,940.47
80136880	WESTERN GLOVE INC		93.70
80136881	DANIEL HERRIGES	4,146.06	
80136882	ROBERT L TYRRELL	60.00	
80136883	INLAND NW AGC APPRENTICESHIP	11,394.06	
80136884	ALSCO DIVISION OF ALSCO INC		209.57
80136885	AMPD ENTERTAINMENT LLC		6,312.74
80136886	SPOKANE FIRE FIGHTERS BENEFIT	13,847.00	
80136887	BI INC	13,883.55	
80136888	BUDINGER & ASSOCIATES INC		864.00
80136889	COLEMAN OIL COMPANY LLC	2,636.60	
80136890	CUMMINS INC	29,071.49	
80136891	DAVID EVANS AND ASSOCIATES I	49,484.21	
80136892	DELTA DENTAL OF WASHINGTON	25,844.30	
80136893	DEVRIES INFORMATION MANAGEMEN		14.76
80136894	DIGNITARY PROTECTION TEAM FU	240.00	
80136895	GWP HOLDINGS LLC	144.96	
80136896	EDU MEMBERSHIP FUND	42.50	
80136897	EVOQUA WATER TECHNOLOGIES LL	1,192.46	
80136898	FIELD INSTRUMENTS & CONTROLS	1,167.54	
80136899	GORLEY LOGISTICS LLC	49.90	
80136900	FIREPOWER INC	130.80	817.50
80136901	FOLSOM INDUSTRIES INC	2,180.00	
80136902	FULCRUM ENVIRONMENTAL	9,800.00	
80136903	POLICE GUILD LEGAL DEFENSE	600.00	
80136904	ARCHBRIGHT INC	13,837.76	
80136905	HOTSY OF SPOKANE LLC	649.66	
80136906	INLAND EMPIRE UTILITY	22,343.00	
80136907	INNOVIA FOUNDATION	50,061.26	
80136908	INT'L ASSN OF FIREFIGHTERS/	64,791.15	

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80136909	KAISER FOUNDATION HEALTH PLA	79,738.19		
80136910	THE LANDS COUNCIL			1,647.50
80136911	LYNDA CARPENTER	243.75		
80136912	LT & CAPT ASSOCIATION	1,860.00		
80136913	LT & CAPT ASSOCIATION - LTD	747.50		
80136914	LTS & CPTS LEGAL DEFENSE FUN	46.00		
80136915	M & P ASSOCIATION	3,081.98		
80136916	MEGA WASH LLC	2,563.63		
80136917	MID CITY CONCERNS INC			1,543.75
80136918	MJ TAKISAKI INC			3,760.70
80136919	NORTHEAST YOUTH CENTER			11,628.13
80136920	NOVUS AUTO GLASS	1,789.73		
80136921	OCCUPATIONAL HEALTH SOLUTION	476.00		
80136922	OFFICE OF STATE AUDITOR	23,282.50		
80136923	PERFORMANCE SYSTEMS	4,298.16		
80136924	PETE LIEN & SONS INC	10,934.90		
80136925	PITNEY BOWES GLOBAL FINANCIA	952.36		

80136926	PMTECH INC	2,500.00	
80136927	SPOKANE POLICE GUILD	28,307.29	
80136928	POMP'S TIRE SERVICE INC	55,526.00	
80136929	PROJECT JOY		2,580.87
80136930	PROVOST PROFESSIONAL	421.93	
80136931	REHN & ASSOCIATES	858.00	
80136932	REHN & ASSOCIATES	26,797.40	
80136933	RIVERSIDE NORTHWEST LAW	647.50	
80136934	MARY F ROE		570.00
80136935	RR DONNELLEY AND SONS COMPAN	1,483.68	
80136936	SINTO SENIOR CENTER		6,434.13
80136937	SOLID WASTE SYSTEMS INC	37,228.83	
80136938	SPOKANE POLICE BENEFIT ASSOC	397.50	
80136939	SPOKANE POLICE CHAPLAIN	3,338.00	
80136940	SPOKANE POLICE K-9 MEMBERSHI	175.00	
80136941	SPECTRUM	81,543.33	
80136942	SPOKANE POLICE GUILD FRATERN	800.64	
80136943	SPOKANE SOFTBALL UMPIRE ASSO		7,905.48
80136944	STARPLEX CORP		615.60
80136945	SPOKANE POLICE SWAT TEAM	610.00	
80136946	SPOKANE POLICE TACTICAL TEAM	540.00	
80136947	TWO RIVERS TERMINAL LLC	9,209.42	
80136948	US BANK TRUST NA	1,228,982.80	
80136949	US BANK OR CITY TREASURER	17,499.81	
80136950	VERIZON WIRELESS	991.47	
80136951	VESTIS GROUP INC	297.45	
80136952	WA ST COUNCIL OF CITY & COUN	32,795.93	
80136953	WA STATE DEPT/TRANSPORTATION	7,732.40	
80136954	WA STATE DEPT OF ECOLOGY	19,406.84	
80136955	WEST CENTRAL COMMUNITY		6,056.25
80136956	WHITWORTH UNIVERSITY AQUATIC		1,080.00
80136957	WILLIS TOWERS WATSON	1,256,411.00	
80136958	WSCCCE, AFSCME, AFL-CIO	351.78	
80136959	ZAYO GROUP HOLDINGS INC	1,967.88	
80136960	CDL SOLUTIONS LLC	7,806.60	

REPORT: PG3640
SYSTEM: FMSAP
USER: MANAGER
RUN NO: 02

CITY OF SPOKANE
COUNCIL CHECK RANGE/TOTAL

DATE: 01/13/25
TIME: 11:41
PAGE: 8

CHECK #	VENDOR	CITY	LIBRARY	PARKS
		10,092,259.78		201,995.33
				=====
		CITYWIDE TOTAL:		10,294,255.11

REPORT: PG3630
SYSTEM: FMSAP
USER: MANAGER
RUN NO: 02

DATE: 01/13/25
TIME:
PAGE: 1

HONORABLE MAYOR
AND COUNCIL MEMBERS

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

0020 - NONDEPARTMENTAL

INNOVIA FOUNDATION	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80136776	2,500.00
US CONFERENCE OF MAYORS	OTH DUES/SUBSCRIPTNS/MEMBERSHP CHECK NO. - 00608109	13,870.00
TOTAL FOR 0020 - NONDEPARTMENTAL		16,370.00

0030 - POLICE OMBUDSMAN

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	275.00
RIVERSIDE NORTHWEST LAW GROUP PLLC	LEGAL SERVICES ACH PMT NO. - 80136933	647.50
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	1,067.76
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	1,502.95
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80136876	128.43
TOTAL FOR 0030 - POLICE OMBUDSMAN		3,621.64

0100 - GENERAL FUND

MERI CHINA 401K PLAN	GRANT CASH PASS THRU ACCOUNT CHECK NO. - 00608119	1,919.34
WALKER CONSTRUCTION, INC PO BOX 3901	PERMIT REFUNDS PAYABLE CHECK NO. - 00608237	101,192.70
TOTAL FOR 0100 - GENERAL FUND		103,112.04

0230 - CIVIL SERVICE

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	870.00
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	3,594.17
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	5,263.84
TOTAL FOR 0230 - CIVIL SERVICE		9,728.01

HONORABLE MAYOR
AND COUNCIL MEMBERS

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

0260 - CITY CLERK

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING
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% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	290.00
ICMA RETIREMENT TRUST 457	PUBLIC RECORDS SPECIALIST	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	5.00
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	1,899.13
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	2,755.91

TOTAL FOR 0260 - CITY CLERK	-----	4,950.04
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0320 - COUNCIL

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	1,110.00
ICMA RETIREMENT TRUST 457	LEGISLATIVE ASSISTANT I & II	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	100.00
NATIONAL LEAGUE OF CITIES	OTH DUES/SUBSCRIPTNS/MEMBERSHP	
	ACH PMT NO. - 80136779	15,767.00
RIVER PARK SQUARE LLC	PARKING/TOLLS (LOCAL)	
	ACH PMT NO. - 80136867	1,400.00
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	4,633.92
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	6,363.73

TOTAL FOR 0320 - COUNCIL	-----	29,374.65
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0330 - PUBLIC AFFAIRS/COMMUNICATIONS

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	530.00
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	2,461.60
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	3,391.95

TOTAL FOR 0330 - PUBLIC AFFAIRS/COMMUNICATIONS	-----	6,383.55
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0370 - ENGINEERING SERVICES

HONORABLE MAYOR
AND COUNCIL MEMBERS

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE	
	ACH PMT NO. - 80136788	861.85
COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES	
	ACH PMT NO. - 80136848	317.60
DONOVAN K AURAND	LOCAL MILEAGE	

	CHECK NO. - 00608196	201.00
FIREPOWER INC	ALARM/SECURITY SERVICES	
	ACH PMT NO. - 80136900	130.80
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	3,113.11
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	PUBLIC WORKS JOURNEY LEVEL INS CHECK NO. - 00608234	20.00
INLAND EMPIRE UTILITY COORDINATING COUNCIL INC	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80136906	5,585.75
PMTECH INC DBA PMWEB	CONTRACTUAL SERVICES ACH PMT NO. - 80136926	1,675.00
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	14,695.82
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	21,295.71
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80136876	1,523.31
VERIZON WIRELESS	IT/DATA SERVICES ACH PMT NO. - 80136876	515.13
VESTIS GROUP INC DBA VESTIS SERVICES INC	LAUNDRY/JANITORIAL SERVICES ACH PMT NO. - 80136951	19.49
TOTAL FOR 0370 - ENGINEERING SERVICES		49,954.57

0410 - FINANCE

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	785.00
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	TAXES & LICENSES SPECIALIST CHECK NO. - 00608234	15.00
LOOMIS ARMORED US INC	CONTRACTUAL SERVICES ACH PMT NO. - 80136861	1,713.10
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	3,033.15
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	4,412.30

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80136950	180.88
TOTAL FOR 0410 - FINANCE		10,139.43

0450 - NEIGHBHD HOUSING HUMAN SVCS

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	175.00
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US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	756.04

US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	1,086.11

TOTAL FOR 0450 - NEIGHBHD HOUSING HUMAN SVCS	2,017.15
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0470 - HISTORIC PRESERVATION

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	160.00

US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	635.29

US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	918.72

TOTAL FOR 0470 - HISTORIC PRESERVATION	1,714.01
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0480 - OFFICE OF CIVIL RIGHTS

US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	340.51

US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	495.95

TOTAL FOR 0480 - OFFICE OF CIVIL RIGHTS	836.46
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0500 - LEGAL

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	1,915.00

US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	10,781.93

US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	15,586.71

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

WA STATE BAR ASSOCIATION	OTH DUES/SUBSCRIPTNS/MEMBERSHP	
LB 1035	CHECK NO. - 00608124	11,387.20

TOTAL FOR 0500 - LEGAL	39,670.84
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0520 - MAYOR

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	550.00

RIVER PARK SQUARE LLC	PARKING/TOLLS (LOCAL)	
	ACH PMT NO. - 80136867	400.00

US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	2,890.84
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	3,424.63
TOTAL FOR 0520 - MAYOR		7,265.47

0550 - NEIGHBORHOOD SERVICES

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	225.00
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	1,114.71
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	1,583.65
TOTAL FOR 0550 - NEIGHBORHOOD SERVICES		2,923.36

0560 - MUNICIPAL COURT

COMCAST	IT/DATA SERVICES CHECK NO. - 00608232	64.95
DEVRIES INFORMATION MANAGEMENT	MISC SERVICES/CHARGES ACH PMT NO. - 80136852	46.15
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	COURT CLERK I CHECK NO. - 00608234	80.00
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	2,182.50
LOOMIS ARMORED US INC	CONTRACTUAL SERVICES ACH PMT NO. - 80136861	1,732.00
PITNEY BOWES GLOBAL FINANCIAL SERVICES LLC	OPERATING RENTALS/LEASES ACH PMT NO. - 80136925	952.36

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

RIVER PARK SQUARE LLC	PARKING/TOLLS (LOCAL) ACH PMT NO. - 80136867	405.50
STARPLEX CORP	ALARM/SECURITY SERVICES ACH PMT NO. - 80136873	1,128.60
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	10,505.51
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	15,352.54
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80136950	556.53
WA STATE BAR ASSOCIATION LB 1035	OTH DUES/SUBSCRIPTNS/MEMBERSHP CHECK NO. - 00608252	778.00

TOTAL FOR 0560 - MUNICIPAL COURT

33,784.64

0570 - OFFICE OF HEARING EXAMINER

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	160.00
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	572.72
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	814.88

TOTAL FOR 0570 - OFFICE OF HEARING EXAMINER

1,547.60

0620 - HUMAN RESOURCES

ARCHBRIGHT INC	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80136904	13,837.76
DEVRIES INFORMATION MANAGEMENT	MISC SERVICES/CHARGES	
	ACH PMT NO. - 80136852	9.23
ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	577.52
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	2,863.58
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	4,023.85

TOTAL FOR 0620 - HUMAN RESOURCES

21,311.94

0650 - PLANNING SERVICES

HONORABLE MAYOR
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

DANIEL HERRIGES	PROFESSIONAL SERVICES	
	ACH PMT NO. - 80136881	4,146.06
ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	1,090.00
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	4,866.28
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	7,109.81

TOTAL FOR 0650 - PLANNING SERVICES

17,212.15

0680 - POLICE

AVISTA CORPORATION	UTILITY LIGHT/POWER SERVICE	
	ACH PMT NO. - 80136787	1,058.99
AVISTA CORPORATION	UTILITY NATURAL GAS	
	ACH PMT NO. - 80136787	623.39

CELLEBRITE USA INC	MINOR EQUIPMENT CHECK NO. - 00608113	703.05
CENTURYLINK	TELEPHONE CHECK NO. - 00608114	201.62
COMCAST	IT/DATA SERVICES CHECK NO. - 00608115	305.58
COPIERS NORTHWEST INC	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80136798	6.01
EVERGREEN STATE TOWING LLC DBA SPOKANE VALLEY TOWING	TOWING EXPENSE CREDIT CARD PMT NO. - 70001108	138.43
FOUR SEASONS SERVICES INC DBA FOUR SEASONS LANDSCAPING	SNOW REMOVAL SERVICES ACH PMT NO. - 80136805	572.25
GALLS LLC	CLOTHING CREDIT CARD PMT NO. - 70001091	4,124.99
GORLEY LOGISTICS LLC dba FIKES NORTHWEST	OPERATING SUPPLIES ACH PMT NO. - 80136804	49.90
GRAINGER INC	OPERATING SUPPLIES ACH PMT NO. - 80136806	108.48
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	97,715.84
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DETECTIVE CHECK NO. - 00608234	14.26
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	POLICE OFFICER CHECK NO. - 00608234	72.77

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	POLICE RECORDS SPECIALIST CHECK NO. - 00608234	10.00
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	SENIOR POLICE OFFICER CHECK NO. - 00608234	194.50
MUNICIPAL EMERGENCY SERVICES INC	OFFICE FURNITURE/EQUIPMENT ACH PMT NO. - 80136809	11,076.14
NORTHWEST INDUSTRIAL SERVICES DBA AMERICAN ON SITE SERVICES	OPERATING RENTALS/LEASES CREDIT CARD PMT NO. - 70001105	117.00
PET EMERGENCY CLINIC	VETERINARY SERVICES CHECK NO. - 00608202	1,675.69
PUBLIC SAFETY TESTING INC	PROFESSIONAL SERVICES CHECK NO. - 00608121	1,497.00
ROBERT E STOFFREGEN MA PS	MEDICAL SERVICES CHECK NO. - 00608246	3,200.00
SPOKANE POLICE CHAPLAINCY BOARD	NON-TRAVEL MEALS/LGHT RFRSHMT ACH PMT NO. - 80136819	288.41
SPOKANE POLICE DEPARTMENT IMPREST FUND	MEDICAL SERVICES CHECK NO. - 00608243	25.79

SPOKANE POLICE DEPARTMENT IMPREST FUND	OPERATING SUPPLIES CHECK NO. - 00608243	100.00
T-MOBILE	CELL PHONE CHECK NO. - 00608123	9,345.34
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	61,869.78
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	41,353.91
VESTIS GROUP INC DBA VESTIS SERVICES INC	LAUNDRY/JANITORIAL SERVICES ACH PMT NO. - 80136951	741.18
VYANET OPERATIONS GROUP dba ALLIED FIRE & SECURITY	ALARM/SECURITY SERVICES ACH PMT NO. - 80136784	2,375.98
WASHINGTON LEOFF DEPT OF RETIREMENT SYSTEMS	PENSION LEOFF II 3.5% CHECK NO. - 00608111	1,310.49
WESTERN STATES POLICE MEDICAL TRUST	VEBA MEDICAL SAVINGS-POLICE CHECK NO. - 00608256	2,275.00
TOTAL FOR 0680 - POLICE		243,151.77

0690 - COMMUNITY JUSTICE SERVICES

COMCAST	IT/DATA SERVICES CHECK NO. - 00608231	384.99
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

COMCAST	TELEPHONE CHECK NO. - 00608231	82.19
DEVRIES INFORMATION MANAGEMENT	MISC SERVICES/CHARGES ACH PMT NO. - 80136852	9.23
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	1,235.00
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	5,912.77
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	8,773.85
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80136950	85.62
TOTAL FOR 0690 - COMMUNITY JUSTICE SERVICES		16,483.65

0700 - PUBLIC DEFENDER

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	1,310.00
LYNDA CARPENTER DBA LC INVESTIGATIONS LLC	LEGAL SERVICES ACH PMT NO. - 80136911	243.75
PROVOST PROFESSIONAL	LEGAL SERVICES	

INVESTIGATIONS	ACH PMT NO. - 80136930	421.93
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	7,795.13
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	10,820.93

TOTAL FOR 0700 - PUBLIC DEFENDER	-----	20,591.74
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0750 - COMMUNITY/ECONOMIC DEV SVC

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	175.00
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	702.18
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	1,019.76

TOTAL FOR 0750 - COMMUNITY/ECONOMIC DEV SVC	-----	1,896.94
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1100 - STREET FUND

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE ACH PMT NO. - 80136841	89.92
GMCO CORP DBA ROADWISE	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80136854	91,256.52
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	4,811.00
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	STREET MAINTENANCE OPERATOR II CHECK NO. - 00608234	60.00
INLAND EMPIRE UTILITY COORDINATING COUNCIL INC	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80136906	5,585.75
INLAND POWER & LIGHT CO	UTILITY LIGHT/POWER SERVICE ACH PMT NO. - 80136858	183.86
JACK W WHIPPLE	PERMITS/OTHER FEES CHECK NO. - 00608219	102.00
SPOKANE COUNTY WATER DIST NO 3	PUBLIC UTILITY SERVICE CHECK NO. - 00608208	26.32
STREET DEPT IMPREST FUND	OPERATING SUPPLIES CHECK NO. - 00608209	21.31
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	23,512.20
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	33,533.12
VESTIS GROUP INC DBA VESTIS SERVICES INC	LAUNDRY/JANITORIAL SERVICES ACH PMT NO. - 80136877	58.47

WA STATE DEPT/TRANSPORTATION	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80136953	208.57
WA STATE DEPT/TRANSPORTATION	STRUCTURE REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80136953	7,523.83
WALTER E NELSON CO	OPERATING SUPPLIES	
	CHECK NO. - 00608216	665.73

TOTAL FOR 1100 - STREET FUND		167,638.60
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1200 - CODE ENFORCEMENT FUND

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	1,275.01
ICMA RETIREMENT TRUST 457	LABORER II	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	10.00
ICMA RETIREMENT TRUST 457	NEIGHBORHOOD HOUSING SPEC	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	50.00

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

KATHLEEN M NICHOLS	PERMIT REFUNDS PAYABLE	
RIVER CITY MANAGEMENT	CHECK NO. - 00608106	15.00
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	4,975.90
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	7,842.10
WATERCO OF THE PACIFIC NORTH	NON-TRAVEL MEALS/LGHT RFRSHMT	
WEST, INC	CHECK NO. - 00608198	65.73

TOTAL FOR 1200 - CODE ENFORCEMENT FUND		14,233.74
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1300 - LIBRARY FUND

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	3,240.00
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	21,458.62
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	28,354.15

TOTAL FOR 1300 - LIBRARY FUND		53,052.77
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1360 - MISCELLANEOUS GRANTS FUND

MERI CHINA 401K PLAN	GRANT CASH PASS THRU ACCOUNT	
	CHECK NO. - 00608119	1,919.34-
MERI CHINA 401K PLAN	PROFESSIONAL SERVICES	
	CHECK NO. - 00608119	1,919.34

0.00

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

3,250.89

TOTAL FOR 1390 - URBAN FORESTRY FUND	568.67
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TOTAL FOR 1400 - PARKS AND RECREATION FUND	63,528.31
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INLAND NW AGC APPRENTICESHIP CONTRACTUAL SERVICES

TRAINING TRUST	ACH PMT NO. - 80136883	11,394.06
INNOVIA FOUNDATION	CONTRACTUAL SERVICES ACH PMT NO. - 80136907	50,061.26
SPECTRUM	CONTRACTUAL SERVICES ACH PMT NO. - 80136941	81,543.33
STANTEC CONSULTING SERVICES INC	CONTRACTUAL SERVICES ACH PMT NO. - 80136820	30,114.75
TOTAL FOR 1425 - AMERICAN RESCUE PLAN		173,113.40
1460 - PARKING METER REVENUE FUND		
HONORABLE MAYOR AND COUNCIL MEMBERS		01/13/25 PAGE 14
PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:		
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	724.99
LOOMIS ARMORED US INC	CONTRACTUAL SERVICES ACH PMT NO. - 80136861	1,184.45
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	2,928.09
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	4,216.21
TOTAL FOR 1460 - PARKING METER REVENUE FUND		9,053.74
1500 - PATHS AND TRAILS RESERVE FUND		
STRIPE RITE INC	CONTRACTUAL SERVICES CHECK NO. - 00608122	7,200.00
TOTAL FOR 1500 - PATHS AND TRAILS RESERVE FUND		7,200.00
1560 - FORFEITURES & CONTRIBUTION FND		
CDW GOVERNMENT INC	TV'S/AUDIO VISUAL EQUIPMENT ACH PMT NO. - 80136791	41,479.95
COMPUNET INC LB 410802	TV'S/AUDIO VISUAL EQUIPMENT ACH PMT NO. - 80136795	9,801.92
NORTH COUNTRY SERVICES LLC	LEGAL SERVICES ACH PMT NO. - 80136811	451.24
TOTAL FOR 1560 - FORFEITURES & CONTRIBUTION FND		51,733.11
1620 - PUBLIC SAFETY & JUDICIAL GRANT		
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	1,044.68
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	328.41

TOTAL FOR 1620 - PUBLIC SAFETY & JUDICIAL GRANT 1,373.09

1625 - PUBLIC SAFETY PERSONNEL FUND

ICMA RETIREMENT TRUST 457 DEFERRED COMPENSATION-MATCHING
% FIRST NATIONAL BANK OF MD CHECK NO. - 00608234 192.89

ING LIFE INSURANCE & ANNUITY DEFERRED COMPENSATION-MATCHING
OR CITY OF SPOKANE TREASURER CHECK NO. - 00608236 3,119.71

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

ING LIFE INSURANCE & ANNUITY FIREFIGHTER
OR CITY OF SPOKANE TREASURER CHECK NO. - 00608236 6.22

US BANK OR CITY TREASURER SOCIAL SECURITY
EMP BENEFITS (CITY) CHECK NO. - 00608249 1,174.47

TOTAL FOR 1625 - PUBLIC SAFETY PERSONNEL FUND 4,493.29

1640 - COMMUNICATIONS BLDG M&O FUND

GRAINGER INC REPAIR & MAINTENANCE SUPPLIES
ACH PMT NO. - 80136855 17.23

PERFORMANCE SYSTEMS EQUIPMENT REPAIRS/MAINTENANCE
INTEGRATION LLC ACH PMT NO. - 80136923 425.14

TOTAL FOR 1640 - COMMUNICATIONS BLDG M&O FUND 442.37

1680 - CD/HS OPERATIONS

ICMA RETIREMENT TRUST 457 DEFERRED COMPENSATION-MATCHING
% FIRST NATIONAL BANK OF MD CHECK NO. - 00608234 1,164.74

US BANK OR CITY TREASURER SOCIAL SECURITY
EMP BENEFITS (CITY) CHECK NO. - 00608249 5,761.87

US BANK TRUST NA RETIREMENT
OR CITY OF SPOKANE ACH PMT NO. - 80136948 8,027.66

TOTAL FOR 1680 - CD/HS OPERATIONS 14,954.27

1910 - CRIMINAL JUSTICE ASSISTANCE FD

BI INC PROFESSIONAL SERVICES
ACH PMT NO. - 80136887 13,883.55

ICMA RETIREMENT TRUST 457 DEFERRED COMPENSATION-MATCHING
% FIRST NATIONAL BANK OF MD CHECK NO. - 00608234 52.50

US BANK OR CITY TREASURER SOCIAL SECURITY
EMP BENEFITS (CITY) CHECK NO. - 00608249 128.95

US BANK TRUST NA RETIREMENT
OR CITY OF SPOKANE ACH PMT NO. - 80136948 194.17

VIRGINIA M SCUDDER

INTERPRETER COSTS

ACH PMT NO. - 80136868

3,300.00

TOTAL FOR 1910 - CRIMINAL JUSTICE ASSISTANCE FD

17,559.17

1970 - FIRE/EMS FUND

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

ALASKA RUBBER GROUP INC DBA ARG INDUSTRIAL	VEHICLE REPAIR & MAINT SUPPLY CREDIT CARD PMT NO. - 70001098	38.26
ALSCO DIVISION OF ALSCO INC	LAUNDRY/JANITORIAL SERVICES ACH PMT NO. - 80136839	151.33
DAVID A ROGERS	REGISTRATION/SCHOOLING CHECK NO. - 00608242	110.00
FIREPOWER INC 10220 N NEVADA ST STE 80	PERMIT REFUNDS PAYABLE CHECK NO. - 00608238	1,039.50
GRAINGER INC	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80136855	16.07
HUGHES FIRE EQUIPMENT INC	VEHICLE REPAIR & MAINT SUPPLY CREDIT CARD PMT NO. - 70001101	1,543.28
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	10,260.18
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	FIRE FAC. & LOGISTIC DIV CHIEF CHECK NO. - 00608234	8.89
ING LIFE INSURANCE & ANNUITY OR CITY OF SPOKANE TREASURER	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608236	55,886.97
ING LIFE INSURANCE & ANNUITY OR CITY OF SPOKANE TREASURER	FIRE EQUIPMENT OPERATOR CHECK NO. - 00608236	30.90
ING LIFE INSURANCE & ANNUITY OR CITY OF SPOKANE TREASURER	FIRE LIEUTENANT CHECK NO. - 00608236	46.99
ING LIFE INSURANCE & ANNUITY OR CITY OF SPOKANE TREASURER	FIREFIGHTER CHECK NO. - 00608236	13.23
MATTHEW G NORTON	REGISTRATION/SCHOOLING ACH PMT NO. - 80136812	140.00
OMNICARE LLC EVERGREEN PHARMACEUTICAL LLC	SAFETY SUPPLIES CHECK NO. - 00608120	1,883.15
PERFORMANCE SYSTEMS INTEGRATION LLC	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80136923	3,083.02
PERFORMANCE SYSTEMS INTEGRATION LLC	OPERATING SUPPLIES ACH PMT NO. - 80136923	790.00
POINTE PEST CONTROL	BUILDING REPAIRS/MAINTENANCE CHECK NO. - 00608203	147.15
PRIMARY PHARMACEUTICALS INC	SAFETY SUPPLIES ACH PMT NO. - 80136865	719.24
SIX ROBBLEES INC	VEHICLE REPAIR & MAINT SUPPLY	

	CHECK NO. - 00608205	284.55
TRANSPORT EQUIPMENT INC	VEHICLE REPAIR & MAINT SUPPLY	
	ACH PMT NO. - 80136875	260.49

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	36,733.84
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	9,295.27
WA STATE DEPT OF NATURAL	CONTRACTUAL SERVICES	
RESOURCES	CHECK NO. - 00608125	32,887.22
WASHINGTON LEOFF	PENSION LEOFF II 3.5%	
DEPT OF RETIREMENT SYSTEMS	CHECK NO. - 00608111	73.50

TOTAL FOR 1970 - FIRE/EMS FUND	-----	155,443.03
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1985 - VOYA DEFINED CONTR ADMIN FUND

R.V. KUHNS & ASSOCIATES, INC.	ADVISORY TECHNICAL SERVICE	
DBA RVK, INC	CHECK NO. - 00608107	8,100.78

TOTAL FOR 1985 - VOYA DEFINED CONTR ADMIN FUND	-----	8,100.78
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3200 - ARTERIAL STREET FUND

BUDINGER & ASSOCIATES INC	CONSTRUCTION OF FIXED ASSETS	
	ACH PMT NO. - 80136843	2,812.95
CPM DEVELOPMENT CORP DBA	CONSTRUCTION OF FIXED ASSETS	
INLAND ASPHALT COMPANY	ACH PMT NO. - 80136830	303,509.72
DAVID EVANS AND ASSOCIATES INC	CONSTRUCTION OF FIXED ASSETS	
	ACH PMT NO. - 80136891	49,484.21

TOTAL FOR 3200 - ARTERIAL STREET FUND	-----	355,806.88
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4100 - WATER DIVISION

ACTION MATERIALS	REPAIR & MAINTENANCE SUPPLIES	
	ACH PMT NO. - 80136770	1,750.05
ANATEK LABS INC	CONTRACTUAL SERVICES	
	CREDIT CARD PMT NO. - 70001106	88.00
AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE	
	ACH PMT NO. - 80136841	196,480.09
AVISTA UTILITIES	UTILITY NATURAL GAS	
	ACH PMT NO. - 80136788	10,338.67
CDL SOLUTIONS LLC	CONTRACTUAL SERVICES	
DBA DRIVE509	ACH PMT NO. - 80136960	7,806.60
CINTAS CORPORATION	LAUNDRY/JANITORIAL SERVICES	
	CREDIT CARD PMT NO. - 70001100	855.79

PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

CONSOLIDATED SUPPLY CO	REPAIR & MAINTENANCE SUPPLIES CREDIT CARD PMT NO. - 70001090	8,312.98
CORE & MAIN LP	INVENTORY PURCHASES FOR WATER ACH PMT NO. - 80136800	756.50
DEVRIES INFORMATION MANAGEMENT	CONTRACTUAL SERVICES ACH PMT NO. - 80136802	9.23
GORLEY LOGISTICS LLC dba FIKES NORTHWEST	CONTRACTUAL SERVICES ACH PMT NO. - 80136899	49.90
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	8,490.00
INLAND EMPIRE UTILITY COORDINATING COUNCIL INC	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80136906	5,585.75
NORTHEAST PUBLIC DEVELOPMENT AUTHORITY	OTHER MISC CHARGES ACH PMT NO. - 80136862	2,167.12
NORTHWEST INDUSTRIAL SERVICES DBA AMERICAN ON SITE SERVICES	OPERATING RENTALS/LEASES CREDIT CARD PMT NO. - 70001089	110.00
SPOKANE CITY TREASURER	REFUNDS CHECK NO. - 00608108	800.00
SPOKANE REGIONAL CLEAN AIR AGENCY	PERMITS/OTHER FEES CHECK NO. - 00608244	502.00
T-MOBILE	TELEPHONE CHECK NO. - 00608213	1,237.16
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	40,507.07
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	58,229.80
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80136876	3,489.93
WA WATER UTILITIES COUNCIL %PNWS-AWWA	OTH DUES/SUBSCRIPTNS/MEMBERSHP CHECK NO. - 00608255	5,500.00
WEST PLAINS AIRPORT AREA PUBLIC DEVELOPMENT AUTHORITY	OTHER MISC CHARGES ACH PMT NO. - 80136878	13,371.20
WILLIAM MEREDITH DBA ADVANCED MACHINE	EQUIPMENT REPAIRS/MAINTENANCE CHECK NO. - 00608129	2,973.57

TOTAL FOR 4100 - WATER DIVISION

369,411.41

4250 - INTEGRATED CAPITAL MANAGEMENT

ABADAN REPROGRAPHICS BUSINESS EQUIPMENT CENTER	CONSTRUCTION OF FIXED ASSETS CHECK NO. - 00608195	6,917.69
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

BNSF RAILWAY COMPANY	CONSTRUCTION OF FIXED ASSETS CHECK NO. - 00608130	2,000.00
HALME CONSTRUCTION INC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80136774	45,382.05
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	1,023.75
LANDMARK STRUCTURES I LP	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80136831	9,024.81
PARAMETRIX INC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80136864	4,143.75
PMTECH INC DBA PMWEB	CONTRACTUAL SERVICES ACH PMT NO. - 80136926	825.00
SURVEYMONKEY INC C/O BANK OF AMERICA LOCKBOX	OTH DUES/SUBSCRIPTNS/MEMBERSHP CHECK NO. - 00608247	2,943.00
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	5,271.26
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	7,681.62
WA STATE DEPT OF ECOLOGY	INTEREST ON LONG TERM DEBT ACH PMT NO. - 80136954	2,649.25
WA STATE DEPT OF ECOLOGY	INTERGOVERNMENTAL LOANS ACH PMT NO. - 80136954	6,878.24
TOTAL FOR 4250 - INTEGRATED CAPITAL MANAGEMENT		94,740.42

4310 - SEWER MAINTENANCE DIVISION

ALSCO DIVISION OF ALSCO INC	LAUNDRY/JANITORIAL SERVICES ACH PMT NO. - 80136839	183.68
AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE ACH PMT NO. - 80136841	131.56
AVISTA UTILITIES	UTILITY NATURAL GAS ACH PMT NO. - 80136841	546.87
CENTURYLINK	TELEPHONE CHECK NO. - 00608197	427.77
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	2,505.00
INLAND EMPIRE UTILITY COORDINATING COUNCIL INC	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80136906	5,585.75
PARAMETRIX INC	CONTRACTUAL SERVICES ACH PMT NO. - 80136864	4,192.50

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

T-MOBILE

CELL PHONE

	CHECK NO. - 00608212	588.00
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	11,701.07
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	17,051.09
VERIZON WIRELESS	CELL PHONE	
	ACH PMT NO. - 80136876	2,543.44

TOTAL FOR 4310 - SEWER MAINTENANCE DIVISION	-----	45,456.73
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4320 - RIVERSIDE PARK RECLAMATION FAC

ALS LABORATORY GROUP	TESTING SERVICES	
	ACH PMT NO. - 80136785	210.00
ATS INLAND NW LLC	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80136771	1,351.60
AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE	
	ACH PMT NO. - 80136841	352.02
AVISTA UTILITIES	UTILITY NATURAL GAS	
	ACH PMT NO. - 80136841	35.88
COALITION FOR CLEAN WATER	OTH DUES/SUBSCRIPTNS/MEMBERSHP	
C/O KYLE DORSEY	ACH PMT NO. - 80136792	9,550.00
COLEMAN OIL COMPANY LLC	MOTOR FUEL-OUTSIDE VENDOR	
	ACH PMT NO. - 80136889	2,636.60
EUROFINS ENVIRONMENT TESTING	TESTING SERVICES	
NORTHWEST LLC	ACH PMT NO. - 80136803	95.00
EVOQUA WATER TECHNOLOGIES LLC	OPERATING RENTALS/LEASES	
	ACH PMT NO. - 80136897	1,192.46
FEDERAL EXPRESS CORP/DBA FEDEX	POSTAGE	
	ACH PMT NO. - 80136853	24.48
FELIX HAYNES	MINOR SAFETY EQUIPMENT	
	CHECK NO. - 00608117	180.00
ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	6,780.01
INDUSTRIAL SERVICE SOLUTIONS	REPAIR & MAINTENANCE SUPPLIES	
LLC	ACH PMT NO. - 80136807	7,743.50
INLAND INFRASTRUCTURE LLC	REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80136775	10,123.75
MCCLINTOCK & TURK INC	MACHINERY/EQUIPMENT	
	ACH PMT NO. - 80136777	468,115.61

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

NORTHWEST INDUSTRIAL SERVICES	OPERATING RENTALS/LEASES	
DBA AMERICAN ON SITE SERVICES	CREDIT CARD PMT NO. - 70001086	210.00
NOVATION INC	EQUIPMENT REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80136780	385.00

OXARC INC	CHEMICAL/LAB SUPPLIES CREDIT CARD PMT NO. - 70001088	2,510.76
PACIFIC POWER GROUP LLC	BUILDING REPAIRS/MAINTENANCE ACH PMT NO. - 80136813	4,721.22
PACIFIC POWER GROUP LLC	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80136813	652.80
POLYDYNE INC	CHEMICAL/LAB SUPPLIES CREDIT CARD PMT NO. - 70001109	6,834.30
TWO RIVERS TERMINAL LLC	CHEMICAL/LAB SUPPLIES ACH PMT NO. - 80136947	18,490.03
T-MOBILE	CELL PHONE CHECK NO. - 00608212	29.75
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	37,156.39
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	54,077.69
VERIZON WIRELESS	TELEPHONE ACH PMT NO. - 80136876	937.46

TOTAL FOR 4320 - RIVERSIDE PARK RECLAMATION FAC	634,396.31
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4330 - STORMWATER

ALSCO DIVISION OF ALSCO INC	LAUNDRY/JANITORIAL SERVICES ACH PMT NO. - 80136839	183.68
AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE ACH PMT NO. - 80136841	277.27
CENTURYLINK	TELEPHONE CHECK NO. - 00608197	425.69
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	1,665.00
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	6,337.92
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	9,091.14
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80136876	333.54

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

VERIZON WIRELESS	TELEPHONE ACH PMT NO. - 80136876	509.27
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TOTAL FOR 4330 - STORMWATER	18,823.51
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4360 - ENVIRONMENTAL PROGRAMS

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	106.25
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	422.57
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	643.40

TOTAL FOR 4360 - ENVIRONMENTAL PROGRAMS	-----	1,172.22
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4370 - SEWER CONSTRUCTION FUND

WA STATE DEPT OF ECOLOGY	INTEREST ON LONG TERM DEBT ACH PMT NO. - 80136954	1,695.41
WA STATE DEPT OF ECOLOGY	INTERGOVERNMENTAL LOANS ACH PMT NO. - 80136954	8,183.94

TOTAL FOR 4370 - SEWER CONSTRUCTION FUND	-----	9,879.35
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4490 - SOLID WASTE DISPOSAL

CONTINENTAL DOOR COMPANY LLC	BUILDING IMPROVEMENTS ACH PMT NO. - 80136772	114,410.34
CONTROL FACTORS - SEATTLE INC	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80136797	2,572.40
ELJAY OIL CO INC	MOTOR FUEL-OUTSIDE VENDOR CREDIT CARD PMT NO. - 70001107	1,364.29
FIELD INSTRUMENTS & CONTROLS INC	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80136898	1,167.54
FOLSOM INDUSTRIES INC dba FOLSOM MFG INC	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80136901	2,180.00
GENERAL KINEMATICS CORPORATION	REPAIR & MAINTENANCE SUPPLIES CREDIT CARD PMT NO. - 70001092	16,318.82
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	3,680.00
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	WTE MAINTENANCE SPECIALIST CHECK NO. - 00608234	60.00

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

LOOMIS ARMORED US INC	CONTRACTUAL SERVICES ACH PMT NO. - 80136861	927.19
MOTION INDUSTRIES INC	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80136778	1,738.06
NORTHWEST INDUSTRIAL SERVICES DBA AMERICAN ON SITE SERVICES	OPERATING RENTALS/LEASES CREDIT CARD PMT NO. - 70001099	989.45
OXARC INC	CHEMICAL/LAB SUPPLIES CREDIT CARD PMT NO. - 70001093	10,625.54
PAPE MACHINERY INC	VEHICLES	

	ACH PMT NO. - 80136863	231,293.21
PETE LIEN & SONS INC	CHEMICAL/LAB SUPPLIES	
	ACH PMT NO. - 80136924	10,934.90
TERRY D SOMERS	PERSONAL PROTECTIVE EQUIPMENT	
	CHECK NO. - 00608207	152.45
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	26,527.00
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	37,130.79
VYANET OPERATIONS GROUP dba	ALARM/SECURITY SERVICES	
ALLIED FIRE & SECURITY	ACH PMT NO. - 80136784	215.09
WA STATE DEPT OF REVENUE	REPAIR & MAINTENANCE SUPPLIES	
	-	1,468.69
WATERCO OF THE PACIFIC NORTH	OPERATING SUPPLIES	
WEST, INC	CHECK NO. - 00608198	485.34
TOTAL FOR 4490 - SOLID WASTE DISPOSAL		464,241.10

4500 - SOLID WASTE COLLECTION

ALSCO DIVISION OF ALSCO INC	LAUNDRY/JANITORIAL SERVICES	
	ACH PMT NO. - 80136786	962.25
CENTURYLINK	TELEPHONE	
	CHECK NO. - 00608114	79.66
DEVRIES INFORMATION MANAGEMENT	MISC SERVICES/CHARGES	
	ACH PMT NO. - 80136802	30.46
GORLEY LOGISTICS LLC	OPERATING SUPPLIES	
dba FIKES NORTHWEST	ACH PMT NO. - 80136804	83.17
HOTSY OF SPOKANE LLC	EQUIPMENT REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80136905	441.05
HOTSY OF SPOKANE LLC	OPERATING SUPPLIES	
	ACH PMT NO. - 80136905	208.61

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

IAN EICKMEYER	PERMITS/OTHER FEES	
	CHECK NO. - 00608116	389.00
ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	4,870.00
ICMA RETIREMENT TRUST 457	REFUSE COLLECTOR I	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	10.00
ICMA RETIREMENT TRUST 457	REFUSE COLLECTOR II	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	45.00
KUTAK ROCK LLP	PROFESSIONAL SERVICES	
	ACH PMT NO. - 80136860	7,300.00
SPOKANE INT'L AIRPORT	PERMITS/OTHER FEES	
	ACH PMT NO. - 80136818	40.00

US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	31,395.23
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	46,218.67
WILLIAM J MCPHEE	PERMITS/OTHER FEES CHECK NO. - 00608118	136.00

TOTAL FOR 4500 - SOLID WASTE COLLECTION	92,209.10
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4530 - SOLID WASTE LANDFILLS

NORTHWEST INDUSTRIAL SERVICES DBA AMERICAN ON SITE SERVICES	OPERATING RENTALS/LEASES CREDIT CARD PMT NO. - 70001099	220.00
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TOTAL FOR 4530 - SOLID WASTE LANDFILLS	220.00
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4600 - GOLF FUND

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	2ND ASST GOLF COURSE SUPT CHECK NO. - 00608234	20.00
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	751.00
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	3,246.97
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	4,784.62

TOTAL FOR 4600 - GOLF FUND	8,802.59
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4700 - DEVELOPMENT SVCS CENTER

HONORABLE MAYOR
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

BILL'S HEATING, AIR, APPLIANCE 1007 N BOULDER CT	PERMIT REFUNDS PAYABLE CHECK NO. - 00608103	60.00
CONTINENTAL BATTERY SYSTEMS 8585 N STEMMONS FWY 600S	PERMIT REFUNDS PAYABLE CHECK NO. - 00608104	84.84
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	2,994.38
NORTHWEST RENEWABLES 1208 S ELM	PERMIT REFUNDS PAYABLE CHECK NO. - 00608105	6.50
ROBERT L TYRRELL	ADVISORY TECHNICAL SERVICE ACH PMT NO. - 80136882	60.00
ROB'S DEMOLITION INC	CONTRACTUAL SERVICES ACH PMT NO. - 80136816	29,282.85
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	15,751.03

US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	22,858.82

TOTAL FOR 4700 - DEVELOPMENT SVCS CENTER		71,098.42
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5100 - FLEET SERVICES FUND

AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE ACH PMT NO. - 80136788	40.24
COLEMAN OIL COMPANY LLC	MOTOR FUEL-OUTSIDE VENDOR ACH PMT NO. - 80136793	18,921.76
CONNELL OIL INC DBA CO-ENERGY	LUBRICANTS ACH PMT NO. - 80136796	187.68
CORWIN OF SPOKANE LLC CORWIN FORD SPOKANE	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80136801	15,247.30
CUMMINS INC DBA CUMMINS SALES & SERVICE	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80136890	29,071.49
FULCRUM ENVIRONMENTAL CONSULTING INC	CONTRACTUAL SERVICES ACH PMT NO. - 80136902	9,800.00
GWP HOLDINGS LLC DBA DOBBS PETERBILT	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80136895	144.96
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	1,700.00
MEGA WASH LLC	CONTRACTUAL SERVICES ACH PMT NO. - 80136916	2,563.63
NORLIFT INC	REGISTRATION/SCHOOLING ACH PMT NO. - 80136810	300.00

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

NOVUS AUTO GLASS	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80136920	1,789.73
POMP'S TIRE SERVICE INC	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80136928	55,526.00
PRORATE AND FUEL TAX DEPT OF LICENSING	MOTOR FUEL-OUTSIDE VENDOR CHECK NO. - 00608215	7,934.38
SHAMROCK AUTOMOTIVE DBA ZIEBART OF SPOKANE	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80136825	415.84
SOLID WASTE SYSTEMS INC dba SWS EQUIPMENT INC	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80136937	37,228.83
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	10,196.20
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	14,648.46
WESTERN STATES EQUIPMENT CO	EQUIPMENT REPAIRS/MAINTENANCE CREDIT CARD PMT NO. - 70001104	27,917.14

TOTAL FOR 5100 - FLEET SERVICES FUND

233,633.64

5110 - FLEET SVCS EQUIP REPL FUND

PUGET SOUND SOLAR LLC	OTHER IMPROVEMENTS	
JEREMY SMITHSON &	ACH PMT NO. - 80136814	2,728.98

TOTAL FOR 5110 - FLEET SVCS EQUIP REPL FUND

2,728.98

5200 - PUBLIC WORKS AND UTILITIES

DEVRIES INFORMATION MANAGEMENT	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80136802	61.84
ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	860.00
SPOKANE NEIGHBORHOOD ACTION	CONTRACTUAL SERVICES	
PARTNERS	ACH PMT NO. - 80136782	7,051.80
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	4,547.75
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	6,679.82
WOMENS TRANSPORTATION SEMINAR	OTH DUES/SUBSCRIPTNS/MEMBERSHP	
SPOKANE COEUR D'ALENE CHAPTER	CHECK NO. - 00608126	500.00

TOTAL FOR 5200 - PUBLIC WORKS AND UTILITIES

19,701.21

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

5300 - IT FUND

CARASOFT TECHNOLOGY CORP	SOFTWARE MAINTENANCE	
	ACH PMT NO. - 80136844	3,005.20
ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	2,274.28
LEVEL 3 FINANCING INC	TELEPHONE	
DBA LEVEL 3 COMMUNICATIONS LLC	CHECK NO. - 00608239	3,662.56
RIVER PARK SQUARE LLC	PARKING/TOLLS (LOCAL)	
	ACH PMT NO. - 80136867	1,000.00
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	13,484.85
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	19,432.95
ZAYO GROUP HOLDINGS INC	TELEPHONE	
	ACH PMT NO. - 80136959	1,967.88

TOTAL FOR 5300 - IT FUND

44,827.72

5400 - REPROGRAPHICS FUND

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	60.00
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	334.51
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	508.62

TOTAL FOR 5400 - REPROGRAPHICS FUND	-----	903.13
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5500 - PURCHASING & STORES FUND

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	550.00
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	2,465.91
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	3,541.02
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80136950	42.81

TOTAL FOR 5500 - PURCHASING & STORES FUND	-----	6,599.74
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

5600 - ACCOUNTING SERVICES

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	ACCOUNTANT CHECK NO. - 00608234	25.00
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	2,196.26
OFFICE OF STATE AUDITOR WASHINGTON STATE	STATE AUDIT CHARGES ACH PMT NO. - 80136922	23,282.50
RR DONNELLEY AND SONS COMPANY DBA RR DONNELLEY	PRINTING/BINDING/REPRO ACH PMT NO. - 80136935	1,483.68
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	14,260.30
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	14,006.41
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80136950	85.62
VERIZON WIRELESS	IT/DATA SERVICES ACH PMT NO. - 80136950	40.01

TOTAL FOR 5600 - ACCOUNTING SERVICES	-----	55,379.78
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5700 - MY SPOKANE

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING
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% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	655.00
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	2,997.29
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	4,419.80

TOTAL FOR 5700 - MY SPOKANE		8,072.09
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5750 - OFFICE OF PERFORMANCE MGMT

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	450.00
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	2,178.49
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	2,845.49

TOTAL FOR 5750 - OFFICE OF PERFORMANCE MGMT		5,473.98
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

5800 - RISK MANAGEMENT FUND

ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	168.00
OCCUPATIONAL HEALTH SOLUTIONS INC	PROFESSIONAL SERVICES ACH PMT NO. - 80136921	476.00
US BANK OR CITY TREASURER LIABILITY CLAIMS	INSURANCE CLAIMS ACH PMT NO. - 80136949	17,499.81
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	992.22
US BANK TRUST NA OR CITY OF SPOKANE	RETIREMENT ACH PMT NO. - 80136948	1,070.93
WILLIS TOWERS WATSON INSURANCE SERVICES WEST INC	INSURANCE PREMIUMS ACH PMT NO. - 80136957	1,256,411.00

TOTAL FOR 5800 - RISK MANAGEMENT FUND		1,276,617.96
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5810 - WORKERS' COMPENSATION FUND

DEVRIES INFORMATION MANAGEMENT	MISC SERVICES/CHARGES ACH PMT NO. - 80136852	18.46
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	DEFERRED COMPENSATION-MATCHING CHECK NO. - 00608234	192.00
SPOKANE ENVELOPE LLC DBA ALLIED ENVELOPE	PRINTING/BINDING/REPRO ACH PMT NO. - 80136837	79.42
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	SOCIAL SECURITY CHECK NO. - 00608249	699.00

US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	989.77

TOTAL FOR 5810 - WORKERS' COMPENSATION FUND	1,978.65
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5820 - UNEMPLOYMENT COMPENSATION FUND

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	7.48
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	29.73
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	43.32

TOTAL FOR 5820 - UNEMPLOYMENT COMPENSATION FUND	80.53
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

5830 - EMPLOYEES BENEFITS FUND

DELTA DENTAL OF WASHINGTON	INSURANCE CLAIMS	
	ACH PMT NO. - 80136892	21,670.50
ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	160.00
KAISER FOUNDATION HEALTH PLAN	INSURANCE ADMINISTRATION	
OF WASHINGTON	ACH PMT NO. - 80136859	76,222.76
KAISER FOUNDATION HEALTH PLAN	INSURANCE CLAIMS	
OF WASHINGTON	ACH PMT NO. - 80136909	79,738.19
KAISER FOUNDATION HEALTH PLAN	INSURANCE PREMIUMS	
OF WASHINGTON	ACH PMT NO. - 80136859	63,985.63
PREMERA BLUE CROSS OR	INSURANCE CLAIMS	
SPOKANE CITY TREASURER	ACH PMT NO. - 80136833	70,109.96
REHN & ASSOCIATES	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80136931	858.00
US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	693.80
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	961.66

TOTAL FOR 5830 - EMPLOYEES BENEFITS FUND	314,400.50
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5900 - FACILITIES MANAGEMENT FUND OPS

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	612.50
OVERHEAD DOOR CORPORATION	BUILDING REPAIRS/MAINTENANCE	
DBA WAYNE DALTON SALES &	CHECK NO. - 00608112	10,213.77

US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	3,474.44
US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	4,886.38

TOTAL FOR 5900 - FACILITIES MANAGEMENT FUND OPS	19,187.09
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5901 - ASSET MANAGEMENT FUND CAPITAL

GWP HOLDINGS LLC	VEHICLES	
DBA DOBBS PETERBILT	ACH PMT NO. - 80136773	568,367.44

TOTAL FOR 5901 - ASSET MANAGEMENT FUND CAPITAL	568,367.44
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

5903 - PROPERTY ACQUISITION FIRE

L N CURTIS & SONS	REPAIR & MAINTENANCE SUPPLIES	
	ACH PMT NO. - 80136851	3,269.99

MCLOUGHLIN & EARDLEY GROUP	VEHICLES	
dba SIRENNET.COM	ACH PMT NO. - 80136871	47.31

TOTAL FOR 5903 - PROPERTY ACQUISITION FIRE	3,317.30
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6100 - RETIREMENT

ICMA RETIREMENT TRUST 457	DEFERRED COMPENSATION-MATCHING	
% FIRST NATIONAL BANK OF MD	CHECK NO. - 00608234	220.00

US BANK OR CITY TREASURER	SOCIAL SECURITY	
EMP BENEFITS (CITY)	CHECK NO. - 00608249	788.69

US BANK TRUST NA	RETIREMENT	
OR CITY OF SPOKANE	ACH PMT NO. - 80136948	1,149.63

TOTAL FOR 6100 - RETIREMENT	2,158.32
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6200 - FIREFIGHTERS' PENSION FUND

DELTA DENTAL OF WASHINGTON	SERVICE REIMBURSEMENT	
	ACH PMT NO. - 80136892	3,235.00

EVERGREEN FOUNTAINS LLC	SERVICE REIMBURSEMENT	
	CHECK NO. - 00608199	5,320.00

FAIRWINDS SPOKANE LLC	SERVICE REIMBURSEMENT	
	CHECK NO. - 00608200	45,904.00

PREMERA BLUE CROSS OR	SERVICE REIMBURSEMENT	
SPOKANE CITY TREASURER	ACH PMT NO. - 80136833	15,218.30

SNOW PEAK 1 LIBERTY LAKE REAL	SERVICE REIMBURSEMENT	
ESTATE LLC	CHECK NO. - 00608206	8,325.00

SPOKANE UNITED METHODIST HOME	SERVICE REIMBURSEMENT	
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dba ROCKWOOD SOUTH HILL	CHECK NO. - 00608204	9,295.00
SPOKANE UNITED METHODIST HOME	SERVICE REIMBURSEMENT	
dba ROCKWOOD SOUTH HILL	CHECK NO. - 00608204	175.37
WELLTOWER PEGASUS TENNANT LLC	SERVICE REIMBURSEMENT	
dba SOUTH HILL VILLAGE	CHECK NO. - 00608218	8,931.00

TOTAL FOR 6200 - FIREFIGHTERS' PENSION FUND	96,403.67
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6255 - LAW ENFORCEMENT RECORDS MGMT

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

WA STATE PATROL	DEPOSIT-SPD STATE REMITTANCE	
	CHECK NO. - 00608253	4,987.25

TOTAL FOR 6255 - LAW ENFORCEMENT RECORDS MGMT	4,987.25
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6300 - POLICE PENSION

CLIFFORD WALTER	SERVICE REIMBURSEMENT	
	CHECK NO. - 00608217	15.69
DELTA DENTAL OF WASHINGTON	SERVICE REIMBURSEMENT	
	ACH PMT NO. - 80136892	938.80
EVERGREEN FOUNTAINS LLC	SERVICE REIMBURSEMENT	
	CHECK NO. - 00608199	6,924.00
EVERGREEN FOUNTAINS LLC	SERVICE REIMBURSEMENT	
	CHECK NO. - 00608199	230.00-
FAIRWINDS SPOKANE LLC	SERVICE REIMBURSEMENT	
	CHECK NO. - 00608200	19,639.50
HOSPICE OF SPOKANE	SERVICE REIMBURSEMENT	
	ACH PMT NO. - 80136857	500.00
JAMES VEITENHEIMER	SERVICE REIMBURSEMENT	
	CHECK NO. - 00608214	7,759.00
PREMERA BLUE CROSS OR	SERVICE REIMBURSEMENT	
SPOKANE CITY TREASURER	ACH PMT NO. - 80136833	15,733.02
SULLIVAN VENTURES, LLC	SERVICE REIMBURSEMENT	
DBA SULLIVAN PARK ASSISTED LVG	CHECK NO. - 00608210	8,120.00
SULLIVAN VENTURES, LLC	SERVICE REIMBURSEMENT	
DBA SULLIVAN PARK ASSISTED LVG	CHECK NO. - 00608210	411.29-
TERRY CARE GROUP LLC	SERVICE REIMBURSEMENT	
dba MURANO SENIOR LIVING	CHECK NO. - 00608211	9,780.00

TOTAL FOR 6300 - POLICE PENSION	68,768.72
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6920 - CLAIMS CLEARING FUND

JP MORGAN COMMERCIAL CARD	WARRANTS PAYABLE
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SOLUTIONS

CHECK NO. - 00608201

586,900.75

TOTAL FOR 6920 - CLAIMS CLEARING FUND

586,900.75

6960 - SALARY CLEARING FUND NEW

CHILD SUPPORT SERVICES	IDAHO CHILD SUPPORT SERVICE	
IDAHO CHILD SUPPORT RECEIPTING	CHECK NO. - 00608230	1,352.88

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

DIGNITARY PROTECTION TEAM FUND % SPOKANE LAW ENFORCEMENT C U	DIGNITARY PROTECTION TEAM FUND ACH PMT NO. - 80136894	240.00
EDU MEMBERSHIP FUND % SPOKANE LAW ENFORCEMENT C U	EDU MEMBERSHIP FUND ACH PMT NO. - 80136896	42.50
HUMAN RESOURCES RE: PARKING FEES	HUMAN RESOURCES CHECK NO. - 00608233	855.50
ICMA RETIREMENT TRUST 457 % FIRST NATIONAL BANK OF MD	ICMA RETIREMENT TRUST 457D CHECK NO. - 00608234	384,456.59
ICMA RETIREMENT TRUST 457 LOAN PAYMENT	ICMA RETR 457D LOAN PAYMENT CHECK NO. - 00608235	56,407.55
ING LIFE INSURANCE & ANNUITY OR CITY OF SPOKANE TREASURER	ING LIFE INSURANCE&ANNUITY CO CHECK NO. - 00608236	101,180.74
INT'L ASSN OF FIREFIGHTERS/ UNION LOCAL 29	INTL ASSOC FF LOCAL 29 ACH PMT NO. - 80136908	64,791.15
LT & CAPT ASSOCIATION % SPOKANE LAW ENFORCEMENT CU	LIEUTENANTS & CAPTAINS ASSOC ACH PMT NO. - 80136912	1,860.00
LT & CAPT ASSOCIATION - LTD	LTD - LTS & CAPTS ACH PMT NO. - 80136913	747.50
LTS & CPTS LEGAL DEFENSE FUND	LEGAL DEFENSE LTS&CAPTS ACH PMT NO. - 80136914	46.00
M & P ASSOCIATION	M&P ASSOCIATION ACH PMT NO. - 80136915	3,081.98
PEOPLE QUALIFIED COMMITTEE AFL-CIO	PEOPLE QUALIFIED COMMITTEE CHECK NO. - 00608240	5.00
POLICE GUILD LEGAL DEFENSE FUND	POLICE GUILD LEGAL DEFENSE ACH PMT NO. - 80136903	600.00
PRE-PAID LEGAL SERVICES INC LEGALSHIELD	PRE-PAID LEGAL SERVICE INC CHECK NO. - 00608241	341.71
REHN & ASSOCIATES SPOKANE CITY TREASURER	AW REHN-SEC 125 DEPENDENT CARE ACH PMT NO. - 80136932	5,686.58
REHN & ASSOCIATES SPOKANE CITY TREASURER	AW REHN-SEC 125 HEALTH ACH PMT NO. - 80136932	21,110.82
SPOKANE FIRE FIGHTERS BENEFIT TRUST	FIRE LONG TERM DISABILITY ACH PMT NO. - 80136886	13,847.00
SPOKANE POLICE BENEFIT ASSOC % SPOKANE LAW ENFORCEMENT C U	SPOKANE POLICE BENEFIT ASSOC ACH PMT NO. - 80136938	397.50

SPOKANE POLICE CHAPLAIN ASSOCIATION	POLICE CHAPLIN ASSOC ACH PMT NO. - 80136939	3,338.00
SPOKANE POLICE GUILD ATTN: BEN GREEN	POLICE GUILD ACH PMT NO. - 80136927	28,307.29

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

SPOKANE POLICE GUILD FRATERNAL ORDER OF POLICE	POLICE GUILD FRAT ORDER OF POL ACH PMT NO. - 80136942	800.64
SPOKANE POLICE K-9 MEMBERSHIP FUND	POLICE K9 MEMBERSHIP FUND ACH PMT NO. - 80136940	175.00
SPOKANE POLICE SWAT TEAM %SPOKANE LAW ENFORCEMENT C U	SPOKANE POLICE SWAT TEAM ACH PMT NO. - 80136945	610.00
SPOKANE POLICE TACTICAL TEAM % SPOKANE LAW ENFORCEMENT C U	SPOKANE POLICE TACTICAL TEAM ACH PMT NO. - 80136946	540.00
STATE DISBURSMENT UNIT ATTN: EMPLOYER PAYMENTS	STATE DISBURSEMENT UNIT CHECK NO. - 00608245	862.60
UNITED STATES TREASURY INTERNAL REVENUE SERVICE/ ACS	UNITED STATES TREASURY CHECK NO. - 00608248	12.50
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	FICA WITHHOLDING-CITY CHECK NO. - 00608249	355,443.16
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	FIT WITHHOLDING-CITY CHECK NO. - 00608249	1,069,492.92
US BANK OR CITY TREASURER EMP BENEFITS (CITY)	MEDI WITHHOLDING-CITY CHECK NO. - 00608249	147,050.47
US BANK TRUST NA OR CITY OF SPOKANE	CITY RETIREMENT SYSTEM ACH PMT NO. - 80136948	614,491.40
VOYA FINANCIAL LOAN REPAYMENT	VOYA LOANS CHECK NO. - 00608250	3,030.09
WA GET PROGRAM	WA GET PROGRAM CHECK NO. - 00608251	375.00
WA ST COUNCIL OF CITY & COUNTY EMPLOYEES	WA ST COUNCIL OF CITY&CO EMPL ACH PMT NO. - 80136952	32,795.93
WA STATE SUPPORT REGISTRY OR CITY OF SPOKANE TREASURER	WA STATE CHILD SUPPORT CHECK NO. - 00608254	16,310.36
WESTERN STATES POLICE MEDICAL TRUST	NW PUBLIC EMP MEDICAL TRUST CHECK NO. - 00608256	975.00
WSCCCE, AFSCME, AFL-CIO	WSCCCE AFSCME AFL CIO ACH PMT NO. - 80136958	351.78

TOTAL FOR 6960 - SALARY CLEARING FUND NEW	----- 2,932,013.14
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TOTAL CLAIMS	----- 9,808,540.51
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**Agenda Sheet for City Council:****Committee:** Date: N/A**Committee Agenda type:****Council Meeting Date:** 01/27/2025**Date Rec'd**

1/21/2025

Clerk's File #

CPR 2025-0002

Cross Ref #**Project #****Submitting Dept**

ACCOUNTING & GRANTS

Bid #**Contact Name/Phone**

REBECCA 625-6096

Requisition #**Contact E-Mail**

RGRAYBEAL@SPOKANECITY.ORG

Agenda Item Type

Claim Item

Council Sponsor(s)**Sponsoring at Administrators Request**

NO

Lease? NO**Grant Related?** NO**Public Works?** NO**Agenda Item Name**

5600-CLAIMS THRU 1-17-2025

Agenda Wording

Report of the Mayor of pending claims & payments of previously approved obligations through: 01/17/2025. Total \$10,898,015.83 with Parks & Library Claims being approved by their respective boards. Claims excluding Parks & Library Total \$10,020,358.88.

Summary (Background)

Pages 1-47 Check numbers: 608257 - 608415 Credit Card numbers: 001110- 0011134 ACH payment numbers: 136961 - 137263 On file for review in City Clerks Office: 47 Page listing of Claims

What impacts would the proposal have on historically excluded communities?

How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?

Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

Council Subcommittee Review

Fiscal Impact			
Approved in Current Year Budget?			
Total Cost	\$		
Current Year Cost	\$		
Subsequent Year(s) Cost	\$		
<u>Narrative</u>			
Amount		Budget Account	
Expense	\$ 10,020,358.88	#	Various
Select	\$	#	
Select	\$	#	
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Select	\$	#	
Funding Source			
Funding Source Type Select			
Is this funding source sustainable for future years, months, etc?			
Expense Occurrence			
Other budget impacts (revenue generating, match requirements, etc.)			
Approvals		Additional Approvals	
<u>Dept Head</u>	BAIRD, CHRISTI		
<u>Division Director</u>			
<u>Accounting Manager</u>			
<u>Legal</u>			
<u>For the Mayor</u>			
Distribution List			

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APPROVAL FUND SUMMARY

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FUND	FUND NAME	AMOUNT
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0100	GENERAL FUND	228,170.86
1100	STREET FUND	34,223.39
1200	CODE ENFORCEMENT FUND	5,942.11
1300	LIBRARY FUND	48,853.01
1360	MISCELLANEOUS GRANTS FUND	971.14
1380	TRAFFIC CALMING MEASURES	105,636.27
1400	PARKS AND RECREATION FUND	12,825.02
1425	AMERICAN RESCUE PLAN	121,968.16
1440	FIRE GRANTS MISCELLANEOUS	207.58
1460	PARKING METER REVENUE FUND	8,937.73
1590	HOTEL/MOTEL TAX FUND	449,955.93
1620	PUBLIC SAFETY & JUDICIAL GRANT	12,559.60
1640	COMMUNICATIONS BLDG M&O FUND	10,947.25
1680	CD/HS OPERATIONS	1,213.85
1910	CRIMINAL JUSTICE ASSISTANCE FD	6,746.78
1940	CHANNEL FIVE EQUIPMENT RESERVE	1,584.27
1970	FIRE/EMS FUND	562,667.95
3160	GENERAL CAPITAL IMPROVEMENTS	54,176.85
3200	ARTERIAL STREET FUND	153,769.37
3501	WEST QUADRANT TIF	50,266.72
4100	WATER DIVISION	927,260.79
4250	INTEGRATED CAPITAL MANAGEMENT	294,330.94
4300	SEWER FUND	530,984.67
4480	SOLID WASTE FUND	1,046,914.64
4600	GOLF FUND	4,900.82
4700	DEVELOPMENT SVCS CENTER	37,828.12
5100	FLEET SERVICES FUND	182,809.52
5200	PUBLIC WORKS AND UTILITIES	74,284.71
5300	IT FUND	249,650.16
5310	IT CAPITAL REPLACEMENT FUND	19,236.98
5400	REPROGRAPHICS FUND	979.41
5500	PURCHASING & STORES FUND	1,180.80
5600	ACCOUNTING SERVICES	554.18
5700	MY SPOKANE	1,102.69
5750	OFFICE OF PERFORMANCE MGMT	22,995.17
5800	RISK MANAGEMENT FUND	0.00
5810	WORKERS' COMPENSATION FUND	241.16
5820	UNEMPLOYMENT COMPENSATION FUND	688,662.35
5830	EMPLOYEES BENEFITS FUND	987,614.30
5900	FACILITIES MANAGEMENT FUND OPS	57,681.22
5902	PROPERTY ACQUISITION POLICE	97,615.79
5903	PROPERTY ACQUISITION FIRE	499.55
5904	FACILITIES CAPITAL	10,500.00
6060	EMPLOYEES' RETIREMENT FUND	486.92
6070	FIREFIGHTERS' PENSION FUND	58,110.97
6080	POLICE PENSION FUND	52,816.99
6230	BUILDING CODE RECORDS MGMT	3,300.50
6250	MUNICIPAL COURT	78,866.62
6255	LAW ENFORCEMENT RECORDS MGMT	39,098.50
6920	CLAIMS CLEARING FUND	250.00
TOTAL:		7,342,382.31

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CHECK #	VENDOR	CITY	LIBRARY	PARKS
	USE TAX AMOUNTS	1,961.91		
00608257	CENTURYLINK	64.99		
00608258	MICHAEL MAYCUMBER	3,488.00		
00608259	DAVID WEITZ	97.00		
00608260	ENERGY AND TECHNOLOGY NATIVE	145.00		
00608261	SIX ROBBLEES INC	821.22		
00608262	PRORATE AND FUEL TAX	1,096.00		
00608263	HUB INTERNATIONAL NW LLC		5,000.00	
00608264	SHANESEE DUNIGAN		150.00	
00608265	KRAV MAGA SPOKANE		150.00	
00608266	JESSICA MARTIN		50.00	
00608267	STEFANI VANDEEST		75.00	
00608268	PATENT & TRADEMARK OFFICE LL		1,170.00	
00608269	MAGUIRE INSURANCE AGENCY INC		104,787.00	
00608270	T-MOBILE		57.53	
00608271	WA STATE PATROL		33.00	
00608272	SIX MILE LLC	48,209.47		
00608273	MELISSA PORT	178.45		
00608274	JENNIFER MATTSON	360.75		
00608275	JANE LILLA	17.50		
00608276	KENNETH UNBEWUST	228.41		
00608277	BLACK REALTY MANAGEMENT INC	1,977.41		
00608278	SHAWN KINGSBURY	325.00		
00608279	T-MOBILE	6.53		
00608280	T-MOBILE USA INC	265.00		
00608281	CANNON HILL INDUSTRIES INC			1,416.00
00608282	WATERCO OF THE PACIFIC NORTH			89.60
00608283	INLAND EMPIRE GOLF COURSE			135.00
00608284	YASSMIN KOURMA			100.00
00608285	SUMMER RRH LLC			13.60
00608286	COMPLETELY IT			3,267.82
00608287	WALTER E NELSON CO			76.09
00608288	OVERHEAD DOOR CORPORATION			4,356.73
00608289	PATRICK J ARNOLD	136.00		
00608290	BIG SKY INDUSTRIAL/DIV OF	2,149.19		
00608291	BNSF RAILWAY COMPANY	2,000.00		
00608292	COMCAST	363.40		
00608293	DS SERVICES OF AMERICA INC	194.21		
00608294	DS SERVICES OF AMERICA INC	102.91		
00608295	WATERCO OF THE PACIFIC NORTH	43.99		
00608296	FRED'S APPLIANCE INC	1,378.55		
00608297	SHANNON YOUNG	250.00		
00608298	JHAB3 CO	2,344.59		
00608299	POINTE PEST CONTROL	1,466.05		
00608300	SALT DISTRIBUTORS INC	6,832.29		
00608301	SPOKANE REGIONAL CLEAN AIR	13,293.00		
00608302	WASTE MANAGEMENT OF WA DBA	2,304.45		
00608303	CANDID		4,995.00	
00608304	NW BUSINESS PRESS INC		699.65	
00608305	PRONUNCIATOR LLC		3,995.00	
00608306	TUMBLEWEED PRESS INC		6,300.00	
00608345	CENTURYLINK	153.38		
00608346	CLEAN HARBORS ENVIRONMENTAL	5,097.71		

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CHECK #	VENDOR	CITY	LIBRARY	PARKS
00608347	FIRST AMERICAN TITLE INS CO	104,447.42		
00608348	FRED L LEAF	190.00		
00608349	ROSAUERS PHARMACY	459.07		
00608350	SIX ROBBLEES INC	859.27		
00608351	US POSTMASTER	100,000.00		
00608352	PRORATE AND FUEL TAX	2,082.63		
00608353	LLOYD C WOLESAGLE JR	93.45		
00608354	CENTURYLINK			302.44
00608355	CENTURYLINK COMMUNICATIONS I			516.07
00608356	COMCAST			188.38
00608357	COMCAST			188.38
00608358	COMCAST			198.01
00608359	COMCAST			744.95
00608360	DE LAGE LANDEN FINANCIAL SVC			765.31
00608361	NW SEED & PET INC			64.69
00608362	PARK DEPT IMPREST FUND			36.75
00608363	PARK DEPT IMPREST FUND			60.54
00608364	SWANSON'S REFRIGERATION &			671.11
00608365	THE TORO COMPANY			228.90
00608366	WA STATE DEPT OF REVENUE			33,347.08
00608367	AT&T MOBILITY	6,420.39		
00608368	VIVA CAPITAL FUNDING LLC F/B	521.10		
00608369	CASCADE ENGINEERING INC	2,625.82		
00608370	CELLEBRITE USA INC	1,199.00		
00608371	CENTURYLINK	1,632.73		
00608372	DGT ENTERPRISES LLC	5,485.00		
00608373	JACOB FRIEND	180.00		
00608374	HSI WORKPLACE COMPLIANCE	6,486.86		
00608375	CAPSTAR RADIO OPERATION CO	3,420.00		
00608376	KELLER SUPPLY COMPANY	2,550.10		
00608377	KHQ INC	6,135.00		
00608378	BENJAMIN LEIGHTON	29.97		
00608379	NORTH SPOKANE IRRIGATION	47.01		
00608380	POINTE PEST CONTROL	130.80		
00608381	ORKIN	511.19		
00608382	PUBLIC SAFETY TESTING INC	403.00		
00608383	QUADIENT FINANCE USA INC	35,132.81		
00608384	REZATEC GLOBAL INC	12,152.00		
00608385	ROMAINE ELECTRIC CORPORATION	183.25		
00608386	SPOKANE CITY TREASURER OR	459,749.00		
00608387	SPOKANE COUNTY CLERK	25.00		
00608388	SPOKANE REGIONAL HEALTH DIST	3.17		
00608389	SPOKANE REGIONAL HEALTH DIST	20,853.00		
00608390	STAGE LEFT THEATER ASSOCIATI	10,000.00		
00608391	UNITED RENTALS NW INC	3,512.03		
00608392	US BANK	25,726.12		
00608393	WA STATE DEPT OF LICENSING	15,456.00		
00608394	WA STATE DEPT OF LICENSING	144.00		
00608395	WA STATE DEPT OF LICENSING	10,842.00		
00608396	WA STATE DEPT OF LICENSING	72.00		
00608397	WA STATE DEPT OF LICENSING	12,099.00		
00608398	WA STATE DEPT OF LICENSING	54.00		
00608399	WA STATE DEPT OF LICENSING	2.92		

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CHECK #	VENDOR	CITY	LIBRARY	PARKS
00608400	WA STATE DEPT OF REVENUE	16,721.36		

00608402	WA STATE EMPLOYMENT SECURITY	417,351.64		
00608403	WA STATE EMPLOYMENT SECURITY	271,310.71		
00608404	WA STATE TREASURER	82,167.12		
00608405	WASTE MANAGEMENT OF WA DBA	60,547.14		
00608406	WEAR-TEK INC	1,426.00		
00608407	WHITWORTH WATER DISTRICT NO	58.98		
00608408	MICHAEL BETHELY		4,000.00	
00608409	ERIKA DEASY DEWITT		250.00	
00608410	YOGA BY DACIA		75.00	
00608411	KATE LEBO		100.00	
00608412	RENEE RAIDT		75.00	
00608415	SNAP FINANCIAL ACCESS	6,741.84		
70001110	CINTAS CORPORATION		76.30	
70001111	HUGHES FIRE EQUIPMENT INC	748.80		
70001112	GALLS LLC	16.49		
70001113	NATIONAL COLOR GRAPHICS INC	4,981.30		
70001114	OXARC INC			7.19
70001115	WESTERN STATES EQUIPMENT CO	3,213.46		
70001116	AIRGAS SPECIALTY PRODUCTS IN	38,463.56		
70001117	CINTAS CORPORATION	1,181.96		
70001118	ELJAY OIL CO INC	1,007.44		
70001119	GALLS LLC	5,068.38		
70001120	GORDON TRUCK CENTERS INC DBA	230.22		
70001121	NORCO INC	2,826.13		
70001122	POLYDYNE INC	33,991.66		
70001123	TMG SERVICES INC	4,857.69		
70001124	NORTHWEST INDUSTRIAL SERVICE			205.00
70001125	CINTAS CORPORATION			91.03
70001126	NORTHWEST INDUSTRIAL SERVICE	530.00		
70001127	ANATEK LABS INC	8,236.00		
70001128	BIG BELLY SOLAR LLC	6,734.69		
70001129	CINTAS CORPORATION	457.49	76.30	
70001130	HUGHES FIRE EQUIPMENT INC	1,073.29		
70001131	NORCO INC	9,487.80		
70001132	OXARC INC	58.63		
70001133	SIGNS FOR SUCCESS INC	653.00		
70001134	HOWMEDICA OSTEONICS CORP	449,770.08		
80136961	AARDVARK	98,639.55		
80136962	ADVANCED CHEMICAL TRANSPORT	928.81		
80136963	ALSCO DIVISION OF ALSCO INC	1,192.18		
80136964	AVISTA CORPORATION	16,814.79		
80136965	AVISTA UTILITIES	19,240.30	2,761.67	
80136966	BOWMAN CONSULTING GROUP LTD	1,427.50		
80136967	CHEMSEARCH FE DIVISION		453.44	
80136968	COPIERS NORTHWEST INC	207.73		
80136969	DELL MARKETING LP	2,717.05		
80136970	DEVRIES INFORMATION MANAGEME	129.22		
80136971	EDGE CONSTRUCTION SUPPLY	2,660.35		
80136972	GORLEY LOGISTICS LLC	49.91		
80136973	FINLEY BUTTES LIMITED	172,378.65		
80136974	FIRE PROTECTION SPECIALISTS	904.50		
80136975	FLUME INC	1,403.92		

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CHECK #	VENDOR	CITY	LIBRARY	PARKS
80136976	FULCRUM MANAGEMENT SOLUTIONS		22,708.34	
80136977	GEOENGINEERS INC	24,800.00		
80136978	LANGUAGE LINE SERVICES	261.17		
80136979	MCCOY POWER CONSULTANTS INC	7,800.00		
80136980	MICROSOFT CORPORATION		1,356.00	

80136981	MK SOLUTIONS INC		126,210.99
80136982	MOUNTAIN CONSULTING SVCS LLC	1,070.00	
80136983	NB ENGINEERING LLC	31,471.12	
80136984	NEPTUNE TECHNOLOGY GROUP INC	4,137.80	
80136985	PACIFIC NW EMERGENCY EQUIPME	884.35	
80136986	PHOENIX COUNSELING SERVICES	6,120.00	
80136987	PUBLIC LIBRARIES OF WASHINGT		2,821.59
80136988	QUADIENT LEASING USA INC		513.10
80136989	RR DONNELLEY AND SONS COMPAN	745.56	
80136990	SEAWESTERN FIRE APPARATUS &	1,253.50	
80136991	SECURITAS SECURITY SERVICES		17,211.55
80136992	SWANK MOTION PICTURES INC		3,584.00
80136993	ULINE INC		144.11
80136994	URLACHER ENTERPRISES INC DBA		12,437.99
80136995	VERIZON WIRELESS	85.62	
80136996	WCP SOLUTIONS		22,529.88
80136997	JENNIE ANDERSON		43.55
80136998	DEVIKA GATES		100.00
80136999	LARRY B HUGHES		13.40
80137000	ANTHONY LAMANNA	1,988.00	
80137001	REBEKAH MACE		52.16
80137002	DION MASON	1,746.00	
80137003	NEIL, MASON		78.03
80137004	JONATHAN ROSARIO		36.38
80137005	JOHN TYLER	3,780.00	
80137006	ALSCO DIVISION OF ALSCO INC		143.66
80137007	BATTERY SYSTEMS INC		248.27
80137008	BEACON SERVICE INC	1,088.38	
80137009	DOWNTOWN SPOKANE PARTNERSHIP	40,000.00	
80137010	CAMTEK INC		1,520.55
80137011	CHEM-AQUA INC		1,847.02
80137012	DESAUTEL HEGE COMMUNICATIONS		6,013.04
80137013	DOUGLAS CO INC		3,685.50
80137014	ELECTRIC CITY INC		1,575.53
80137015	ELECTRONIC DATA COLLECTION	2,256.30	
80137016	ENTERPRISE FM TRUST		22,316.40
80137017	FASTENAL CO		234.36
80137018	FIREPOWER INC		1,675.88
80137019	IMPERIAL BAG & PAPER CO LLC		623.48
80137020	KBG DEVELOPMENTS LLC	8.84	
80137021	KITTELSON & ASSOCIATES INC	21,968.96	
80137022	KRUEGER SHEET METAL COMPANY	60,582.20	
80137023	LANGUAGE LINE SERVICES	205.10	
80137024	MAX J KUNEY COMPANY	401,719.06	
80137025	NORTH COUNTRY SERVICES LLC	1,355.44	
80137026	PERFORMANCE SYSTEMS		1,465.40
80137027	PIONEER HUMAN SERVICES	161.59	
80137028	PLACE LANDSCAPE ARCHITECTURE		21,375.00

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CHECK #	VENDOR	CITY	LIBRARY	PARKS
80137029	REHN & ASSOCIATES	1,232.00		
80137030	RW LOTHROP ENTERPRISES			177.67
80137031	SAFETY KLEEN CORPORATION			300.79
80137032	SHI CORP	150.14		
80137033	SPOKANE COUNTY TREASURER	431.50		
80137034	SPOKANE POLICE CHAPLAINCY	10,475.00		
80137035	SPOKANE PUBLIC FACILITIES	439,955.93		
80137036	SRE LLC DBA	8,519.22		
80137037	STARPLEX CORP	2,019.60		

80137038	TELEDYNE INSTRUMENTS INC	1,041.39		
80137039	THE HUNTINGTON NATIONAL BANK		4,081.67	
80137040	THOMSON WEST	2,485.30		
80137041	TOOLE DESIGN GROUP LLC	13,370.64		
80137042	VERIZON WIRELESS	7,607.44		
80137043	VESTIS GROUP INC	10.08		
80137044	WA ST DEPT OF ENTERPRISE	1,415.24		
80137045	WESTERN EQUIPMENT DISTRIBUTO		1,813.86	
80137046	WHEELER INDUSTRIES INC	1,252.35		
80137047	SARAH J DEATRICH		33.51	
80137048	ABSOLUTE DRUG TESTING LLC	4,552.60		
80137049	ACRANET CBS BRANCH/DIV OF	380.00		
80137050	ACTION MATERIALS	4,219.89		
80137051	SPOKANE ENVELOPE LLC	1,289.54		
80137052	ALSCO DIVISION OF ALSCO INC	75.26		
80137053	APSCO LLC	5,185.28		
80137054	AVISTA UTILITIES	52,983.27		
80137055	BAKER & TAYLOR BOOKS		9,001.99	
80137056	BANNER FURNACE & FUEL	202.74		
80137057	CATHOLIC CHARITIES	20,990.85		
80137058	CENGAGE LEARNING INC		48,187.64	
80137059	COLEMAN OIL COMPANY LLC	9,128.87		
80137060	COLUMBIA ELECTRIC SUPPLY/DIV	64.17		
80137061	COMMONSTREET CONSULTING LLC	10,883.83		
80137062	CONNELL OIL INC	6,654.75		
80137063	CONSOLIDATED ELECTRICAL	719.33		
80137064	COPIERS NORTHWEST INC	15.73		
80137065	COWLES PUBLISHING COMPANY	624.00		
80137066	L N CURTIS & SONS	2,338.25		
80137067	DELL MARKETING LP	25,704.22		
80137068	DEVRIES INFORMATION MANAGEME	64.61		
80137069	DOWL LLC	99,889.34		
80137070	EBSCO INFORMATION SERVICES		36,968.84	
80137071	ECOICHEM ANALYTICS INC	8,470.39		
80137072	EUROFINS ENVIRONMENT TESTING	95.00		
80137073	FASTENAL CO	10,554.91		
80137074	FEDERAL EXPRESS CORP/DBA FED	130.73		
80137075	GORLEY LOGISTICS LLC	33.27		
80137076	FISHER CONSTRUCTION GROUP IN	463.25		
80137077	FISHER SCIENTIFIC	4,691.31		
80137078	GENERAL INDUSTRIES INC		43,366.70	
80137079	HASA INC	15,071.84		
80137080	HASKINS STEEL CO INC	831.64		
80137081	INFOUSA MARKETING INC		5,042.00	

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CHECK #	VENDOR	CITY	LIBRARY	PARKS
80137082	INGRAM LIBRARY SERVICES LLC		3,156.50	
80137083	INLAND ENVIRONMENTAL RESOURC	15,648.29		
80137084	JRM ENTERPRISES INC	4,897.50		
80137085	KANOPY INC		3,184.00	
80137086	KEMIRA WATER SOLUTIONS INC	112,769.24		
80137087	LEXIS-NEXIS RISK & ANALYTICS	163.50		
80137088	LIFEWISE ASSURANCE CO	38,915.21		
80137089	LINN MACHINE & MFG	44,991.18		
80137090	LOOMIS ARMORED US INC	869.14		
80137091	MALLORY SAFETY & SUPPLY LLC	642.76		
80137092	MARTIN LUTHER KING JR FAMILY	94,230.44		
80137093	MIDWEST TAPE		12,801.71	
80137094	NAPA AUTO PARTS	3,366.58		

80137095	OVERDRIVE INC		21,036.69
80137096	OWEN EQUIPMENT CO	1,010.24	
80137097	PETE LIEN & SONS INC	11,558.14	
80137098	POMP'S TIRE SERVICE INC	26,640.04	
80137099	PREMERA BLUE CROSS OR	894,333.51	
80137100	PROCLAIM LIBERTY INC	469,510.50	
80137101	PROQUEST LLC		27,660.95
80137102	THE SALVATION ARMY	607,241.31	
80137103	SPECIALTY MOBILE MIX INC	1,684.05	
80137104	TRANSITIONS	50,238.66	
80137105	TRUTH MINISTRIES OF SPOKANE	34,057.44	
80137106	TWO RIVERS TERMINAL LLC	9,469.44	
80137107	UNIVAR SOLUTIONS USA INC	5,354.20	
80137108	VALUE LINE PUBLISHING INC		8,950.00
80137109	VESTIS GROUP INC	19.49	
80137110	VOLUNTEERS OF AMERICA OF	24,762.36	
80137111	VWR INTERNATIONAL	1,380.10	
80137112	WASHINGTON EQUIPMENT	2,314.62	
80137113	WESTSIDE MOTORSPORTS	1,577.36	
80137114	YWCA	19,809.09	
80137115	THE BABCOCK & WILCOX COMPANY	491.52	
80137116	JESSE SIEMERS	360.00	
80137117	AVISTA UTILITIES	63,360.32	89,439.89
80137118	BARR-TECH LLC	93,709.20	
80137119	CAMTEK INC		441.45
80137120	COPIERS NORTHWEST INC		1,575.29
80137121	COPPER STATE BOLT & NUT CO		82.55
80137122	CREEK AT QUALCHAN GOLF COUR		131.44
80137123	DIXON RESOURCES UNLIMITED	2,801.00	
80137124	EASTSIDE ELECTRIC MOTORS	21,353.10	
80137125	FINANCIAL CONSULTING SOLUTIO	4,190.00	
80137126	FRANCIS AVENUE HARDWARE		318.24
80137127	FULCRUM ENVIRONMENTAL	5,980.00	
80137128	GRAYMAR ENVIRONMENTAL SERVIC	5,137.97	
80137129	HELFRICH BROTHERS BOILER WOR	26,127.95	
80137130	HILLYARD SENIOR ACTIVITY CTR		6,666.74
80137131	INNOVIA FOUNDATION	55,781.90	
80137132	KITTELSON & ASSOCIATES INC	28,297.76	
80137133	LEVY PREMIUM FOOD SERVICE		4,166.67
80137134	MARTIN LUTHER KING JR FAMILY		3,483.33

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80137135	LEGEND INVESTMENTS CORP			228.90
80137136	NRG EDGE CONSULTING LLC			900.00
80137137	PLACE LANDSCAPE ARCHITECTURE			39,447.50
80137138	SHI CORP	51,180.34		
80137139	SOUTHSIDE SENIOR & COMMUNITY			7,736.84
80137140	HESTON HARDWARE			437.06
80137141	SPOKANE COUNTY FIRE DIST 10			1,800.00
80137142	SPOKANE INT'L AIRPORT	136.58		
80137143	SPOKANE POWER TOOL & HDWE			46.84
80137144	STONEWAY ELECTRIC SUPPLY			54.25
80137145	THE HUNTINGTON NATIONAL BANK			9,423.06
80137146	VERIZON WIRELESS	883.60		
80137147	WASHINGTON EQUIPMENT	12,548.63		
80137148	WESTCOAST WINDOW CLEANING IN	550.00		
80137149	WESTERN EQUIPMENT DISTRIBUTO			4,172.49
80137150	ALICE M BUSCH			312.89
80137151	AARON DEMARS	136.00		

80137152	STAN C MCGHEE	705.00	
80137153	JAMES VEITENHEIMER	52.83	
80137154	1ST CLASS OFFICE SOLUTIONS L	1,404.93	
80137155	ABSOLUTE DRUG TESTING LLC	1,755.00	
80137156	ACRANET CBS BRANCH/DIV OF	1,825.00	
80137157	SPOKANE ENVELOPE LLC	253.82	
80137158	ALSCO DIVISION OF ALSCO INC	238.24	
80137159	AMERICAN TRAFFIC SOLUTIONS I	98,658.47	
80137160	AVISTA UTILITIES	172,758.53	4,557.16
80137161	BARR-TECH LLC	868.00	
80137162	ALEXANDER GOOD DEPOT LLC	14,608.00	
80137163	BUDINGER & ASSOCIATES INC	1,359.81	
80137164	BUREAU VERITAS TECHNICAL	885.50	
80137165	CAMTEK INC	25,152.06	
80137166	CARL MAXEY CENTER	251,536.71	
80137167	CARLSON SHEET METAL WORKS IN	3,740.88	
80137168	CATHOLIC CHARITIES	10,474.32	
80137169	CDA REDI MIX & PRECAST INC	1,491.12	
80137170	CDW GOVERNMENT INC	651.44	
80137171	CHASE YOUTH FOUNDATION	11,250.00	
80137172	CIVTECH INC	2,295.00	
80137173	CLEAN ENERGY INC	18,097.05	
80137174	COFFMAN ENGINEERS INC	504.30	
80137175	COLEMAN OIL COMPANY LLC	34,211.95	
80137176	COLUMBIA ELECTRIC SUPPLY/DIV	34,657.49	
80137177	COPIERS NORTHWEST INC	15,380.05	
80137178	CORE & MAIN LP	1,547.65	
80137179	COSTAR REALTY INFORMATION IN		4,943.20
80137180	L N CURTIS & SONS	2,924.47	
80137181	DELTA DENTAL OF WASHINGTON	52,137.26	
80137182	DESIGN WEST ARCHITECTS PA	54,176.85	
80137183	DESIMONE CONSULTING LLC	6,667.00	
80137184	DEVRIES INFORMATION MANAGEME	428.14	
80137185	DNA LABS INTERNATIONAL INC	2,980.00	
80137186	ECOICHEM ANALYTICS INC	3,480.00	
80137187	ELECTRONIC DATA COLLECTION	1,072.50	

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CHECK #	VENDOR	CITY	LIBRARY	PARKS
80137188	LUKE ESSER	7,000.00		
80137189	FELTON FIRE SERVICE LLC	154.78		
80137190	GORLEY LOGISTICS LLC	58.22		
80137191	FLEETCOR TECHNOLOGIES INC	23,639.17		
80137192	FOSTER GARVEY PC	935.00		
80137193	FRONTIER PRECISION	22,399.83		
80137194	GRAINGER INC	146.81		
80137195	GRANICUS LLC	77,165.72		
80137196	GREATER SPOKANE INC		187.50	
80137197	GROUNDWATER SOLUTIONS INC	4,511.25		
80137198	H D FOWLER COMPANY	91,134.90		
80137199	HOME DEPOT USA INC	318.69	3,987.22	
80137200	HDR ENGINEERING INC	14,229.99		
80137201	INDUSTRIAL BOLT & SUPPLY INC		2,130.15	
80137202	INFINITE INNOVATIONS LLC	18,690.30		
80137203	INFOR PUBLIC SECTOR INC	5,851.12		
80137204	INNOVATIVE IMPACT STRATEGIES	28,269.78		
80137205	INTEGRUS ARCHITECTURE	75,685.34		
80137206	INTERFAITH HOSPITALITY	195,775.51		
80137207	JEWELS HELPING HANDS	62,075.84		
80137208	KAISER FOUNDATION HEALTH PLA	109,543.43		

80137209	KXLY	7,290.00	
80137210	LANDMARK STRUCTURES I LP	27,117.22	
80137211	LAWRENCE B STONE PROPERTIES	9,635.60	
80137212	DUANE A LEOPARD	248.57	
80137213	LSB CONSULTING ENGINEERS PLL	8,194.78	
80137214	LUTHERAN COMMUNITY SERVICES	5,945.23	
80137215	NONICA ANDREW DBA MARSHALLES	1,491.00	
80137216	MARTIN LUTHER KING JR FAMILY	20,911.88	
80137217	MCMILLEN INC	61,430.54	
80137218	MOORE IACOFANO GOLTSMAN INC	15,551.96	
80137219	NORTHWEST OPEN ACCESS NETWOR	3,600.00	
80137220	OGLETREE DEAKINS NASH SMOAK	522.00	
80137221	OIL RE-REFINING CO INC	300.00	
80137222	PACIFIC NW EMERGENCY EQUIPME	508.29	
80137223	PARAMETRIX INC	36,631.25	
80137224	POMP'S TIRE SERVICE INC	392.40	
80137225	RIVER CITY GLASS INC	2,530.22	
80137226	ROGUE HEART MEDIA SPC	3,115.50	
80137227	SEATTLE FOUNDATION	9,775.00	
80137228	SHERWIN WILLIAMS CO	339.35	
80137229	SHI CORP	49,681.80	
80137230	SIMPLIFILE LC	5,302.15	
80137231	SPOKANE NEIGHBORHOOD ACTION	743,012.72	
80137232	SPOKANE COUNTY TREASURER	174,580.57	
80137233	SPOKANE EMERGENCY PHYSICIANS	8,265.98	
80137234	SPOKANE REGIONAL DOMESTIC	6,560.60	
80137235	COWLES PUBLISHING COMPANY	559.66	
80137236	W B SPRAGUE COMPANY INC	148.19	
80137237	SPRINGSHARE LLC		514.49
80137238	STANTEC CONSULTING SERVICES	9,509.75	
80137239	STARPLEX CORP		5,752.00
80137240	STONEWAY ELECTRIC SUPPLY	9,578.38	

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80137241	THOMSON WEST	5,777.01		
80137242	US BANK TRAVEL CARD	35,181.65		
80137243	US BANK P CARD PAYMENTS	189,609.76		
80137244	US BANK	2,750.50		
80137245	YOY INC	1,828.75		
80137246	VERIZON WIRELESS	702.57	80.02	
80137247	VERIZON WIRELESS LERT B	225.00		
80137248	VESTIS GROUP INC	342.64		
80137249	WA STATE CRIMINAL JUSTICE	268.00		
80137250	WA STATE PARKS & RECREATION	21,492.94		
80137251	WCP SOLUTIONS		2,928.67	
80137252	WESTERN SYSTEMS INC	9,605.11		
80137253	WINSTON & CASHATT PS	1,577.50		
80137254	YWCA	16,466.10		
80137255	GINA COOPER		55.95	
80137256	ELIZABETH CARA A DREWRY		674.45	
80137257	SUSAN DUFFEY		100.00	
80137258	NICHOLAS ANTHONY FEDERICI	3,500.00		
80137259	NIKKI HANSHAW	60.97		
80137260	JUAN JUAN MOSES		52.30	
80137261	NEIL, MASON		23.17	
80137262	STEVEN PECK		75.00	
80137263	KIMBERLY WHITE	305.00		
		10,020,358.88	547,222.56	330,434.39

CITYWIDE TOTAL:

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10,898,015.83

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

0020 - NONDEPARTMENTAL

FOSTER GARVEY PC	LEGAL SERVICES ACH PMT NO. - 80137192	935.00
US BANK TREASURY MANAGEMENT SERVICES	EARNINGS CREDIT CHECK NO. - 00608392	269.98-
WINSTON & CASHATT PS	LEGAL SERVICES ACH PMT NO. - 80137253	1,577.50
TOTAL FOR 0020 - NONDEPARTMENTAL		2,242.52

0030 - POLICE OMBUDSMAN

COPIERS NORTHWEST INC	MISC SERVICES/CHARGES ACH PMT NO. - 80137177	205.13
US BANK P CARD PAYMENTS	MISC SERVICES/CHARGES ACH PMT NO. - 80137243	8.09
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	19.99
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	715.00
US BANK P CARD PAYMENTS	PARKING/TOLLS (LOCAL) ACH PMT NO. - 80137243	400.00
US BANK P CARD PAYMENTS	PUBLICATIONS ACH PMT NO. - 80137243	50.55
US BANK TRAVEL CARD	LODGING ACH PMT NO. - 80137242	643.26
TOTAL FOR 0030 - POLICE OMBUDSMAN		2,042.02

0100 - GENERAL FUND

ABSOLUTE DRUG TESTING LLC	GRANT CASH PASS THRU ACCOUNT ACH PMT NO. - 80137048	4,552.60
KRUEGER SHEET METAL COMPANY	GRANT CASH PASS THRU ACCOUNT ACH PMT NO. - 80137022	60,582.20
MOORE IACOFANO GOLTSMAN INC DBA MIG INC	GRANT CASH PASS THRU ACCOUNT ACH PMT NO. - 80137218	15,551.96
PHOENIX COUNSELING SERVICES LLC	GRANT CASH PASS THRU ACCOUNT ACH PMT NO. - 80136986	6,120.00
PIONEER HUMAN SERVICES	GRANT CASH PASS THRU ACCOUNT ACH PMT NO. - 80137027	161.59

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

SHAWN KINGSBURY DBA PURA VIDA SOBER LIVING LLC	GRANT CASH PASS THRU ACCOUNT CHECK NO. - 00608278	325.00
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SIMPLIFILE LC	DUE TO OTHER GOVERNMENTAL UNIT ACH PMT NO. - 80137230	607.00
SPOKANE INT'L AIRPORT AIRPORT PARKING TICKETS	DEPOSIT-AIRPORT PARK VIOLATION ACH PMT NO. - 80137142	136.58
STANTEC CONSULTING SERVICES INC	GRANT CASH PASS THRU ACCOUNT ACH PMT NO. - 80137238	9,509.75
US BANK P CARD PAYMENTS	ACCOUNTS RECEIVABLE-MISC ACH PMT NO. - 80137243	3,107.66
US BANK P CARD PAYMENTS	GRANT CASH PASS THRU ACCOUNT ACH PMT NO. - 80137243	1,806.31
US BANK P CARD PAYMENTS	PCARD ADVANCE PYMT REC ACH PMT NO. - 80137243	157,722.36-
WA STATE DEPT OF REVENUE MISCELLANEOUS TAX DIVISION	DEPOSIT-LEASE EXCISE TAX CHECK NO. - 00608400	16,721.36
TOTAL FOR 0100 - GENERAL FUND		38,540.35-

0230 - CIVIL SERVICE

DEVRIES INFORMATION MANAGEMENT	MISC SERVICES/CHARGES ACH PMT NO. - 80137184	18.46
US BANK P CARD PAYMENTS	ADVERTISING ACH PMT NO. - 80137243	1,286.23
US BANK P CARD PAYMENTS	NON-TRAVEL MEALS/LGHT RFRSHMT ACH PMT NO. - 80137243	75.60
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	175.63
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	2,241.10
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	360.00
US BANK P CARD PAYMENTS	PROFESSIONAL SERVICES ACH PMT NO. - 80137243	487.26
US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING ACH PMT NO. - 80137243	350.00
US BANK P CARD PAYMENTS	SOFTWARE (NONCAPITALIZED) ACH PMT NO. - 80137243	1,771.26
WA STATE DEPT OF REVENUE	OPERATING SUPPLIES -	1.62

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

WA STATE DEPT OF REVENUE	OTH DUES/SUBSCRIPTNS/MEMBERSHP -	32.40
TOTAL FOR 0230 - CIVIL SERVICE		6,799.56

0260 - CITY CLERK

COWLES PUBLISHING COMPANY DBA THE SPOKESMAN-REVIEW	ADVERTISING ACH PMT NO. - 80137235	230.44
DEVRIES INFORMATION MANAGEMENT	MISC SERVICES/CHARGES ACH PMT NO. - 80136970	9.23
US BANK P CARD PAYMENTS	MINOR EQUIPMENT ACH PMT NO. - 80137243	64.96
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	146.06
TOTAL FOR 0260 - CITY CLERK		450.69

0300 - HUMAN SERVICES

US BANK P CARD PAYMENTS	ALARM/SECURITY SERVICES ACH PMT NO. - 80137243	38.00
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	796.62
TOTAL FOR 0300 - HUMAN SERVICES		834.62

0320 - COUNCIL

DESIMONE CONSULTING LLC	PROFESSIONAL SERVICES ACH PMT NO. - 80137183	6,667.00
LUKE ESSER	PROFESSIONAL SERVICES ACH PMT NO. - 80137188	7,000.00
NICHOLAS ANTHONY FEDERICI	PROFESSIONAL SERVICES ACH PMT NO. - 80137258	3,500.00
SEATTLE FOUNDATION	PROFESSIONAL SERVICES ACH PMT NO. - 80137227	9,775.00
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	713.72
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	17.77
US BANK TRAVEL CARD	AIRFARE ACH PMT NO. - 80137242	907.53

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK TRAVEL CARD	LODGING ACH PMT NO. - 80137242	668.67
US BANK TRAVEL CARD	REGISTRATION/SCHOOLING ACH PMT NO. - 80137242	222.50
TOTAL FOR 0320 - COUNCIL		29,472.19

0330 - PUBLIC AFFAIRS/COMMUNICATIONS

US BANK P CARD PAYMENTS	CONTRACTUAL SERVICES ACH PMT NO. - 80137243	2,643.93
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	38.09
US BANK P CARD PAYMENTS	PARKING/TOLLS (LOCAL) ACH PMT NO. - 80137243	2.91
US BANK P CARD PAYMENTS	SOFTWARE (NONCAPITALIZED) ACH PMT NO. - 80137243	2,157.81
WA STATE DEPT OF REVENUE	CONTRACTUAL SERVICES -	103.44
TOTAL FOR 0330 - PUBLIC AFFAIRS/COMMUNICATIONS		4,946.18

0370 - ENGINEERING SERVICES

COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES ACH PMT NO. - 80137177	455.44
FRONTIER PRECISION	MACHINERY/EQUIPMENT ACH PMT NO. - 80137193	22,399.83
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	780.84
US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING ACH PMT NO. - 80137243	505.00
VESTIS GROUP INC DBA VESTIS SERVICES INC	LAUNDRY/JANITORIAL SERVICES ACH PMT NO. - 80137109	19.49
WATERCO OF THE PACIFIC NORTH WEST, INC	OPERATING SUPPLIES CHECK NO. - 00608295	43.99
TOTAL FOR 0370 - ENGINEERING SERVICES		24,204.59

0410 - FINANCE

ACRANET CBS BRANCH/DIV OF CBS REPORTING INC	BACKGROUND CHECKS ACH PMT NO. - 80137156	52.50
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK TREASURY MANAGEMENT SERVICES	BANK FEES CHECK NO. - 00608392	3,181.78
US BANK TREASURY MANAGEMENT SERVICES	EARNINGS CREDIT CHECK NO. - 00608392	1,556.20-
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	14.70
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	227.09
US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING ACH PMT NO. - 80137243	1,084.10

TOTAL FOR 0410 - FINANCE

3,003.97

0470 - HISTORIC PRESERVATION

COWLES PUBLISHING COMPANY ADVERTISING
DBA THE SPOKESMAN-REVIEW ACH PMT NO. - 80137235 93.85

SIMPLIFILE LC LEGAL SERVICES
ACH PMT NO. - 80137230 10.90

SPOKANE ENVELOPE LLC PRINTING/BINDING/REPRO
DBA ALLIED ENVELOPE ACH PMT NO. - 80137157 174.40

TOTAL FOR 0470 - HISTORIC PRESERVATION

279.15

0500 - LEGAL

AVISTA UTILITIES UTILITY LIGHT/POWER SERVICE
ACH PMT NO. - 80137054 789.10

AVISTA UTILITIES UTILITY NATURAL GAS
ACH PMT NO. - 80137054 459.65

DELL MARKETING LP COMPUTERS
%DELL USA LP ACH PMT NO. - 80137067 4,408.98

DEVRIES INFORMATION MANAGEMENT MISC SERVICES/CHARGES
ACH PMT NO. - 80137184 46.15

THOMSON WEST PUBLICATIONS
WEST PUBLISHING PAYMENT CTR ACH PMT NO. - 80137241 5,777.01

US BANK P CARD PAYMENTS CLE TRAVEL
ACH PMT NO. - 80137243 1,388.77

US BANK P CARD PAYMENTS LEGAL SERVICES
ACH PMT NO. - 80137243 21.85

US BANK P CARD PAYMENTS OFFICE SUPPLIES
ACH PMT NO. - 80137243 1,638.48

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK P CARD PAYMENTS OTH DUES/SUBSCRIPTNS/MEMBERSHP
ACH PMT NO. - 80137243 393.00

US BANK TRAVEL CARD LODGING
ACH PMT NO. - 80137242 145.16

VESTIS GROUP INC OPERATING SUPPLIES
DBA VESTIS SERVICES INC ACH PMT NO. - 80137248 15.28

YWCA PROFESSIONAL SERVICES
ACH PMT NO. - 80137254 5,364.03

TOTAL FOR 0500 - LEGAL

20,447.46

0520 - MAYOR

DEVRIES INFORMATION MANAGEMENT CONTRACTUAL SERVICES

	ACH PMT NO. - 80137184	14.76
US BANK P CARD PAYMENTS	NON-TRAVEL MEALS/LGHT RFRSHMT ACH PMT NO. - 80137243	397.28
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	52.30
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	958.17
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	150.00
US BANK P CARD PAYMENTS	PRINTING/BINDING/REPRO ACH PMT NO. - 80137243	13.45
TOTAL FOR 0520 - MAYOR		1,585.96
0550 - NEIGHBORHOOD SERVICES		
US BANK P CARD PAYMENTS	NON-TRAVEL MEALS/LGHT RFRSHMT ACH PMT NO. - 80137243	50.00
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	2,720.70
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	2,210.00
TOTAL FOR 0550 - NEIGHBORHOOD SERVICES		4,980.70
0560 - MUNICIPAL COURT		
COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES ACH PMT NO. - 80137177	1,661.46
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:		
US BANK TREASURY MANAGEMENT SERVICES	BANK FEES CHECK NO. - 00608392	187.21
US BANK P CARD PAYMENTS	CELL PHONE ACH PMT NO. - 80137243	38.72
US BANK P CARD PAYMENTS	MINOR EQUIPMENT ACH PMT NO. - 80137243	347.42
US BANK P CARD PAYMENTS	OFFICE FURNITURE (NON CAPITAL) ACH PMT NO. - 80137243	117.44
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	1,026.78
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	11.22
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	115.00
US BANK P CARD PAYMENTS	POSTAGE ACH PMT NO. - 80137243	189.98

US BANK P CARD PAYMENTS	SOFTWARE (NONCAPITALIZED)	
	ACH PMT NO. - 80137243	120.72

TOTAL FOR 0560 - MUNICIPAL COURT	-----	3,815.95
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0570 - OFFICE OF HEARING EXAMINER

US BANK P CARD PAYMENTS	PUBLICATIONS	
	ACH PMT NO. - 80137243	617.60

TOTAL FOR 0570 - OFFICE OF HEARING EXAMINER	-----	617.60
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0620 - HUMAN RESOURCES

DELL MARKETING LP	COMPUTERS	
%DELL USA LP	ACH PMT NO. - 80137067	880.22

US BANK P CARD PAYMENTS	MINOR EQUIPMENT	
	ACH PMT NO. - 80137243	25.28

US BANK P CARD PAYMENTS	OFFICE SUPPLIES	
	ACH PMT NO. - 80137243	70.69

US BANK P CARD PAYMENTS	OPERATING SUPPLIES	
	ACH PMT NO. - 80137243	63.18

US BANK P CARD PAYMENTS	PROMOTIONAL SUPPLIES	
	ACH PMT NO. - 80137243	25.00

TOTAL FOR 0620 - HUMAN RESOURCES	-----	1,064.37
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

0650 - PLANNING SERVICES

SHI CORP	SOFTWARE (NONCAPITALIZED)	
	ACH PMT NO. - 80137138	12,328.60

SIMPLIFILE LC	LEGAL SERVICES	
	ACH PMT NO. - 80137230	2,811.55

SPOKANE ENVELOPE LLC	PRINTING/BINDING/REPRO	
DBA ALLIED ENVELOPE	ACH PMT NO. - 80137051	174.40

US BANK P CARD PAYMENTS	NON-TRAVEL MEALS/LGHT RFRSHMT	
	ACH PMT NO. - 80137243	28.38

US BANK P CARD PAYMENTS	OFFICE SUPPLIES	
	ACH PMT NO. - 80137243	202.12

US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP	
	ACH PMT NO. - 80137243	701.99

US BANK P CARD PAYMENTS	PRINTING/BINDING/REPRO	
	ACH PMT NO. - 80137243	83.21

US BANK P CARD PAYMENTS	PUBLICATIONS	
	ACH PMT NO. - 80137243	1,726.20

US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING	
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	ACH PMT NO. - 80137243	519.73
WA STATE DEPT OF REVENUE	PUBLICATIONS	
	-	155.36
TOTAL FOR 0650 - PLANNING SERVICES		18,731.54

0680 - POLICE

AARDVARK	PROTECTIVE GEAR/CLOTHING ACH PMT NO. - 80136961	4,194.05
ACRANET CBS BRANCH/DIV OF CBS REPORTING INC	BACKGROUND CHECKS ACH PMT NO. - 80137049	380.00
ALEXANDER GOOD DEPOT LLC C/O KIEMLE HAGOOD	OPERATING RENTALS/LEASES ACH PMT NO. - 80137162	14,608.00
ANTHONY LAMANNA	TUITION REIMBURSEMENT ACH PMT NO. - 80137000	1,988.00
AT&T MOBILITY	CELL PHONE CHECK NO. - 00608367	6,420.39
AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE ACH PMT NO. - 80137160	8,060.84
AVISTA UTILITIES	UTILITY NATURAL GAS ACH PMT NO. - 80137160	9,069.39

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

BEACON SERVICE INC	LAUNDRY/JANITORIAL SERVICES ACH PMT NO. - 80137008	1,088.38
CELLEBRITE USA INC	MINOR EQUIPMENT CHECK NO. - 00608370	1,199.00
COPIERS NORTHWEST INC	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80137064	15.73
COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES ACH PMT NO. - 80137177	7,262.48
DEVRIES INFORMATION MANAGEMENT	MISC SERVICES/CHARGES ACH PMT NO. - 80136970	119.99
DGT ENTERPRISES LLC DBA SPOKANE TESTING SOLUTIONS	MEDICAL SERVICES CHECK NO. - 00608372	50.00
DION MASON	TUITION REIMBURSEMENT ACH PMT NO. - 80137002	1,746.00
DNA LABS INTERNATIONAL INC	PROFESSIONAL SERVICES ACH PMT NO. - 80137185	2,980.00
GALLS LLC	CLOTHING CREDIT CARD PMT NO. - 70001112	16.49
GORLEY LOGISTICS LLC dba FIKES NORTHWEST	OPERATING SUPPLIES ACH PMT NO. - 80137075	66.54
JOHN TYLER	TUITION REIMBURSEMENT	

	ACH PMT NO. - 80137005	3,780.00
L N CURTIS & SONS	OPERATING SUPPLIES	
	ACH PMT NO. - 80137066	2,338.25
LANGUAGE LINE SERVICES	INTERPRETER COSTS	
LANGUAGE LINE LLC	ACH PMT NO. - 80137023	205.10
LEXIS-NEXIS RISK & ANALYTICS	BACKGROUND CHECKS	
GROUP ACCURINT-ACCT 1189340	ACH PMT NO. - 80137087	163.50
LOOMIS ARMORED US INC	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80137090	869.14
PUBLIC SAFETY TESTING INC	PROFESSIONAL SERVICES	
	CHECK NO. - 00608382	403.00
SPOKANE POLICE CHAPLAINCY	CONTRACTUAL SERVICES	
BOARD	ACH PMT NO. - 80137034	10,475.00
T-MOBILE USA INC	MISC SERVICES/CHARGES	
	CHECK NO. - 00608280	265.00
US BANK	BANK FEES	
TREASURY MANAGEMENT SERVICES	CHECK NO. - 00608392	206.74
US BANK	EARNINGS CREDIT	
TREASURY MANAGEMENT SERVICES	CHECK NO. - 00608392	9.95-

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK	PER DIEM	
POLICE ADVANCE TRAVEL	ACH PMT NO. - 80137244	2,750.50
US BANK P CARD PAYMENTS	BACKGROUND CHECKS	
	ACH PMT NO. - 80137243	415.45
US BANK P CARD PAYMENTS	CLOTHING	
	ACH PMT NO. - 80137243	327.60
US BANK P CARD PAYMENTS	EQUIPMENT REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80137243	561.35
US BANK P CARD PAYMENTS	IT/DATA SERVICES	
	ACH PMT NO. - 80137243	171.91
US BANK P CARD PAYMENTS	MINOR EQUIPMENT	
	ACH PMT NO. - 80137243	1,760.04
US BANK P CARD PAYMENTS	NON-TRAVEL MEALS/LGHT RFRSHMT	
	ACH PMT NO. - 80137243	2,863.51
US BANK P CARD PAYMENTS	OFFICE SUPPLIES	
	ACH PMT NO. - 80137243	536.47
US BANK P CARD PAYMENTS	OPERATING SUPPLIES	
	ACH PMT NO. - 80137243	6,161.59
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP	
	ACH PMT NO. - 80137243	1,163.52
US BANK P CARD PAYMENTS	POSTAGE	
	ACH PMT NO. - 80137243	458.25
US BANK P CARD PAYMENTS	PRINTING/BINDING/REPRO	
	ACH PMT NO. - 80137243	617.38

US BANK P CARD PAYMENTS	PROFESSIONAL SERVICES ACH PMT NO. - 80137243	299.75
US BANK P CARD PAYMENTS	PROMOTIONAL SUPPLIES ACH PMT NO. - 80137243	119.60
US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING ACH PMT NO. - 80137243	1,795.00
US BANK TRAVEL CARD	AIRFARE ACH PMT NO. - 80137242	3,383.52
US BANK TRAVEL CARD	LODGING ACH PMT NO. - 80137242	5,167.25
US BANK TRAVEL CARD	OTHER TRANSPORTATION EXPENSES ACH PMT NO. - 80137242	639.43
US BANK TRAVEL CARD	REGISTRATION/SCHOOLING ACH PMT NO. - 80137242	16,647.33
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80137042	844.35

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

VERIZON WIRELESS	MOBILE BROADBAND ACH PMT NO. - 80137042	554.44
VERIZON WIRELESS LERT B	MISC SERVICES/CHARGES ACH PMT NO. - 80137247	225.00
VESTIS GROUP INC DBA VESTIS SERVICES INC	LAUNDRY/JANITORIAL SERVICES ACH PMT NO. - 80137043	10.08
VIVA CAPITAL FUNDING LLC F/B/O CASCADE ENGINEERING SERVICES	EQUIPMENT REPAIRS/MAINTENANCE CHECK NO. - 00608368	521.10
WA ST DEPT OF ENTERPRISE SERVICES	PRINTING/BINDING/REPRO ACH PMT NO. - 80137044	1,415.24
WA STATE DEPT OF REVENUE	CLOTHING -	29.48
WA STATE DEPT OF REVENUE	OPERATING SUPPLIES -	21.66

TOTAL FOR 0680 - POLICE

127,421.86

0690 - COMMUNITY JUSTICE SERVICES

ABSOLUTE DRUG TESTING LLC	PROFESSIONAL SERVICES ACH PMT NO. - 80137155	1,755.00
CDW GOVERNMENT INC	MINOR EQUIPMENT ACH PMT NO. - 80137170	393.60
COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES ACH PMT NO. - 80137177	436.45
DS SERVICES OF AMERICA INC DBA CRYSTAL SPRINGS	OFFICE SUPPLIES CHECK NO. - 00608294	200.01

US BANK P CARD PAYMENTS	MISC SERVICES/CHARGES ACH PMT NO. - 80137243	1,384.30
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	594.37
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	408.78
WA STATE CRIMINAL JUSTICE TRAINING COMMISSION	REGISTRATION/SCHOOLING ACH PMT NO. - 80137249	268.00

TOTAL FOR 0690 - COMMUNITY JUSTICE SERVICES	-----	5,440.51
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0700 - PUBLIC DEFENDER

AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE ACH PMT NO. - 80137054	789.11
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

AVISTA UTILITIES	UTILITY NATURAL GAS ACH PMT NO. - 80137054	459.65
COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES ACH PMT NO. - 80137177	428.93
GORLEY LOGISTICS LLC dba FIKES NORTHWEST	OPERATING SUPPLIES ACH PMT NO. - 80136972	16.64
SPOKANE COUNTY CLERK	MISC SERVICES/CHARGES CHECK NO. - 00608387	25.00
THOMSON WEST WEST PUBLISHING PAYMENT CTR	PUBLICATIONS ACH PMT NO. - 80137040	2,485.30
US BANK P CARD PAYMENTS	MISC SERVICES/CHARGES ACH PMT NO. - 80137243	32.11
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	735.47
US BANK TRAVEL CARD	AIRFARE ACH PMT NO. - 80137242	1,600.81
US BANK TRAVEL CARD	LODGING ACH PMT NO. - 80137242	218.90
US BANK TRAVEL CARD	REGISTRATION/SCHOOLING ACH PMT NO. - 80137242	1,116.00
VESTIS GROUP INC DBA VESTIS SERVICES INC	LAUNDRY/JANITORIAL SERVICES ACH PMT NO. - 80137248	327.36

TOTAL FOR 0700 - PUBLIC DEFENDER	-----	8,235.28
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0750 - COMMUNITY/ECONOMIC DEV SVC

US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	74.49
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP	

ACH PMT NO. - 80137243 20.00

TOTAL FOR 0750 - COMMUNITY/ECONOMIC DEV SVC 94.49

1100 - STREET FUND

AARON DEMARS	PERMITS/OTHER FEES	
	ACH PMT NO. - 80137151	136.00
AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE	
	ACH PMT NO. - 80137160	11,375.92
AVISTA UTILITIES	UTILITY NATURAL GAS	
	ACH PMT NO. - 80137160	1,402.25

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

CENTURYLINK	TELEPHONE	
	CHECK NO. - 00608371	241.17
CONSOLIDATED ELECTRICAL DISTRIBUTORS INC	REPAIR & MAINTENANCE SUPPLIES	
	ACH PMT NO. - 80137063	719.33
DGT ENTERPRISES LLC DBA SPOKANE TESTING SOLUTIONS	MEDICAL SERVICES	
	CHECK NO. - 00608372	430.00
FASTENAL CO	OPERATING SUPPLIES	
	ACH PMT NO. - 80137073	3,688.99
NORTH SPOKANE IRRIGATION DIST #8	PUBLIC UTILITY SERVICE	
	CHECK NO. - 00608379	5.00
NORTHWEST INDUSTRIAL SERVICES DBA AMERICAN ON SITE SERVICES	OPERATING RENTALS/LEASES	
	CREDIT CARD PMT NO. - 70001126	420.00
SALT DISTRIBUTORS INC	REPAIR & MAINTENANCE SUPPLIES	
	CHECK NO. - 00608300	6,832.29
SPECIALTY MOBILE MIX INC	REPAIR & MAINTENANCE SUPPLIES	
	ACH PMT NO. - 80137103	1,684.05
US BANK P CARD PAYMENTS	EQUIPMENT REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80137243	1,275.30
US BANK P CARD PAYMENTS	IF REPROGRAPHICS	
	ACH PMT NO. - 80137243	323.05
US BANK P CARD PAYMENTS	OFFICE SUPPLIES	
	ACH PMT NO. - 80137243	109.25
US BANK P CARD PAYMENTS	OPERATING SUPPLIES	
	ACH PMT NO. - 80137243	354.33
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP	
	ACH PMT NO. - 80137243	116.00
US BANK P CARD PAYMENTS	PERSONAL PROTECTIVE EQUIPMENT	
	ACH PMT NO. - 80137243	44.08
US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING	
	ACH PMT NO. - 80137243	310.69
US BANK P CARD PAYMENTS	REPAIR & MAINTENANCE SUPPLIES	
	ACH PMT NO. - 80137243	3,438.76

US BANK P CARD PAYMENTS	SMALL TOOLS ACH PMT NO. - 80137243	0.17-
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80137246	706.94
VERIZON WIRELESS	IT/DATA SERVICES ACH PMT NO. - 80137146	519.14
WA STATE DEPT OF REVENUE	OTH DUES/SUBSCRIPTNS/MEMBERSHP -	10.44

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

WA STATE DEPT OF REVENUE	REGISTRATION/SCHOOLING -	21.60
WHITWORTH WATER DISTRICT NO 2	PUBLIC UTILITY SERVICE CHECK NO. - 00608407	58.98

TOTAL FOR 1100 - STREET FUND

34,223.39

1200 - CODE ENFORCEMENT FUND

DEVRIES INFORMATION MANAGEMENT	MISC SERVICES/CHARGES ACH PMT NO. - 80137068	36.92
DGT ENTERPRISES LLC DBA SPOKANE TESTING SOLUTIONS	MEDICAL SERVICES CHECK NO. - 00608372	110.00
NORTH COUNTRY SERVICES LLC	CONTRACTUAL SERVICES ACH PMT NO. - 80137025	1,355.44
SHERWIN WILLIAMS CO	OPERATING SUPPLIES ACH PMT NO. - 80137228	339.35
SIMPLIFILE LC	LEGAL SERVICES ACH PMT NO. - 80137230	1,872.70
SPOKANE ENVELOPE LLC DBA ALLIED ENVELOPE	PRINTING/BINDING/REPRO ACH PMT NO. - 80137051	324.71
US BANK P CARD PAYMENTS	OPERATING RENTALS/LEASES ACH PMT NO. - 80137243	381.50
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	550.00
US BANK P CARD PAYMENTS	PERSONAL PROTECTIVE EQUIPMENT ACH PMT NO. - 80137243	222.31
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80137042	749.18

TOTAL FOR 1200 - CODE ENFORCEMENT FUND

5,942.11

1300 - LIBRARY FUND

US BANK TREASURY MANAGEMENT SERVICES	BANK FEES CHECK NO. - 00608392	233.44
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US BANK	EARNINGS CREDIT	
TREASURY MANAGEMENT SERVICES	CHECK NO. - 00608392	10.51-
US BANK P CARD PAYMENTS	ADVERTISING	
	ACH PMT NO. - 80137243	622.00
US BANK P CARD PAYMENTS	CHEMICAL/LAB SUPPLIES	
	ACH PMT NO. - 80137243	2,333.38

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK P CARD PAYMENTS	COMPUTERS	
	ACH PMT NO. - 80137243	447.00
US BANK P CARD PAYMENTS	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80137243	112.87
US BANK P CARD PAYMENTS	IT/DATA SERVICES	
	ACH PMT NO. - 80137243	2,505.01
US BANK P CARD PAYMENTS	LIBRARY BOOKS/OTHER MATERIALS	
	ACH PMT NO. - 80137243	6,948.85
US BANK P CARD PAYMENTS	MINOR EQUIPMENT	
	ACH PMT NO. - 80137243	18,245.88
US BANK P CARD PAYMENTS	NON-TRAVEL MEALS/LGHT RFRSHMT	
	ACH PMT NO. - 80137243	656.46
US BANK P CARD PAYMENTS	OPERATING SUPPLIES	
	ACH PMT NO. - 80137243	5,110.68
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP	
	ACH PMT NO. - 80137243	16.34
US BANK P CARD PAYMENTS	PERMITS/OTHER FEES	
	ACH PMT NO. - 80137243	285.00
US BANK P CARD PAYMENTS	RECREATIONAL SUPPLIES	
	ACH PMT NO. - 80137243	3,829.91
US BANK P CARD PAYMENTS	REPAIR & MAINTENANCE SUPPLIES	
	ACH PMT NO. - 80137243	1,212.51
US BANK P CARD PAYMENTS	SAFETY SUPPLIES	
	ACH PMT NO. - 80137243	5,521.82
WA STATE DEPT OF REVENUE	CHEMICAL/LAB SUPPLIES	
	-	12.99
WA STATE DEPT OF REVENUE	COMPUTERS	
	-	40.23
WA STATE DEPT OF REVENUE	MINOR EQUIPMENT	
	-	710.79
WA STATE DEPT OF REVENUE	RECREATIONAL SUPPLIES	
	-	18.36

TOTAL FOR 1300 - LIBRARY FUND

48,853.01

1360 - MISCELLANEOUS GRANTS FUND

ABSOLUTE DRUG TESTING LLC

GRANT CASH PASS THRU ACCOUNT

	ACH PMT NO. - 80137048	4,552.60-
ABSOLUTE DRUG TESTING LLC	PROFESSIONAL SERVICES	
	ACH PMT NO. - 80137048	4,552.60

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

KRUEGER SHEET METAL COMPANY	BUILDING REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80137022	60,582.20
KRUEGER SHEET METAL COMPANY	GRANT CASH PASS THRU ACCOUNT	
	ACH PMT NO. - 80137022	60,582.20-
MOORE IACOFANO GOLTSMAN INC DBA MIG INC	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80137218	15,551.96
MOORE IACOFANO GOLTSMAN INC DBA MIG INC	GRANT CASH PASS THRU ACCOUNT	
	ACH PMT NO. - 80137218	15,551.96-
PHOENIX COUNSELING SERVICES LLC	GRANT CASH PASS THRU ACCOUNT	
	ACH PMT NO. - 80136986	6,120.00-
PHOENIX COUNSELING SERVICES LLC	PROFESSIONAL SERVICES	
	ACH PMT NO. - 80136986	6,120.00
PIONEER HUMAN SERVICES	GRANT CASH PASS THRU ACCOUNT	
	ACH PMT NO. - 80137027	161.59-
PIONEER HUMAN SERVICES	PROFESSIONAL SERVICES	
	ACH PMT NO. - 80137027	161.59
SHAWN KINGSBURY DBA PURA VIDA SOBER LIVING LLC	GRANT CASH PASS THRU ACCOUNT	
	CHECK NO. - 00608278	325.00-
SHAWN KINGSBURY DBA PURA VIDA SOBER LIVING LLC	PROFESSIONAL SERVICES	
	CHECK NO. - 00608278	325.00
STANTEC CONSULTING SERVICES INC	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80137238	9,509.75
STANTEC CONSULTING SERVICES INC	GRANT CASH PASS THRU ACCOUNT	
	ACH PMT NO. - 80137238	9,509.75-
US BANK P CARD PAYMENTS	CLOTHING	
	ACH PMT NO. - 80137243	867.45
US BANK P CARD PAYMENTS	GRANT CASH PASS THRU ACCOUNT	
	ACH PMT NO. - 80137243	1,806.31-
US BANK P CARD PAYMENTS	OPERATING SUPPLIES	
	ACH PMT NO. - 80137243	103.69
US BANK P CARD PAYMENTS	OPERATIONAL TRAVEL	
	ACH PMT NO. - 80137243	850.00
US BANK P CARD PAYMENTS	PROFESSIONAL SERVICES	
	ACH PMT NO. - 80137243	956.31
TOTAL FOR 1360 - MISCELLANEOUS GRANTS FUND		----- 971.14

1380 - TRAFFIC CALMING MEASURES

AMERICAN TRAFFIC SOLUTIONS INC	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80137159	98,658.47

PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

DAVID WEITZ 420 S CHESTNUT ST	SCHOOL ZONE SPEED CAMERA FINE CHECK NO. - 00608259	97.00
DOWL LLC	CONTRACTUAL SERVICES ACH PMT NO. - 80137069	6,735.80
ENERGY AND TECHNOLOGY NATIVE 12830 COGBURN	PHOTO RED FINES CHECK NO. - 00608260	145.00
TOTAL FOR 1380 - TRAFFIC CALMING MEASURES		105,636.27

1400 - PARKS AND RECREATION FUND

ACRANET CBS BRANCH/DIV OF CBS REPORTING INC	BACKGROUND CHECKS ACH PMT NO. - 80137156	840.00
DGT ENTERPRISES LLC DBA SPOKANE TESTING SOLUTIONS	BACKGROUND CHECKS CHECK NO. - 00608372	735.00
US BANK TREASURY MANAGEMENT SERVICES	BANK FEES CHECK NO. - 00608392	365.24
US BANK P CARD PAYMENTS	ADVERTISING ACH PMT NO. - 80137243	1,893.14
US BANK P CARD PAYMENTS	CLOTHING ACH PMT NO. - 80137243	474.70
US BANK P CARD PAYMENTS	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80137243	746.25
US BANK P CARD PAYMENTS	MINOR EQUIPMENT ACH PMT NO. - 80137243	2,037.10
US BANK P CARD PAYMENTS	MISC REPAIRS/MAINTENANCE ACH PMT NO. - 80137243	44.50
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	853.80
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	1,955.26
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	122.99
US BANK P CARD PAYMENTS	PERMITS/OTHER FEES ACH PMT NO. - 80137243	45.40
US BANK P CARD PAYMENTS	PROFESSIONAL SERVICES ACH PMT NO. - 80137243	299.75
US BANK P CARD PAYMENTS	RECREATIONAL SUPPLIES ACH PMT NO. - 80137243	1,295.39
US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING ACH PMT NO. - 80137243	641.50

PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK P CARD PAYMENTS	REPAIRS/MAINTENANCE ACH PMT NO. - 80137243	243.22
US BANK P CARD PAYMENTS	SMALL TOOLS ACH PMT NO. - 80137243	53.94
US BANK TRAVEL CARD	REGISTRATION/SCHOOLING ACH PMT NO. - 80137242	97.00
WA STATE DEPT OF REVENUE	ADVERTISING -	5.64
WA STATE DEPT OF REVENUE	EQUIPMENT REPAIRS/MAINTENANCE -	24.96
WA STATE DEPT OF REVENUE	MINOR EQUIPMENT -	28.35
WA STATE DEPT OF REVENUE	OFFICE SUPPLIES -	21.89
TOTAL FOR 1400 - PARKS AND RECREATION FUND		12,825.02

1425 - AMERICAN RESCUE PLAN

CAPSTAR RADIO OPERATION CO dba IHEART MEDIA	CONTRACTUAL SERVICES CHECK NO. - 00608375	3,420.00
CARLSON SHEET METAL WORKS INC	OTHER IMPROVEMENTS ACH PMT NO. - 80137167	3,740.88
DOWNTOWN SPOKANE PARTNERSHIP	CONTRACTUAL SERVICES ACH PMT NO. - 80137009	40,000.00
INNOVIA FOUNDATION	CONTRACTUAL SERVICES ACH PMT NO. - 80137131	55,781.90
KHQ INC	CONTRACTUAL SERVICES CHECK NO. - 00608377	6,135.00
KXLY SPOKANE TELEVISION INC	CONTRACTUAL SERVICES ACH PMT NO. - 80137209	7,290.00
US BANK P CARD PAYMENTS	CONTRACTUAL SERVICES ACH PMT NO. - 80137243	5,600.38
TOTAL FOR 1425 - AMERICAN RESCUE PLAN		121,968.16

1440 - FIRE GRANTS MISCELLANEOUS

US BANK P CARD PAYMENTS	PROMOTIONAL SUPPLIES ACH PMT NO. - 80137243	207.58
TOTAL FOR 1440 - FIRE GRANTS MISCELLANEOUS		207.58

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

1460 - PARKING METER REVENUE FUND

CENTURYLINK	TELEPHONE	
	CHECK NO. - 00608371	159.32
COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES	
	ACH PMT NO. - 80137177	168.38
DIXON RESOURCES UNLIMITED	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80137123	2,801.00
ELECTRONIC DATA COLLECTION CORPORATION	LEGAL SERVICES	
	ACH PMT NO. - 80137187	1,072.50
ELECTRONIC DATA COLLECTION CORPORATION	REPAIR & MAINTENANCE SUPPLIES	
	ACH PMT NO. - 80137015	2,256.30
SPOKANE ENVELOPE LLC DBA ALLIED ENVELOPE	PRINTING/BINDING/REPRO	
	ACH PMT NO. - 80137051	356.98
US BANK	BANK FEES	
TREASURY MANAGEMENT SERVICES	CHECK NO. - 00608392	570.01
US BANK P CARD PAYMENTS	OFFICE SUPPLIES	
	ACH PMT NO. - 80137243	82.68
US BANK P CARD PAYMENTS	OPERATING SUPPLIES	
	ACH PMT NO. - 80137243	75.30
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP	
	ACH PMT NO. - 80137243	780.00
VERIZON WIRELESS	CELL PHONE	
	ACH PMT NO. - 80137042	492.31
VERIZON WIRELESS	IT/DATA SERVICES	
	ACH PMT NO. - 80137042	120.03
WA STATE DEPT OF LICENSING ATTN: RECORD REQUEST UNIT	LEGAL SERVICES	
	CHECK NO. - 00608399	2.92
TOTAL FOR 1460 - PARKING METER REVENUE FUND		8,937.73

1590 - HOTEL/MOTEL TAX FUND

SPOKANE PUBLIC FACILITIES DISTRICT	SPOKANE PUBLIC FACILITY DIST	
	ACH PMT NO. - 80137035	439,955.93
STAGE LEFT THEATER ASSOCIATION	CONTRACTUAL SERVICES	
	CHECK NO. - 00608390	10,000.00
TOTAL FOR 1590 - HOTEL/MOTEL TAX FUND		449,955.93

1620 - PUBLIC SAFETY & JUDICIAL GRANT

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

SPOKANE REGIONAL DOMESTIC VIOLENCE COALITION	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80137234	6,560.60
US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING	
	ACH PMT NO. - 80137243	5,999.00

TOTAL FOR 1620 - PUBLIC SAFETY & JUDICIAL GRANT		12,559.60
1640 - COMMUNICATIONS BLDG M&O FUND		
AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE ACH PMT NO. - 80137160	9,583.51
AVISTA UTILITIES	UTILITY NATURAL GAS ACH PMT NO. - 80137160	994.36
CENTURYLINK	TELEPHONE CHECK NO. - 00608371	341.52
US BANK P CARD PAYMENTS	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137243	27.86
TOTAL FOR 1640 - COMMUNICATIONS BLDG M&O FUND		10,947.25
1680 - CD/HS OPERATIONS		
US BANK TRAVEL CARD	AIRFARE ACH PMT NO. - 80137242	1,213.85
TOTAL FOR 1680 - CD/HS OPERATIONS		1,213.85
1910 - CRIMINAL JUSTICE ASSISTANCE FD		
DS SERVICES OF AMERICA INC DBA CRYSTAL SPRINGS	OFFICE SUPPLIES CHECK NO. - 00608293	97.11
JRM ENTERPRISES INC DBA PROFESSIONAL LANGUAGE	INTERPRETER COSTS ACH PMT NO. - 80137084	4,897.50
LANGUAGE LINE SERVICES LANGUAGE LINE LLC	INTERPRETER COSTS ACH PMT NO. - 80136978	261.17
NONICA ANDREW DBA MARSHALLESE INTERPRETING SERVICES	INTERPRETER COSTS ACH PMT NO. - 80137215	1,491.00
TOTAL FOR 1910 - CRIMINAL JUSTICE ASSISTANCE FD		6,746.78
1940 - CHANNEL FIVE EQUIPMENT RESERVE		
US BANK P CARD PAYMENTS	MINOR EQUIPMENT ACH PMT NO. - 80137243	1,323.76
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:		
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	260.51
TOTAL FOR 1940 - CHANNEL FIVE EQUIPMENT RESERVE		1,584.27
1970 - FIRE/EMS FUND		

ACRANET CBS BRANCH/DIV OF CBS REPORTING INC	BACKGROUND CHECKS ACH PMT NO. - 80137156	832.00
ALSCO DIVISION OF ALSCO INC	LAUNDRY/JANITORIAL SERVICES ACH PMT NO. - 80137158	381.73
AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE ACH PMT NO. - 80137160	16,391.03
AVISTA UTILITIES	UTILITY NATURAL GAS ACH PMT NO. - 80137160	14,500.81
CENTURYLINK	TELEPHONE CHECK NO. - 00608371	811.52
COLEMAN OIL COMPANY LLC	MOTOR FUEL-OUTSIDE VENDOR ACH PMT NO. - 80137059	9,128.87
CONNELL OIL INC DBA CO-ENERGY	VEHICLE REPAIR & MAINT SUPPLY ACH PMT NO. - 80137062	6,485.00
DEVRIES INFORMATION MANAGEMENT	MISC SERVICES/CHARGES ACH PMT NO. - 80137184	9.23
DGT ENTERPRISES LLC DBA SPOKANE TESTING SOLUTIONS	MEDICAL SERVICES CHECK NO. - 00608372	600.00
FASTENAL CO	OPERATING SUPPLIES ACH PMT NO. - 80137073	2,817.96
FASTENAL CO	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137073	367.13
FASTENAL CO	VEHICLE REPAIR & MAINT SUPPLY ACH PMT NO. - 80137073	34.38
FEDERAL EXPRESS CORP/DBA FEDEX	POSTAGE ACH PMT NO. - 80137074	23.30
FRED'S APPLIANCE INC	MINOR EQUIPMENT CHECK NO. - 00608296	1,378.55
GALLS LLC	CLOTHING CREDIT CARD PMT NO. - 70001119	5,066.42
GALLS LLC	CLOTHING ALTERATIONS & REPAIRS CREDIT CARD PMT NO. - 70001119	1.96
GORDON TRUCK CENTERS INC DBA PACIFIC TRUCK CENTERS	VEHICLE REPAIR & MAINT SUPPLY CREDIT CARD PMT NO. - 70001120	1,799.82

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

GORLEY LOGISTICS LLC dba FIKES NORTHWEST	OPERATING SUPPLIES ACH PMT NO. - 80137190	58.22
GRAINGER INC	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137194	146.81
HOWMEDICA OSTEONICS CORP DBA STRYKER SALES LLC	OPERATING RENTALS/LEASES CREDIT CARD PMT NO. - 70001134	449,770.08
HUGHES FIRE EQUIPMENT INC	VEHICLE REPAIR & MAINT SUPPLY CREDIT CARD PMT NO. - 70001130	1,822.09
INFOR PUBLIC SECTOR INC	SOFTWARE (NONCAPITALIZED)	

	ACH PMT NO. - 80137203	5,851.12
KBG DEVELOPMENTS LLC DBA TOWNS LIQUOR MART	MOTOR FUEL-OUTSIDE VENDOR ACH PMT NO. - 80137020	8.84
L N CURTIS & SONS	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80137180	2,924.47
MALLORY SAFETY & SUPPLY LLC	OPERATING SUPPLIES ACH PMT NO. - 80137091	642.76
MICHAEL MAYCUMBER DBA CORKYS RADIATOR SHOP	VEHICLE REPAIR & MAINT SUPPLY CHECK NO. - 00608258	3,488.00
NAPA AUTO PARTS GENUINE PARTS CO	VEHICLE REPAIR & MAINT SUPPLY ACH PMT NO. - 80137094	3,366.58
NORCO INC	OPERATING SUPPLIES CREDIT CARD PMT NO. - 70001121	91.05
NORCO INC	SAFETY SUPPLIES CREDIT CARD PMT NO. - 70001121	151.27
PACIFIC NW EMERGENCY EQUIPMENT dba GENERAL FIRE APPARATUS	MINOR EQUIPMENT ACH PMT NO. - 80137222	734.19
PACIFIC NW EMERGENCY EQUIPMENT dba GENERAL FIRE APPARATUS	VEHICLE REPAIR & MAINT SUPPLY ACH PMT NO. - 80136985	658.45
POINTE PEST CONTROL	BUILDING REPAIRS/MAINTENANCE CHECK NO. - 00608380	130.80
POMP'S TIRE SERVICE INC	VEHICLE REPAIR & MAINT SUPPLY ACH PMT NO. - 80137098	1,467.17
POMP'S TIRE SERVICE INC	VEHICLE REPAIRS/MAINT ACH PMT NO. - 80137098	282.31
ROMAINE ELECTRIC CORPORATION	VEHICLE REPAIR & MAINT SUPPLY CHECK NO. - 00608385	183.25
SEAWESTERN FIRE APPARATUS & EQUIPMENT/SEAWESTERN INC	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80136990	1,253.50
SIGNS FOR SUCCESS INC	VEHICLE REPAIR & MAINT SUPPLY CREDIT CARD PMT NO. - 70001133	653.00

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

SIX ROBBLEES INC	VEHICLE REPAIR & MAINT SUPPLY CHECK NO. - 00608350	1,680.49
SPOKANE EMERGENCY PHYSICIANS INC	CONTRACTUAL SERVICES ACH PMT NO. - 80137233	8,265.98
US BANK TREASURY MANAGEMENT SERVICES	BANK FEES CHECK NO. - 00608392	191.46
US BANK P CARD PAYMENTS	BANK FEES ACH PMT NO. - 80137243	64.60
US BANK P CARD PAYMENTS	CELL PHONE ACH PMT NO. - 80137243	554.35
US BANK P CARD PAYMENTS	MINOR EQUIPMENT ACH PMT NO. - 80137243	2,115.50

US BANK P CARD PAYMENTS	NON-TRAVEL MEALS/LGHT RFRSHMT ACH PMT NO. - 80137243	556.38
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	586.55
US BANK P CARD PAYMENTS	OPERATING RENTALS/LEASES ACH PMT NO. - 80137243	93.75
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	4,385.36
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	268.32
US BANK P CARD PAYMENTS	PERSONAL PROTECTIVE EQUIPMENT ACH PMT NO. - 80137243	123.99
US BANK P CARD PAYMENTS	POSTAGE ACH PMT NO. - 80137243	174.14
US BANK P CARD PAYMENTS	PROFESSIONAL SERVICES ACH PMT NO. - 80137243	299.75
US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING ACH PMT NO. - 80137243	4,125.16
US BANK P CARD PAYMENTS	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137243	871.04
US BANK P CARD PAYMENTS	SOFTWARE (NONCAPITALIZED) ACH PMT NO. - 80137243	327.00
US BANK P CARD PAYMENTS	UTIL GARBAGE/WASTE REMOVAL ACH PMT NO. - 80137243	23.06
US BANK P CARD PAYMENTS	VEHICLE REPAIR & MAINT SUPPLY ACH PMT NO. - 80137243	1,972.75
US BANK TRAVEL CARD	OTHER TRANSPORTATION EXPENSES ACH PMT NO. - 80137242	36.00

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

VERIZON WIRELESS	IT/DATA SERVICES ACH PMT NO. - 80137246	360.09
WA STATE DEPT OF REVENUE	VEHICLE REPAIR & MAINT SUPPLY -	26.21
WHEELER INDUSTRIES INC	VEHICLE REPAIR & MAINT SUPPLY ACH PMT NO. - 80137046	1,252.35

TOTAL FOR 1970 - FIRE/EMS FUND	562,667.95
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3160 - GENERAL CAPITAL IMPROVEMENTS

DESIGN WEST ARCHITECTS PA	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137182	54,176.85
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TOTAL FOR 3160 - GENERAL CAPITAL IMPROVEMENTS	54,176.85
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3200 - ARTERIAL STREET FUND

COMMONSTREET CONSULTING LLC	RIGHT OF WAY ACH PMT NO. - 80137061	10,883.83
DOWL LLC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137069	93,153.54
PARAMETRIX INC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137223	26,756.25
TOOLE DESIGN GROUP LLC	CONTRACTUAL SERVICES ACH PMT NO. - 80137041	13,370.64
WESTERN SYSTEMS INC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137252	9,605.11

TOTAL FOR 3200 - ARTERIAL STREET FUND		153,769.37
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3501 - WEST QUADRANT TIF

KITTELSON & ASSOCIATES INC	CONTRACTUAL SERVICES ACH PMT NO. - 80137132	50,266.72
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TOTAL FOR 3501 - WEST QUADRANT TIF		50,266.72
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4100 - WATER DIVISION

ACTION MATERIALS	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137050	3,542.03
BLACK REALTY MANAGEMENT INC 801 W RIVERSIDE AVE	REFUNDS CHECK NO. - 00608277	1,977.41

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

BOWMAN CONSULTING GROUP LTD	CONTRACTUAL SERVICES ACH PMT NO. - 80136966	475.84
CAMTEK INC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137165	18,437.66
CAMTEK INC	CONTRACTUAL SERVICES ACH PMT NO. - 80137165	228.90
CDA REDI MIX & PRECAST INC	INVENTORY PURCHASES FOR WATER ACH PMT NO. - 80137169	1,491.12
CINTAS CORPORATION	LAUNDRY/JANITORIAL SERVICES CREDIT CARD PMT NO. - 70001129	321.24
COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES ACH PMT NO. - 80136968	207.73
DGT ENTERPRISES LLC DBA SPOKANE TESTING SOLUTIONS	MEDICAL SERVICES CHECK NO. - 00608372	1,100.00
EDGE CONSTRUCTION SUPPLY	MINOR EQUIPMENT ACH PMT NO. - 80136971	2,660.35
FIRE PROTECTION SPECIALISTS	REPAIRS/MAINTENANCE	

LLC	ACH PMT NO. - 80136974	904.50
FIRST AMERICAN TITLE INS CO	CONSTRUCTION OF FIXED ASSETS CHECK NO. - 00608347	104,447.42
FLUME INC	CONTRACTUAL SERVICES ACH PMT NO. - 80136975	1,403.92
GEOENGINEERS INC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80136977	24,800.00
GRAYMAR ENVIRONMENTAL SERVICES INC	CONTRACTUAL SERVICES ACH PMT NO. - 80137128	5,137.97
H D FOWLER COMPANY	INVENTORY PURCHASES FOR WATER ACH PMT NO. - 80137198	48,971.52
INTEGRUS ARCHITECTURE	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137205	65,185.34
JANE LILLA 8780 DEPOT RD	REFUNDS CHECK NO. - 00608275	17.50
JENNIFER MATTSON PO BOX 216	REFUNDS CHECK NO. - 00608274	360.75
KELLER SUPPLY COMPANY	REPAIR & MAINTENANCE SUPPLIES CHECK NO. - 00608376	2,550.10
KENNETH UNBEWUST 595 SUNNYWOOD LN	REFUNDS CHECK NO. - 00608276	228.41
LSB CONSULTING ENGINEERS PLLC	MACHINERY/EQUIPMENT ACH PMT NO. - 80137213	8,038.53

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

MAX J KUNEY COMPANY	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137024	306,623.58
MCMILLEN INC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137217	61,430.54
MELISSA PORT 241 RAVEN FALLS LN	REFUNDS CHECK NO. - 00608273	178.45
MOUNTAIN CONSULTING SVCS LLC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80136982	1,070.00
NEPTUNE TECHNOLOGY GROUP INC	MACHINERY/EQUIPMENT ACH PMT NO. - 80136984	4,137.80
NORCO INC	MACHINERY/EQUIPMENT CREDIT CARD PMT NO. - 70001131	9,487.80
OXARC INC	OPERATING SUPPLIES CREDIT CARD PMT NO. - 70001132	58.63
ROGUE HEART MEDIA SPC	CONTRACTUAL SERVICES ACH PMT NO. - 80137226	1,901.00
SIX MILE LLC 3900 C ST	REFUNDS CHECK NO. - 00608272	48,209.47
SPOKANE CITY TREASURER OR WASH STATE DEPT OF REVENUE	WA DEPT OF REVENUE CHECK NO. - 00608386	117,757.28

SPOKANE NEIGHBORHOOD ACTION PARTNERS	CONTRACTUAL SERVICES ACH PMT NO. - 80137231	56.44
UNITED RENTALS NW INC	REPAIR & MAINTENANCE SUPPLIES CHECK NO. - 00608391	3,512.03
US BANK P CARD PAYMENTS	CHEMICAL/LAB SUPPLIES ACH PMT NO. - 80137243	1,939.67
US BANK P CARD PAYMENTS	CONTRACTUAL SERVICES ACH PMT NO. - 80137243	482.33
US BANK P CARD PAYMENTS	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80137243	614.00
US BANK P CARD PAYMENTS	INVENTORY PURCHASES FOR WATER ACH PMT NO. - 80137243	2,165.71
US BANK P CARD PAYMENTS	MINOR EQUIPMENT ACH PMT NO. - 80137243	9,784.97
US BANK P CARD PAYMENTS	OFFICE FURNITURE (NON CAPITAL) ACH PMT NO. - 80137243	6,926.47
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	1,260.71
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	2,834.08

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK P CARD PAYMENTS	PERMITS/OTHER FEES ACH PMT NO. - 80137243	3,404.00
US BANK P CARD PAYMENTS	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137243	46,696.52
US BANK TRAVEL CARD	AIRFARE ACH PMT NO. - 80137242	514.40
US BANK TRAVEL CARD	LODGING ACH PMT NO. - 80137242	327.60
US BANK TRAVEL CARD	OTHER TRANSPORTATION EXPENSES ACH PMT NO. - 80137242	82.11
WA STATE DEPT OF REVENUE	REPAIR & MAINTENANCE SUPPLIES -	103.50
WESTERN STATES EQUIPMENT CO	REPAIR & MAINTENANCE SUPPLIES CREDIT CARD PMT NO. - 70001115	3,213.46

TOTAL FOR 4100 - WATER DIVISION

927,260.79

4250 - INTEGRATED CAPITAL MANAGEMENT

BNSF RAILWAY COMPANY	CONSTRUCTION OF FIXED ASSETS CHECK NO. - 00608291	2,000.00
CIVTECH INC	CONTRACTUAL SERVICES ACH PMT NO. - 80137172	2,295.00

COFFMAN ENGINEERS INC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137174	504.30
COLUMBIA ELECTRIC SUPPLY/DIV CONSOLIDATED ELECTRICAL	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137176	34,657.49
CORE & MAIN LP	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137178	1,547.65
COWLES PUBLISHING COMPANY DBA THE SPOKESMAN-REVIEW	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137235	235.37
GROUNDWATER SOLUTIONS INC dba GSI WATER SOLUTIONS INC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137197	4,511.25
H D FOWLER COMPANY	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137198	42,163.38
LANDMARK STRUCTURES I LP	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137210	27,117.22
LSB CONSULTING ENGINEERS PLLC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137213	156.25
MAX J KUNEY COMPANY	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137024	95,095.48

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

PARAMETRIX INC	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137223	9,875.00
REZATEC GLOBAL INC	CONSTRUCTION OF FIXED ASSETS CHECK NO. - 00608384	12,152.00
SHI CORP	SOFTWARE (NONCAPITALIZED) ACH PMT NO. - 80137229	385.64
SPOKANE CITY TREASURER OR WASH STATE DEPT OF REVENUE	WA DEPT OF REVENUE CHECK NO. - 00608386	59,989.64
SPOKANE NEIGHBORHOOD ACTION PARTNERS	CONTRACTUAL SERVICES ACH PMT NO. - 80137231	61.14
US BANK P CARD PAYMENTS	CONSTRUCTION OF FIXED ASSETS ACH PMT NO. - 80137243	950.52
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	337.61
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	296.00

TOTAL FOR 4250 - INTEGRATED CAPITAL MANAGEMENT	-----	294,330.94
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4310 - SEWER MAINTENANCE DIVISION

ACTION MATERIALS	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137050	677.86
ALSCO DIVISION OF ALSCO INC	LAUNDRY/JANITORIAL SERVICES ACH PMT NO. - 80136963	570.12
AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE	

	ACH PMT NO. - 80137160	155.66
BOWMAN CONSULTING GROUP LTD	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80136966	475.83
COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES	
	ACH PMT NO. - 80137177	821.97
DEVRIES INFORMATION MANAGEMENT	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80137184	9.23
DGT ENTERPRISES LLC	MEDICAL SERVICES	
DBA SPOKANE TESTING SOLUTIONS	CHECK NO. - 00608372	420.00
NORTHWEST INDUSTRIAL SERVICES	OPERATING RENTALS/LEASES	
DBA AMERICAN ON SITE SERVICES	CREDIT CARD PMT NO. - 70001126	110.00
PRORATE AND FUEL TAX	WA DEPT OF REVENUE	
DEPT OF LICENSING	CHECK NO. - 00608352	2,082.63
SPOKANE CITY TREASURER OR	WA DEPT OF REVENUE	
WASH STATE DEPT OF REVENUE	CHECK NO. - 00608386	66,201.91

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK P CARD PAYMENTS	EQUIPMENT REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80137243	939.24
US BANK P CARD PAYMENTS	MINOR EQUIPMENT	
	ACH PMT NO. - 80137243	110.18
US BANK P CARD PAYMENTS	OFFICE SUPPLIES	
	ACH PMT NO. - 80137243	268.31
US BANK P CARD PAYMENTS	OPERATING SUPPLIES	
	ACH PMT NO. - 80137243	4,496.96
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP	
	ACH PMT NO. - 80137243	262.00
US BANK P CARD PAYMENTS	PERMITS/OTHER FEES	
	ACH PMT NO. - 80137243	712.43
US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING	
	ACH PMT NO. - 80137243	400.00
US BANK P CARD PAYMENTS	REPAIR & MAINTENANCE SUPPLIES	
	ACH PMT NO. - 80137243	1,679.37
US BANK P CARD PAYMENTS	SAFETY SUPPLIES	
	ACH PMT NO. - 80137243	2,458.02
US BANK P CARD PAYMENTS	SMALL TOOLS	
	ACH PMT NO. - 80137243	10.78

TOTAL FOR 4310 - SEWER MAINTENANCE DIVISION

82,862.50

4320 - RIVERSIDE PARK RECLAMATION FAC

APSCO LLC	REPAIR & MAINTENANCE SUPPLIES	
	ACH PMT NO. - 80137053	5,185.28
AVISTA UTILITIES	OPERATING RENTALS/LEASES	
	ACH PMT NO. - 80137054	465.41

AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE ACH PMT NO. - 80137054	24,811.57
AVISTA UTILITIES	UTILITY NATURAL GAS ACH PMT NO. - 80137160	24,962.53
CDW GOVERNMENT INC	OFFICE SUPPLIES ACH PMT NO. - 80137170	257.84
CENTURYLINK	TELEPHONE CHECK NO. - 00608257	64.99
COLUMBIA ELECTRIC SUPPLY/DIV CONSOLIDATED ELECTRICAL	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137060	64.17
DGT ENTERPRISES LLC DBA SPOKANE TESTING SOLUTIONS	MEDICAL SERVICES CHECK NO. - 00608372	210.00

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

EUROFINS ENVIRONMENT TESTING NORTHWEST LLC	TESTING SERVICES ACH PMT NO. - 80137072	95.00
FEDERAL EXPRESS CORP/DBA FEDEX	POSTAGE ACH PMT NO. - 80137074	107.43
FISHER SCIENTIFIC	OPERATING SUPPLIES ACH PMT NO. - 80137077	4,691.31
HASA INC	CHEMICAL/LAB SUPPLIES ACH PMT NO. - 80137079	15,071.84
INLAND ENVIRONMENTAL RESOURCES INC	TESTING SERVICES ACH PMT NO. - 80137083	15,648.29
JACOB FRIEND	MINOR SAFETY EQUIPMENT CHECK NO. - 00608373	180.00
JESSE SIEMERS	MINOR SAFETY EQUIPMENT ACH PMT NO. - 80137116	360.00
KEMIRA WATER SOLUTIONS INC	CHEMICAL/LAB SUPPLIES ACH PMT NO. - 80137086	112,769.24
NORCO INC	OPERATING RENTALS/LEASES CREDIT CARD PMT NO. - 70001121	1,355.72
POINTE PEST CONTROL	CONTRACTUAL SERVICES CHECK NO. - 00608299	1,466.05
POLYDYNE INC	CHEMICAL/LAB SUPPLIES CREDIT CARD PMT NO. - 70001122	33,991.66
PRORATE AND FUEL TAX DEPT OF LICENSING	MOTOR FUEL-OUTSIDE VENDOR CHECK NO. - 00608262	1,096.00
SPOKANE CITY TREASURER OR WASH STATE DEPT OF REVENUE	WA DEPT OF REVENUE CHECK NO. - 00608386	78,005.56
SPOKANE REGIONAL CLEAN AIR AGENCY	PERMITS/OTHER FEES CHECK NO. - 00608301	13,293.00
TELEDYNE INSTRUMENTS INC	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80137038	1,041.39

TMG SERVICES INC	REPAIR & MAINTENANCE SUPPLIES CREDIT CARD PMT NO. - 70001123	4,857.69
TWO RIVERS TERMINAL LLC	CHEMICAL/LAB SUPPLIES ACH PMT NO. - 80137106	9,469.44
T-MOBILE	CELL PHONE CHECK NO. - 00608279	6.53
UNIVAR SOLUTIONS USA INC	CHEMICAL/LAB SUPPLIES ACH PMT NO. - 80137107	5,354.20
US BANK P CARD PAYMENTS	MINOR SAFETY EQUIPMENT ACH PMT NO. - 80137243	1,672.20

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	926.56
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	15,066.50
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	50.00
US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING ACH PMT NO. - 80137243	1,153.00
US BANK P CARD PAYMENTS	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137243	3,665.04
US BANK P CARD PAYMENTS	SAFETY SUPPLIES ACH PMT NO. - 80137243	72.03
US BANK P CARD PAYMENTS	SMALL TOOLS ACH PMT NO. - 80137243	57.51
US BANK P CARD PAYMENTS	TUITION REIMBURSEMENT ACH PMT NO. - 80137243	42.00
US BANK TRAVEL CARD	LODGING ACH PMT NO. - 80137242	334.08
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80137042	1,248.20
VWR INTERNATIONAL	OPERATING SUPPLIES ACH PMT NO. - 80137111	1,380.10
WA STATE DEPT OF REVENUE	OPERATING SUPPLIES -	108.81
WA STATE PARKS & RECREATION COMMISSION	PERMITS/OTHER FEES ACH PMT NO. - 80137250	21,492.94
WASTE MANAGEMENT OF WA DBA GRAHAM ROAD LANDFILL	UTIL GARBAGE/WASTE REMOVAL CHECK NO. - 00608302	2,304.45

TOTAL FOR 4320 - RIVERSIDE PARK RECLAMATION FAC 404,455.56

4330 - STORMWATER

ALSCO DIVISION OF ALSCO INC LAUNDRY/JANITORIAL SERVICES

	ACH PMT NO. - 80136963	553.83
AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE	
	ACH PMT NO. - 80137160	7,232.41
BOWMAN CONSULTING GROUP LTD	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80136966	475.83
DGT ENTERPRISES LLC	MEDICAL SERVICES	
DBA SPOKANE TESTING SOLUTIONS	CHECK NO. - 00608372	250.00

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

NB ENGINEERING LLC	CONTRACTUAL SERVICES	
DBA EVERGREEN STORMH2O	ACH PMT NO. - 80136983	31,471.12
NORTH SPOKANE IRRIGATION	PUBLIC UTILITY SERVICE	
DIST #8	CHECK NO. - 00608379	42.01
ROGUE HEART MEDIA SPC	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80137226	1,214.50
US BANK P CARD PAYMENTS	PERMITS/OTHER FEES	
	ACH PMT NO. - 80137243	42.00
US BANK P CARD PAYMENTS	REPAIR & MAINTENANCE SUPPLIES	
	ACH PMT NO. - 80137243	1,943.23

TOTAL FOR 4330 - STORMWATER

43,224.93

4360 - ENVIRONMENTAL PROGRAMS

US BANK TRAVEL CARD	LODGING	
	ACH PMT NO. - 80137242	334.08
US BANK TRAVEL CARD	OTHER TRANSPORTATION EXPENSES	
	ACH PMT NO. - 80137242	107.60

TOTAL FOR 4360 - ENVIRONMENTAL PROGRAMS

441.68

4480 - SOLID WASTE FUND

SPOKANE CITY TREASURER OR	DEPOSIT-SALES TAX	
WASH STATE DEPT OF REVENUE	CHECK NO. - 00608386	1,969.85

TOTAL FOR 4480 - SOLID WASTE FUND

1,969.85

4490 - SOLID WASTE DISPOSAL

ACRANET CBS BRANCH/DIV OF	BACKGROUND CHECKS	
CBS REPORTING INC	ACH PMT NO. - 80137156	67.00
ADVANCED CHEMICAL TRANSPORT	HAZARDOUS WASTE DISPOSAL	
DBA ACTENVIRO	ACH PMT NO. - 80136962	928.81
AIRGAS SPECIALTY PRODUCTS INC	CHEMICAL/LAB SUPPLIES	
	CREDIT CARD PMT NO. - 70001116	38,463.56
AVISTA UTILITIES	UTILITY NATURAL GAS	
	ACH PMT NO. - 80137117	82,555.05

BANNER FURNACE & FUEL	OPERATING SUPPLIES ACH PMT NO. - 80137056	202.74
BARR-TECH LLC	CONTRACTUAL SERVICES ACH PMT NO. - 80137118	93,709.20

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

BIG SKY INDUSTRIAL/DIV OF ROCHELLE CONSTRUCTION SERVICES	EQUIPMENT REPAIRS/MAINTENANCE CHECK NO. - 00608290	2,149.19
CENTURYLINK	TELEPHONE CHECK NO. - 00608371	79.20
CLEAN HARBORS ENVIRONMENTAL SERVICES INC	HAZARDOUS WASTE DISPOSAL CHECK NO. - 00608346	5,097.71
COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES ACH PMT NO. - 80137177	1,019.28
DELL MARKETING LP %DELL USA LP	COMPUTERS ACH PMT NO. - 80137067	740.02
DGT ENTERPRISES LLC DBA SPOKANE TESTING SOLUTIONS	MEDICAL SERVICES CHECK NO. - 00608372	160.00
EASTSIDE ELECTRIC MOTORS INTEGRATED POWER SERVICES LLC	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80137124	21,353.10
ECOICHEM ANALYTICS INC	CONTRACTUAL SERVICES ACH PMT NO. - 80137071	8,470.39
ECOICHEM ANALYTICS INC	PROFESSIONAL SERVICES ACH PMT NO. - 80137186	3,480.00
ELJAY OIL CO INC	MOTOR FUEL-OUTSIDE VENDOR CREDIT CARD PMT NO. - 70001118	1,007.44
FASTENAL CO	OPERATING SUPPLIES ACH PMT NO. - 80137073	460.26
FASTENAL CO	PERSONAL PROTECTIVE EQUIPMENT ACH PMT NO. - 80137073	2,108.28
FASTENAL CO	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137073	1,077.91
FINLEY BUTTES LIMITED PARTNERSHIP DBA FINLEY BUTTES	CONTRACTUAL SERVICES ACH PMT NO. - 80136973	172,378.65
FULCRUM ENVIRONMENTAL CONSULTING INC	MEDICAL SERVICES ACH PMT NO. - 80137127	5,980.00
HASKINS STEEL CO INC	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137080	831.64
HDR ENGINEERING INC	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80137200	14,229.99
HELFRICH BROTHERS BOILER WORKS	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80137129	26,127.95
MCCOY POWER CONSULTANTS INC	PROFESSIONAL SERVICES ACH PMT NO. - 80136979	7,800.00

NORCO INC	CHEMICAL/LAB SUPPLIES	
	CREDIT CARD PMT NO. - 70001121	328.64

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

NORCO INC	OPERATING SUPPLIES	
	CREDIT CARD PMT NO. - 70001121	413.79
OIL RE-REFINING CO INC	HAZARDOUS WASTE DISPOSAL	
	ACH PMT NO. - 80137221	300.00
PETE LIEN & SONS INC	CHEMICAL/LAB SUPPLIES	
	ACH PMT NO. - 80137097	11,558.14
SPOKANE CITY TREASURER OR WASH STATE DEPT OF REVENUE	WA DEPT OF REVENUE	
	CHECK NO. - 00608386	25,665.85
SPOKANE REGIONAL HEALTH DIST	PERMITS/OTHER FEES	
	CHECK NO. - 00608389	20,853.00
THE BABCOCK & WILCOX COMPANY	EQUIPMENT REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80137115	491.52
US BANK	BANK FEES	
TREASURY MANAGEMENT SERVICES	CHECK NO. - 00608392	265.83
US BANK P CARD PAYMENTS	HAZARDOUS WASTE DISPOSAL	
	ACH PMT NO. - 80137243	85.00
US BANK P CARD PAYMENTS	OFFICE SUPPLIES	
	ACH PMT NO. - 80137243	308.26
US BANK P CARD PAYMENTS	OPERATING SUPPLIES	
	ACH PMT NO. - 80137243	3,925.89
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP	
	ACH PMT NO. - 80137243	2,223.29
US BANK P CARD PAYMENTS	PERSONAL PROTECTIVE EQUIPMENT	
	ACH PMT NO. - 80137243	1,452.48
US BANK P CARD PAYMENTS	POSTAGE	
	ACH PMT NO. - 80137243	13.90
US BANK P CARD PAYMENTS	PRINTING/BINDING/REPRO	
	ACH PMT NO. - 80137243	263.24
US BANK P CARD PAYMENTS	REPAIR & MAINTENANCE SUPPLIES	
	ACH PMT NO. - 80137243	22,440.01
US BANK P CARD PAYMENTS	SAFETY SUPPLIES	
	ACH PMT NO. - 80137243	875.43
US BANK P CARD PAYMENTS	SMALL TOOLS	
	ACH PMT NO. - 80137243	600.73
VERIZON WIRELESS	CELL PHONE	
	ACH PMT NO. - 80137042	553.81
WA STATE DEPT OF REVENUE	OPERATING SUPPLIES	
	-	31.94
WA STATE DEPT OF REVENUE	REPAIR & MAINTENANCE SUPPLIES	
	-	103.91

PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

WASHINGTON EQUIPMENT MANUFACTURING CO INC	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80137147	12,548.63
WASHINGTON EQUIPMENT MANUFACTURING CO INC	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137112	2,314.62
WASTE MANAGEMENT OF WA DBA GRAHAM ROAD LANDFILL	CONTRACTUAL SERVICES CHECK NO. - 00608405	60,547.14
WEAR-TEK INC	EQUIPMENT REPAIRS/MAINTENANCE CHECK NO. - 00608406	1,426.00

TOTAL FOR 4490 - SOLID WASTE DISPOSAL 660,068.42

4500 - SOLID WASTE COLLECTION

AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE ACH PMT NO. - 80137160	12,776.44
AVISTA UTILITIES	UTILITY NATURAL GAS ACH PMT NO. - 80137160	8,820.10
BARR-TECH LLC	CONTRACTUAL SERVICES ACH PMT NO. - 80137161	868.00
BIG BELLY SOLAR LLC	OPERATING RENTALS/LEASES CREDIT CARD PMT NO. - 70001128	6,734.69
CASCADE ENGINEERING INC	OPERATING SUPPLIES CHECK NO. - 00608369	2,625.82
COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES ACH PMT NO. - 80137177	1,507.25
COWLES PUBLISHING COMPANY dba SPOKESMAN-REVIEW	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137065	624.00
DGT ENTERPRISES LLC DBA SPOKANE TESTING SOLUTIONS	MEDICAL SERVICES CHECK NO. - 00608372	1,200.00
LINN MACHINE & MFG	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80137089	44,991.18
PATRICK J ARNOLD	PERMITS/OTHER FEES CHECK NO. - 00608289	136.00
SPOKANE CITY TREASURER OR WASH STATE DEPT OF REVENUE	WA DEPT OF REVENUE CHECK NO. - 00608386	108,609.95
SPOKANE COUNTY TREASURER	UTIL GARBAGE/WASTE REMOVAL ACH PMT NO. - 80137232	174,580.57
SRE LLC DBA SPOKANE RESTAURANT EQUIPMENT	MINOR EQUIPMENT ACH PMT NO. - 80137036	8,519.22
US BANK P CARD PAYMENTS	MISC REPAIRS/MAINTENANCE ACH PMT NO. - 80137243	165.95

PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	363.13
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	517.24
US BANK P CARD PAYMENTS	PERIPHERAL EQUIPMENT ACH PMT NO. - 80137243	381.49
US BANK P CARD PAYMENTS	SAFETY SUPPLIES ACH PMT NO. - 80137243	42.48
US BANK P CARD PAYMENTS	SMALL TOOLS ACH PMT NO. - 80137243	15.66
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80137042	670.96

TOTAL FOR 4500 - SOLID WASTE COLLECTION	-----	374,150.13
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4530 - SOLID WASTE LANDFILLS

ANATEK LABS INC	CONTRACTUAL SERVICES CREDIT CARD PMT NO. - 70001127	8,236.00
NORCO INC	CHEMICAL/LAB SUPPLIES CREDIT CARD PMT NO. - 70001121	328.44
SPOKANE REGIONAL HEALTH DIST	PERMITS/OTHER FEES CHECK NO. - 00608388	3.17
STARPLEX CORP	ALARM/SECURITY SERVICES ACH PMT NO. - 80137037	2,019.60
US BANK P CARD PAYMENTS	CHEMICAL/LAB SUPPLIES ACH PMT NO. - 80137243	56.21
VERIZON WIRELESS	CELL PHONE ACH PMT NO. - 80137042	82.82

TOTAL FOR 4530 - SOLID WASTE LANDFILLS	-----	10,726.24
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4600 - GOLF FUND

BUDINGER & ASSOCIATES INC	OTHER IMPROVEMENTS ACH PMT NO. - 80137163	1,359.81
DGT ENTERPRISES LLC DBA SPOKANE TESTING SOLUTIONS	BACKGROUND CHECKS CHECK NO. - 00608372	110.00
US BANK TREASURY MANAGEMENT SERVICES	BANK FEES CHECK NO. - 00608392	527.12
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	19.02-

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	1,623.27
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US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	303.85
US BANK P CARD PAYMENTS	REPAIRS/MAINTENANCE ACH PMT NO. - 80137243	960.43
WA STATE DEPT OF REVENUE	REPAIRS/MAINTENANCE -	35.36

TOTAL FOR 4600 - GOLF FUND	-----	4,900.82
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4700 - DEVELOPMENT SVCS CENTER

BENJAMIN LEIGHTON	PARKING/TOLLS (LOCAL) CHECK NO. - 00608378	29.97
COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES ACH PMT NO. - 80137177	437.66
DEVRIES INFORMATION MANAGEMENT	MISC SERVICES/CHARGES ACH PMT NO. - 80137068	27.69
DUANE A LEOPARD	LOCAL MILEAGE ACH PMT NO. - 80137212	248.57
FINANCIAL CONSULTING SOLUTIONS GROUP INC DBA FCS GROUP	PROFESSIONAL SERVICES ACH PMT NO. - 80137125	4,190.00
GRANICUS LLC	CONTRACTUAL SERVICES ACH PMT NO. - 80137195	25,561.41
KIMBERLY WHITE	REGISTRATION/SCHOOLING ACH PMT NO. - 80137263	305.00
US BANK TREASURY MANAGEMENT SERVICES	BANK FEES CHECK NO. - 00608392	197.47
US BANK P CARD PAYMENTS	BANK FEES ACH PMT NO. - 80137243	287.15
US BANK P CARD PAYMENTS	MINOR EQUIPMENT ACH PMT NO. - 80137243	10.79
US BANK P CARD PAYMENTS	NON-TRAVEL MEALS/LGHT RFRSHMT ACH PMT NO. - 80137243	113.34
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	737.69
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	559.82
US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	325.97

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK P CARD PAYMENTS	PARKING/TOLLS (LOCAL) ACH PMT NO. - 80137243	276.85
US BANK P CARD PAYMENTS	PUBLICATIONS ACH PMT NO. - 80137243	490.80
US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING	

	ACH PMT NO. - 80137243	1,736.60
VERIZON WIRELESS	CELL PHONE	
	ACH PMT NO. - 80137042	1,371.11
VERIZON WIRELESS	IT/DATA SERVICES	
	ACH PMT NO. - 80137042	920.23
TOTAL FOR 4700 - DEVELOPMENT SVCS CENTER		37,828.12
5100 - FLEET SERVICES FUND		
AVISTA UTILITIES	COMPRESSED NATURAL GAS FUEL	
	ACH PMT NO. - 80137160	62,289.06
AVISTA UTILITIES	UTILITY LIGHT/POWER SERVICE	
	ACH PMT NO. - 80137160	9,738.96
AVISTA UTILITIES	UTILITY NATURAL GAS	
	ACH PMT NO. - 80137160	659.61
CINTAS CORPORATION	LAUNDRY/JANITORIAL SERVICES	
	CREDIT CARD PMT NO. - 70001129	1,318.21
CLEAN ENERGY INC	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80137173	18,097.05
COLEMAN OIL COMPANY LLC	MOTOR FUEL-OUTSIDE VENDOR	
	ACH PMT NO. - 80137175	34,211.95
CONNELL OIL INC	LUBRICANTS	
DBA CO-ENERGY	ACH PMT NO. - 80137062	169.75
COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES	
	ACH PMT NO. - 80137177	650.87
DGT ENTERPRISES LLC	MEDICAL SERVICES	
DBA SPOKANE TESTING SOLUTIONS	CHECK NO. - 00608372	110.00
FLEETCOR TECHNOLOGIES INC	MOTOR FUEL-OUTSIDE VENDOR	
DBA FUELMAN	ACH PMT NO. - 80137191	23,639.17
HOME DEPOT USA INC	OFFICE SUPPLIES	
HOME DEPOT PRO	ACH PMT NO. - 80137199	318.69
JHAB3 CO	EQUIPMENT REPAIRS/MAINTENANCE	
DBA MEINEKE CAR CARE CENTER	CHECK NO. - 00608298	2,344.59
NORCO INC	OPERATING RENTALS/LEASES	
	CREDIT CARD PMT NO. - 70001121	157.22
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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:		
OWEN EQUIPMENT CO	EQUIPMENT REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80137096	1,010.24
POMP'S TIRE SERVICE INC	EQUIPMENT REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80137224	392.40
POMP'S TIRE SERVICE INC	VEHICLE REPAIR & MAINT SUPPLY	
	ACH PMT NO. - 80137098	24,890.56
US BANK P CARD PAYMENTS	OFFICE SUPPLIES	
	ACH PMT NO. - 80137243	56.69

US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	199.99
US BANK P CARD PAYMENTS	PERMITS/OTHER FEES ACH PMT NO. - 80137243	304.00
US BANK P CARD PAYMENTS	PROFESSIONAL SERVICES ACH PMT NO. - 80137243	299.75
US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING ACH PMT NO. - 80137243	339.00
US BANK TRAVEL CARD	OTHER TRANSPORTATION EXPENSES ACH PMT NO. - 80137242	34.40
WESTSIDE MOTORSPORTS	EQUIPMENT REPAIRS/MAINTENANCE ACH PMT NO. - 80137113	1,577.36
TOTAL FOR 5100 - FLEET SERVICES FUND		182,809.52

5200 - PUBLIC WORKS AND UTILITIES

COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES ACH PMT NO. - 80137177	83.59
DEVRIES INFORMATION MANAGEMENT	CONTRACTUAL SERVICES ACH PMT NO. - 80137184	311.85
NATIONAL COLOR GRAPHICS INC	PRINTING/BINDING/REPRO CREDIT CARD PMT NO. - 70001113	4,981.30
SHI CORP	HARDWARE MAINTENANCE ACH PMT NO. - 80137229	10,878.91
SHI CORP	SOFTWARE (NONCAPITALIZED) ACH PMT NO. - 80137229	33,616.91
SPOKANE CITY TREASURER OR WASH STATE DEPT OF REVENUE	WA DEPT OF REVENUE CHECK NO. - 00608386	1,548.96
US BANK TREASURY MANAGEMENT SERVICES	BANK FEES CHECK NO. - 00608392	21,646.46
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	822.01

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP ACH PMT NO. - 80137243	109.95
US BANK P CARD PAYMENTS	PERIPHERAL EQUIPMENT ACH PMT NO. - 80137243	274.87
WA STATE DEPT OF REVENUE	OTH DUES/SUBSCRIPTNS/MEMBERSHP -	9.90
TOTAL FOR 5200 - PUBLIC WORKS AND UTILITIES		74,284.71

5300 - IT FUND

1ST CLASS OFFICE SOLUTIONS LLC	OPERATING SUPPLIES ACH PMT NO. - 80137154	1,404.93
CAMTEK INC	ALARM/SECURITY SERVICES ACH PMT NO. - 80137165	6,485.50
CENTURYLINK	TELEPHONE CHECK NO. - 00608345	153.38
COMCAST	IT/DATA SERVICES CHECK NO. - 00608292	363.40
DEVRIES INFORMATION MANAGEMENT	CONTRACTUAL SERVICES ACH PMT NO. - 80137184	18.46
GRANICUS LLC	SUBSCRIPTION BASED IT ARNGMTS ACH PMT NO. - 80137195	51,604.31
NORTHWEST OPEN ACCESS NETWORK	TELEPHONE ACH PMT NO. - 80137219	3,600.00
QUADIENT FINANCE USA INC	CONTRACTUAL SERVICES CHECK NO. - 00608383	132.81
QUADIENT FINANCE USA INC	PREPAID POSTAGE CHECK NO. - 00608383	35,000.00
SHI CORP	SOFTWARE MAINTENANCE ACH PMT NO. - 80137229	10,388.80
SHI CORP	SUBSCRIPTION BASED IT ARNGMTS ACH PMT NO. - 80137138	28,755.29
US BANK P CARD PAYMENTS	MINOR EQUIPMENT ACH PMT NO. - 80137243	3,401.10
US BANK P CARD PAYMENTS	MISC SERVICES/CHARGES ACH PMT NO. - 80137243	13.45
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	104.39
US BANK P CARD PAYMENTS	OPERATING SUPPLIES ACH PMT NO. - 80137243	99.99

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

US BANK P CARD PAYMENTS	REGISTRATION/SCHOOLING ACH PMT NO. - 80137243	6,637.05
US BANK P CARD PAYMENTS	SOFTWARE (NONCAPITALIZED) ACH PMT NO. - 80137243	667.21
US BANK TRAVEL CARD	AIRFARE ACH PMT NO. - 80137242	352.17
US BANK TRAVEL CARD	LODGING ACH PMT NO. - 80137242	388.00
US POSTMASTER	PREPAID POSTAGE CHECK NO. - 00608351	100,000.00
WA STATE DEPT OF REVENUE	MINOR EQUIPMENT -	79.92

TOTAL FOR 5300 - IT FUND

249,650.16

5310 - IT CAPITAL REPLACEMENT FUND

DELL MARKETING LP	COMPUTERS	
%DELL USA LP	ACH PMT NO. - 80137067	19,236.98

TOTAL FOR 5310 - IT CAPITAL REPLACEMENT FUND

19,236.98

5400 - REPROGRAPHICS FUND

US BANK P CARD PAYMENTS	OPERATING SUPPLIES	
	ACH PMT NO. - 80137243	750.51

US BANK P CARD PAYMENTS	SOFTWARE MAINTENANCE	
	ACH PMT NO. - 80137243	228.90

TOTAL FOR 5400 - REPROGRAPHICS FUND

979.41

5500 - PURCHASING & STORES FUND

DELL MARKETING LP	COMPUTERS	
%DELL USA LP	ACH PMT NO. - 80137067	905.18

US BANK P CARD PAYMENTS	OTH DUES/SUBSCRIPTNS/MEMBERSHP	
	ACH PMT NO. - 80137243	190.00

VERIZON WIRELESS	CELL PHONE	
	ACH PMT NO. - 80136995	85.62

TOTAL FOR 5500 - PURCHASING & STORES FUND

1,180.80

5600 - ACCOUNTING SERVICES

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

ACRANET CBS BRANCH/DIV OF	BACKGROUND CHECKS	
CBS REPORTING INC	ACH PMT NO. - 80137156	33.50

SHI CORP	SOFTWARE (NONCAPITALIZED)	
	ACH PMT NO. - 80137229	353.26

US BANK P CARD PAYMENTS	OFFICE SUPPLIES	
	ACH PMT NO. - 80137243	167.42

TOTAL FOR 5600 - ACCOUNTING SERVICES

554.18

5700 - MY SPOKANE

US BANK P CARD PAYMENTS	MINOR EQUIPMENT	
	ACH PMT NO. - 80137243	943.35

US BANK P CARD PAYMENTS	OFFICE SUPPLIES	
	ACH PMT NO. - 80137243	113.42

US BANK P CARD PAYMENTS	PRINTING/BINDING/REPRO	
	ACH PMT NO. - 80137243	43.12

WA STATE DEPT OF REVENUE	OFFICE SUPPLIES	2.80
	-	

TOTAL FOR 5700 - MY SPOKANE	1,102.69
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5750 - OFFICE OF PERFORMANCE MGMT

INFINITE INNOVATIONS LLC	CONTRACTUAL SERVICES	
	ACH PMT NO. - 80137202	18,690.30
SHI CORP	SOFTWARE (NONCAPITALIZED)	
	ACH PMT NO. - 80137229	4,304.87

TOTAL FOR 5750 - OFFICE OF PERFORMANCE MGMT	22,995.17
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5800 - RISK MANAGEMENT FUND

US BANK	BANK FEES	
TREASURY MANAGEMENT SERVICES	CHECK NO. - 00608392	214.44
US BANK	EARNINGS CREDIT	
TREASURY MANAGEMENT SERVICES	CHECK NO. - 00608392	214.44-

TOTAL FOR 5800 - RISK MANAGEMENT FUND	0.00
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5810 - WORKERS' COMPENSATION FUND

COPIERS NORTHWEST INC	OPERATING RENTALS/LEASES	
	ACH PMT NO. - 80137177	241.16

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

TOTAL FOR 5810 - WORKERS' COMPENSATION FUND	241.16
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5820 - UNEMPLOYMENT COMPENSATION FUND

WA STATE EMPLOYMENT SECURITY	DEPOSIT LONG TERM CARE TAX	
WA CARES FUND	CHECK NO. - 00608403	271,310.71
WA STATE EMPLOYMENT SECURITY	DEPOSIT-PD FAMILY MEDICAL LEAV	
PAID FAMILY MEDICAL LEAVE	CHECK NO. - 00608402	417,351.64

TOTAL FOR 5820 - UNEMPLOYMENT COMPENSATION FUND	688,662.35
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5830 - EMPLOYEES BENEFITS FUND

DELTA DENTAL OF WASHINGTON	INSURANCE CLAIMS	
	ACH PMT NO. - 80137181	46,724.26
KAISER FOUNDATION HEALTH PLAN	INSURANCE CLAIMS	
OF WASHINGTON	ACH PMT NO. - 80137208	109,543.43
LIFEWISE ASSURANCE CO	INSURANCE PREMIUMS	
	ACH PMT NO. - 80137088	32,571.10

PREMERA BLUE CROSS OR SPOKANE CITY TREASURER	INSURANCE CLAIMS ACH PMT NO. - 80137099	796,797.95
REHN & ASSOCIATES	CONTRACTUAL SERVICES ACH PMT NO. - 80137029	1,232.00
RR DONNELLEY AND SONS COMPANY DBA RR DONNELLEY	OPERATING SUPPLIES ACH PMT NO. - 80136989	745.56

TOTAL FOR 5830 - EMPLOYEES BENEFITS FUND	-----	987,614.30
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5900 - FACILITIES MANAGEMENT FUND OPS

AVISTA CORPORATION	UTILITY LIGHT/POWER SERVICE ACH PMT NO. - 80136964	16,464.50
AVISTA CORPORATION	UTILITY NATURAL GAS ACH PMT NO. - 80136964	350.29
BUREAU VERITAS TECHNICAL ASSESSMENTS LLC	CONTRACTUAL SERVICES ACH PMT NO. - 80137164	885.50
DELL MARKETING LP %DELL USA LP	OPERATING SUPPLIES ACH PMT NO. - 80137067	2,249.89
FELTON FIRE SERVICE LLC	BUILDING REPAIRS/MAINTENANCE ACH PMT NO. - 80137189	154.78
FISHER CONSTRUCTION GROUP INC	BUILDING REPAIRS/MAINTENANCE ACH PMT NO. - 80137076	463.25

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

HSI WORKPLACE COMPLIANCE SOLUTIONS INC	REGISTRATION/SCHOOLING CHECK NO. - 00608374	6,486.86
NIKKI HANSHAW	LOCAL MILEAGE ACH PMT NO. - 80137259	60.97
ORKIN	BUILDING REPAIRS/MAINTENANCE CHECK NO. - 00608381	511.19
RIVER CITY GLASS INC	BUILDING REPAIRS/MAINTENANCE ACH PMT NO. - 80137225	2,530.22
STONEWAY ELECTRIC SUPPLY	REPAIR & MAINTENANCE SUPPLIES ACH PMT NO. - 80137240	9,578.38
US BANK P CARD PAYMENTS	BUILDING REPAIRS/MAINTENANCE ACH PMT NO. - 80137243	286.01
US BANK P CARD PAYMENTS	CLOTHING ACH PMT NO. - 80137243	86.63-
US BANK P CARD PAYMENTS	MINOR EQUIPMENT ACH PMT NO. - 80137243	2,305.69
US BANK P CARD PAYMENTS	MISC SERVICES/CHARGES ACH PMT NO. - 80137243	137.73
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	45.52
US BANK P CARD PAYMENTS	OPERATING RENTALS/LEASES	

	ACH PMT NO. - 80137243	821.88
US BANK P CARD PAYMENTS	OPERATING SUPPLIES	
	ACH PMT NO. - 80137243	489.23
US BANK P CARD PAYMENTS	PERMITS/OTHER FEES	
	ACH PMT NO. - 80137243	471.05
US BANK P CARD PAYMENTS	PRINTING/BINDING/REPRO	
	ACH PMT NO. - 80137243	19.35
US BANK P CARD PAYMENTS	REPAIR & MAINTENANCE SUPPLIES	
	ACH PMT NO. - 80137243	10,866.31
US BANK P CARD PAYMENTS	SOFTWARE (NONCAPITALIZED)	
	ACH PMT NO. - 80137243	12.81
W B SPRAGUE COMPANY INC DBA SPRAGUE PEST SOLUTIONS	BUILDING REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80137236	148.19
WA STATE DEPT OF REVENUE	BUILDING REPAIRS/MAINTENANCE	
	-	49.50
WESTCOAST WINDOW CLEANING INC	BUILDING REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80137148	550.00
YOY INC DBA VERDIS	BUILDING REPAIRS/MAINTENANCE	
	ACH PMT NO. - 80137245	1,828.75

HONORABLE MAYOR
AND COUNCIL MEMBERS

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

TOTAL FOR 5900 - FACILITIES MANAGEMENT FUND OPS		57,681.22
5902 - PROPERTY ACQUISITION POLICE		

AARDVARK	PROTECTIVE GEAR/CLOTHING	
	ACH PMT NO. - 80136961	94,445.50
US BANK P CARD PAYMENTS	PERSONAL PROTECTIVE EQUIPMENT	
	ACH PMT NO. - 80137243	3,170.29
TOTAL FOR 5902 - PROPERTY ACQUISITION POLICE		97,615.79

5903 - PROPERTY ACQUISITION FIRE		

GORDON TRUCK CENTERS INC DBA PACIFIC TRUCK CENTERS	VEHICLES	
	CREDIT CARD PMT NO. - 70001120	1,569.60-
US BANK P CARD PAYMENTS	MINOR EQUIPMENT	
	ACH PMT NO. - 80137243	1,898.30
WA STATE DEPT OF REVENUE	MINOR EQUIPMENT	
	-	170.85
TOTAL FOR 5903 - PROPERTY ACQUISITION FIRE		499.55

5904 - FACILITIES CAPITAL		

INTEGRUS ARCHITECTURE	PROFESSIONAL SERVICES	
	ACH PMT NO. - 80137205	10,500.00

TOTAL FOR 5904 - FACILITIES CAPITAL		----- 10,500.00
6100 - RETIREMENT		

SPOKANE ENVELOPE LLC DBA ALLIED ENVELOPE	PRINTING/BINDING/REPRO ACH PMT NO. - 80137157	377.93
US BANK P CARD PAYMENTS	OFFICE SUPPLIES ACH PMT NO. - 80137243	108.99
TOTAL FOR 6100 - RETIREMENT		----- 486.92
6200 - FIREFIGHTERS' PENSION FUND		

DELTA DENTAL OF WASHINGTON	SERVICE REIMBURSEMENT ACH PMT NO. - 80137181	4,372.00
FRED L LEAF	SERVICE REIMBURSEMENT CHECK NO. - 00608348	190.00
HONORABLE MAYOR AND COUNCIL MEMBERS		01/21/25 PAGE 47
PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:		
LIFEWISE ASSURANCE CO	INSURANCE ADMINISTRATION ACH PMT NO. - 80137088	3,605.14
LLOYD C WOLESAGLE JR	SERVICE REIMBURSEMENT CHECK NO. - 00608353	93.45
PREMERA BLUE CROSS OR SPOKANE CITY TREASURER	SERVICE REIMBURSEMENT ACH PMT NO. - 80137099	49,782.91
SPOKANE ENVELOPE LLC DBA ALLIED ENVELOPE	PRINTING/BINDING/REPRO ACH PMT NO. - 80137051	67.47
TOTAL FOR 6200 - FIREFIGHTERS' PENSION FUND		----- 58,110.97
6230 - BUILDING CODE RECORDS MGMT		

WA STATE TREASURER	CONTRACTUAL SERVICES CHECK NO. - 00608404	3,300.50
TOTAL FOR 6230 - BUILDING CODE RECORDS MGMT		----- 3,300.50
6250 - MUNICIPAL COURT		

WA STATE TREASURER	CONTRACTUAL SERVICES CHECK NO. - 00608404	78,866.62
TOTAL FOR 6250 - MUNICIPAL COURT		----- 78,866.62
6255 - LAW ENFORCEMENT RECORDS MGMT		

SPOKANE COUNTY TREASURER	DEPOSIT-COUNTY ACH PMT NO. - 80137033	431.50

WA STATE DEPT OF LICENSING

DEPOSIT-POLICE GUN PERMITS
CHECK NO. - 00608398

38,667.00

TOTAL FOR 6255 - LAW ENFORCEMENT RECORDS MGMT

39,098.50

6300 - POLICE PENSION

DELTA DENTAL OF WASHINGTON	SERVICE REIMBURSEMENT ACH PMT NO. - 80137181	1,041.00
JAMES VEITENHEIMER	SERVICE REIMBURSEMENT ACH PMT NO. - 80137153	52.83
LIFEWISE ASSURANCE CO	INSURANCE ADMINISTRATION ACH PMT NO. - 80137088	2,738.97
PREMERA BLUE CROSS OR SPOKANE CITY TREASURER	SERVICE REIMBURSEMENT ACH PMT NO. - 80137099	47,752.65

HONORABLE MAYOR
AND COUNCIL MEMBERS

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PROCESSING OF VOUCHERS RESULTS IN CLAIMS AS FOLLOWS:

ROSAUERS PHARMACY	SERVICE REIMBURSEMENT CHECK NO. - 00608349	459.07
SPOKANE ENVELOPE LLC DBA ALLIED ENVELOPE	PRINTING/BINDING/REPRO ACH PMT NO. - 80137051	67.47
STAN C MCGHEE	SERVICE REIMBURSEMENT ACH PMT NO. - 80137152	705.00

TOTAL FOR 6300 - POLICE PENSION

52,816.99

6920 - CLAIMS CLEARING FUND

SHANNON YOUNG 811 S REES LN	ACCOUNTS PAYABLE CHECK NO. - 00608297	250.00
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TOTAL FOR 6920 - CLAIMS CLEARING FUND

250.00

TOTAL CLAIMS

7,342,382.31

**Agenda Sheet for City Council:****Committee:** **Date:** N/A**Committee Agenda type:****Council Meeting Date:** 01/27/2025**Date Rec'd**

1/22/2025

Clerk's File #

CPR 2025-0003

Cross Ref #**Project #****Submitting Dept**

ACCOUNTING & GRANTS

Bid #**Contact Name/Phone**

CHRISTI BAIRD 6034

Requisition #**Contact E-Mail**

CBAIRD@SPOKANECITY.ORG

Agenda Item Type

Claim Item

Council Sponsor(s)**Sponsoring at Administrators Request**

NO

Lease? NO**Grant Related?** NO**Public Works?** NO**Agenda Item Name**

5600-ACCOUNTING-PAYROLL THRU 1-18-2025

Agenda Wording

Report of the Mayor of pending payroll claims of previously approved obligations through: January 18, 2025.
Payroll check #575506 through check #575618 \$9,269,612.23

Summary (Background)

N/A

What impacts would the proposal have on historically excluded communities?

How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?

Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

Council Subcommittee Review

Fiscal Impact			
Approved in Current Year Budget?			
Total Cost	\$		
Current Year Cost	\$		
Subsequent Year(s) Cost	\$		
<u>Narrative</u>			
Amount		Budget Account	
Expense	\$ 9,269,612.23	#	Various
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Funding Source			
Funding Source Type Select			
Is this funding source sustainable for future years, months, etc?			
Expense Occurrence			
Other budget impacts (revenue generating, match requirements, etc.)			
Approvals		Additional Approvals	
<u>Dept Head</u>	BAIRD, CHRISTI		
<u>Division Director</u>			
<u>Accounting Manager</u>			
<u>Legal</u>			
<u>For the Mayor</u>			
Distribution List			

PAYROLL RECAP BY FUND
PAY PERIOD ENDING JANUARY 18, 2025

FUND	FUND NAME	TOTAL
0100	GENERAL FUND	
0030	POLICE OMBUDSMAN	13,839.45
0230	CIVIL SERVICE	47,852.80
0260	CITY CLERK	25,053.62
0320	COUNCIL	63,886.00
0330	PUBLIC AFFAIRS / COMMUNICATIONS	35,522.12
0370	ENGINEERING SERVICES	194,496.17
0410	FINANCE	44,901.41
0450	CD/HS DIVISION	10,540.80
0470	HISTORIC PRESERVATION	8,352.00
0480	OFFICE OF CIVIL RIGHTS,EQUITY, & INCLUSION	5,009.60
0500	LEGAL	148,546.12
0520	MAYOR	40,332.40
0550	NEIGHBORHOOD SERVICES	14,396.80
05601	MUNICIPAL COURT	145,664.30
0570	OFFICE OF HEARING EXAMINER	7,408.00
0620	HUMAN RESOURCES	42,368.68
0650	PLANNING SERVICES	65,171.17
0680	POLICE	2,295,088.09
0690	PROBATION SERVICES	75,947.61
0700	PUBLIC DEFENDERS	102,590.36
0750	ECONOMIC DEVELOPMENT	9,937.60
0860	TREASURER	0.00
	TOTAL GENERAL FUND	3,396,905.10

FUND	FUND NAME	TOTAL
1100	STREET	290,720.41
1200	CODE ENFORCEMENT	74,890.38
1300	LIBRARY	276,870.54
1380	TRAFFIC CALMING MEASURES	3,400.80
1390	URBAN FORESTRY	2,787.20
1400	PARKS AND RECREATION	359,714.58
1425	AMERICAN RESCUE PLAN	0.00
1460	PARKING METER	35,610.92
1620	PUBLIC SAFETY & JUDICIAL GRANT	10,797.57
1625	PUBLIC SAFETY PERSONNEL	0.00
1680	CD/HS	79,905.05
1910	CRIMINAL JUSTICE ASSISTANCES	0.00
1970	EMS FUND	1,838,358.68
4100	WATER	531,567.50
4250	INTEGRATED CAPITAL FUND	75,291.68
4300	SEWER	692,845.80
4480	REFUSE	653,687.45
4600	GOLF	41,249.12
4700	GENERAL SERVICES FUND	212,618.34
5100	FLEET SERVICE	134,237.72
5200	PUBLIC WORKS & UTILITY FUND	61,816.96
5300	MIS	188,306.35
5400	REPROGRAPHICS	2,689.60
5500	PURCHASING	32,191.20
5600	ACCOUNTING SERVICES	119,923.07
5700	MY SPOKANE	40,392.80
5750	PROJECT MANAGEMENT OFFICE	28,878.40
5800	RISK MANAGEMENT	13,429.68
5810	WORKER'S COMPENSATION	7,347.20
5830	SELF-FUNDED MEDICAL/DENTAL	8,589.46
5900	ASSET MANAGEMENT	43,910.27
6060	CITY RETIREMENT	10,678.40
	TOTAL	9,269,612.23

MINUTES OF SPOKANE CITY COUNCIL

Monday, January 6, 2025

AGENDA REVIEW SESSION

The Agenda Review Session of the Spokane City Council held on the above date was called to order at 3:34 p.m. in the Council Chambers in the Lower Level of the Municipal Building, 808 West Spokane Falls Boulevard, Spokane, Washington. A recording of the meeting can be found at the following link: <https://vimeo.com/spokanecitycouncil>.

Roll Call

On roll call, Council President Wilkerson and Council Members Bingle, Cathcart, Dillon, Klitzke, Navarrete, and Zappone were present.

Deputy City Administrator Maggie Yates (in absence of City Administrator Alex Scott); Giacobbe Byrd, Director-City Council Office; City Council Policy Advisor Chris Wright; and City Clerk Terri Pfister were also present for the meeting.

There were no **Interviews of Nominees to Boards and Commissions**.

Council or Staff Reports of Matters of Interest

2025 City Council Rules of Procedure

City Council Policy Advisor Chris Wright, along with Council Director Giacobbe Byrd, provided an overview of the 2025 City Council Rules of Procedure.

Final Agenda Review

The City Council reviewed the January 6, 2025, Final Agenda and held discussion, with staff input and commentary, on selected items on the agenda.

Historic Preservation Interlocal Agreement with Spokane County (OPR 2024-1005) (Deferred from November 25, 2024, Agenda, during the November 18, 2024, 3:30 p.m. Briefing Session) (Council Sponsors: Council Members Bingle, Zappone, and Klitzke)

Motion by Council Member Zappone, seconded by Council Member Bingle, **to adopt** the Wilkerson Proposed Amendment to Consent Agenda Item No. 1 (OPR 2024-1005—Historic Preservation Interlocal Agreement with Spokane County) filed December 18, 2024; **carried 7-0**.

Action to Approve January 6, 2025, Final Agenda

Following staff reports and Council inquiry and discussion regarding the January 6, 2025, Final Agenda items, the City Council took the following action (pursuant to Council Rule 2.1.B):

Motion by Council Member Dillon, seconded by Council Member Klitzke, **to approve** the January 6, 2025, Final Agenda, as modified; **carried 7-0.**

Updated Draft Agenda Review

The City Council reviewed the January 13, 2025, Updated Draft Agenda and held discussion, with staff input and commentary, on selected items.

First Reading Ordinance C36629 (Council Sponsors: Council Members Bingle, Zappone, and Klitzke)

Motion by Council Member Dillon, seconded by Council Member Klitzke, **to adopt** the Wilkerson Proposed Amendment to First Reading Ordinance C36629—Relating to Building Opportunity for Housing (BOH) follow up code fixes making changes to the Unified Development Code that are intended to fix errors, clarify, and create more flexibility within the Spokane Municipal Code—filed January 3, 2025; **carried 6-1.**

First Reading Ordinance C36631 (Council Sponsor: Council Member Zappone)

Motion by Council Member Zappone, seconded by Council Member Klitzke, **to withdraw** First Reading Ordinance C36631 relating to the Asset Forfeiture Program audit process; **carried 7-0.**

Action to Approve January 13, 2025, Updated Draft Agenda

Following staff reports and Council inquiry and discussion regarding the January 13, 2025, Updated Draft Agenda items, the City Council took the following action (pursuant to Council Rule 2.1.B):

Motion by Council Member Dillon, seconded by Council Member Klitzke, **to approve** the January 13, 2025, Updated Draft Agenda, as modified; **carried 7-0.**

Draft Agenda Review

There was no Draft Agenda review, as the January 20, 2025, City Council Meeting was canceled.

Council Recess/Executive Session

The City Council recessed at 4:17 p.m. No Executive Session was held. The City Council reconvened at 6:03 p.m. for the Legislative Session.

LEGISLATIVE SESSION

Land Acknowledgement

Council President Wilkerson started the meeting off by reading the “Land Acknowledgement” (adopted by City Council on March 22, 2021, under Resolution 2021-0019) which appears on page 2 of the agenda.

Pledge of Allegiance

The Pledge of Allegiance was led by Council President Wilkerson.

Roll Call

On roll call, Council President Wilkerson and Council Members Bingle, Cathcart, Dillon, Klitzke, Navarrete, and Zappone were present.

Giacobbe Byrd, Director-City Council Office; City Council Policy Advisor Chris Wright; and City Clerk Terri Pfister were also present for the meeting.

Poetry at the Podium

Kaley Knutzen providing a reading of the poem “Banana Bread.”

MAYORAL PROCLAMATIONS

January 2025 *Haitian Independence Month in Spokane*

Mayor Brown read the proclamation, which was followed by a song performance of the Haitian National Anthem and remarks by Katia Jasmin, founder of the Creole Resources, who accepted the proclamation.

The proclamation is attached to these minutes for reference.

MOMENT OF COUNCIL PRESIDENT PRIVILEGE

On behalf of City Council members, Council President Wilkerson recognized Council Member Cathcart for his five years of service with the city. Council Member Cathcart also took the opportunity to recognize his legislative assistant Shae Blackwell for her five years of service with the city.

There were no **Reports from Community Organizations**.

BOARD AND COMMISSION APPOINTMENTS

Appointments to Ethics Commission (CPR 2006-0042) and Spokane Airport Board (CPR 1982-0071) and Reappointments to Tourism & Cultural Investment Committee (CPR 2000-0031) and Human Rights Commission (CPR 1991-0068)

After an opportunity for public testimony, with none provided, and Council commentary, the following action was taken:

Motion by Council Member Dillon, seconded by Council Member Klitzke, **to approve** the following appointments and reappointments; **carried 7-0**:

- Appointment of Patrick Harder to the Ethics Commission for a three-year term, from January 6, 2025, to January 6, 2028.
- Appointment of Andy Billig to the Spokane Airport Board for a three-year term, from January 6, 2025, to January 6, 2028.
- Reappointments of Cami Aguayo, Jon Erickson, Ginger Ewing, Matt Jensen, Rose Noble, and Rowena Pineda to the Tourism and Cultural Investment Committee for one-year terms, from January 1, 2025, to December 31, 2025.
- Reappointments of Alex Knox and Brennan Schreiber to the Spokane Human Rights Commission for three-year terms, from January 6, 2025, to January 6, 2028.

CONSENT AGENDA

Public testimony was received on Consent Agenda items and Council discussion held. The following actions were taken:

Check No. 80136286 to Lawrence B. Stone Properties for \$221,515.92 (Claims through December 13, 2024 – CPR 2024-0002)

Motion by Council Member Cathcart, seconded by Council Member Bingle, **to suspend** Council Rules for purpose of making an oral amendment to Consent Agenda Item No. 13.a.—Report of the Mayor of pending claims and payments of previously approved obligations, including those of Parks and Library, through December 13, 2024; **carried 6-1**.

Motion by Council Member Cathcart, seconded by Council Member Bingle, **to withhold** Check No. 80136086, ACH payment to Lawrence B. Stone Properties in the amount of \$211,515.92, from Consent Agenda Item No. 13.a. (Report of the Mayor of pending claims and payments of previously approved obligations through December 13, 2024) until Council has been briefed on the decision making (with the understanding that Administration can add the item to next week's agenda); **carried 6-1**.

Upon 5-2 Voice Vote, the City Council **approved** Personal Service Agreement with Consistent Care Services, SPC, PS (Spokane) for Hot Spotters community care coordination relating to opioid use from November 1, 2024, to October 31, 2025—\$375,000. (Taken separately) (OPR 2025-0008 / RFP 6233-24) (Council Sponsors: Council President Wilkerson and Council Members Zappone and Klitzke)

Upon 7-0 Voice Vote, the City Council **approved** Staff Recommendations for the following items:

Historic Preservation Interlocal Agreement with Spokane County from January 1, 2025, through December 31, 2026—Annual Revenue Amounts: \$45,000 for 2025 and \$45,000 for 2026. (OPR 2024-1005) (As amended during the 3:30 p.m. Agenda Review Session) (Deferred from November 25, 2024, Agenda, during the November 18, 2024, 3:30 p.m. Briefing Session) (Council Sponsors: Council Members Bingle, Zappone, and Klitzke)

Contract Amendment No. 1 for Outside Counsel services with Bryan Cave Leighton Paisner, LLP, (Saint Louis, MO) for Legal Services in the matter of Currie, et al., v. City of Spokane—\$50,000. Total Contract Amount: \$100,000. (OPR 2024-0835) (Deferred from December 9, 2024, Agenda, during the December 2, 2024, 3:30 p.m. Briefing Session) (Council Sponsors: Council Members Bingle and Cathcart)

Contract Amendment with Integrated Power Services, LLC. dba Eastside Electric Motors, LLC, (Spokane Valley, WA) for off-site motor repairs for the Waste to Energy Facility from January 1, 2024, to December 31, 2024—additional \$16,000. Annual total: \$48,000. (OPR 2019-0995 / IRFP 5086-19) (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

Contract with BrandSafway Services, LLC, (Pasco, WA) for insulation services at the Waste to Energy Facility from February 1, 2025, to January 31, 2026—not to exceed \$200,000 (plus tax). (OPR 2025-0003 / ITB 6083-24) (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

Five-year Contract with Helfrich Brothers Boiler Works, Inc. (Lawrence, MA) for refractory and sandblasting services at the Waste to Energy Facility from February 1, 2025, to January 31, 2030—not to exceed \$7,100,000 (plus tax) (\$1,400,000 annually). (OPR 2025-0004 / ITB 6101-24) (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

Two-year Contract with Helfrich Brothers Boiler Works, Inc. (Lawrence, MA) for boilermaker services at the Waste to Energy Facility from November 15, 2024, to November 14, 2026—not to exceed \$5,024,000 (plus tax). (OPR 2025-0005 / PW ITB 6143-24) (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

Five-year Contract with American Recycling Corp. (Spokane Valley, WA) for the sale of the Waste to Energy Facility's metals ash and scrap metal from January 1, 2025, to December 31, 2029—\$500,000 anticipated revenue (\$100,000 annually). (OPR 2025-0006 / RFP 6255-24) (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

Contract Amendment with McMillen, Inc. (Boise, ID) for construction management and engineering support service for the Upriver Dam improvement project from November 1, 2024, to December 31, 2025—additional \$98,998 (plus tax). (OPR 2023-0884) (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

On-call Master Agreement with Majestic View (Spirit Lake, ID) for wildland fuels reduction for the Spokane Fire Department from October 1, 2024, through December 1, 2026, utilizing Community Wildfire Defense Grant funds—\$200,000 (plus tax). (OPR 2025-0007 / RFP 6161-24) (Council Sponsors: Council Members Dillon, Cathcart, and Navarrete)

Low Bid of Liberty Concrete, LLC (Coeur d'Alene, ID) for Stevens Elementary Area Pedestrian Improvements project—\$911,808 (plus tax). An administrative reserve of \$91,180 (plus tax), which is 10% of the contract price, will be set aside. (Chief Garry Park Neighborhood) (OPR 2025-0009 / ENG 2023110) (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

Amendment No. 8 to City and County Wastewater Management Agreement regarding Marion Hay Pump Station and North Spokane Flows. (OPR 1981-1053) (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

Report of the Mayor of pending:

- a. Claims and payments of previously approved obligations, including those of Parks and Library, through December 13, 2024, total \$10,082,496.94, with Parks and Library claims approved by their respective boards. Warrants excluding Parks and Library total \$9,674,772.91. (CPR 2024-0002) (Except for Check No. 80136086 – ACH Payment to Lawrence B Stone Properties in the amount of \$221,515.92, which was deferred to January 13, 2025, Agenda, during the 3:30 p.m. Agenda Review Session)
- b. Claims and payments of previously approved obligations, including those of Parks and Library, through December 20, 2024, total \$7,799,427.14, with Parks and Library claims approved by their respective boards. Warrants excluding Parks and Library total \$7,161,580.87. (CPR 2024-0002)
- c. Claims and payments of previously approved obligations, including those of Parks and Library, through December 27, 2024, total \$13,039,727.75, with Parks and Library claims approved by their respective boards. Warrants excluding Parks and Library total \$12,837,485.50. (CPR 2024-0002)
- d. Payroll claims of previously approved obligations through December 21, 2024: \$9,199,156.55. (CPR 2024-0003)

Minutes:

- a. City Council Meeting Minutes: December 2, December 9, and December 16, 2024. (CPR 2024-0013)

- b. City Council Public Infrastructure, Environment and Sustainability Standing Committee Meeting Minutes: November 18 and December 16, 2024. (CPR 2024-0019)

LEGISLATIVE AGENDA

There were no **Special Budget Ordinances**.

There were no **Emergency Ordinances**.

RESOLUTIONS

Resolution 2025-0001 (and associated contract OPR 2025-0010) (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

After an opportunity for public testimony and Council commentary, with none provided, the following action was taken:

Upon 7-0 Roll Call Vote, the City Council **adopted Resolution 2025-0001** declaring ABB Industrial Automation & Power Generation (Portland, OR) a sole-source provider and authorizing the City to enter into a contract for service and support for the Digital Control Systems for the City of Spokane Waste to Energy Facility to be used on an “as needed” basis for a five-year period—approximately \$270,000 annually without public bidding.

Ayes: Bingle, Cathcart, Dillon, Klitzke, Navarrete, Zappone, and Wilkerson

Nos: None

Abstain: None

Absent: None

Resolution 2025-0002 (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

After public testimony and an opportunity for Council commentary, with none provided, the following action was taken:

Upon 5-2 Roll Call Vote, the City Council **adopted Resolution 2025-0002** approving settlement of the claim against the City in the matter of McLaughlin v. City of Spokane—\$500,000.

Ayes: Dillon, Klitzke, Navarrete, Zappone, and Wilkerson

Nos: Bingle and Cathcart

Abstain: None

Absent: None

Resolution 2024-0003 (Council Sponsors: Council President Wilkerson and Council Member Klitzke)

After public testimony and Council commentary, the following action was taken:

Upon 7-0 Roll Call Vote, the City Council **adopted Resolution 2025-0003** clarifying the lengths of the initial terms on the Climate Resilience and Sustainability Board.

Ayes: Bingle, Cathcart, Dillon, Klitzke, Navarrete, Zappone, and Wilkerson

Nos: None

Abstain: None

Absent: None

There were no **Final Reading Ordinances**.

There were no **First Reading Ordinances**.

There were no **Special Considerations**.

There were no **Hearings**.

[The City Clerk left the meeting at 7:04 p.m. (pursuant to Council Rule 2.2.A). Open Forum speaker information and motion of adjournment and adjournment time were provided by Council Director Giacobbe Byrd for the minutes.]

OPEN FORUM

The following individual(s) spoke during the Open Forum:

- Will Hulings
- Christopher Savage
- Sunshine Wigen
- Anwar Peace
- Debbie Novak
- Earl Moore
- John Hancock
- Jim Leighty
- Charlie Beauchamp

- HT Higgins
- Cherrie Barnett
- Chris Wall
- Justin Haller

(Council President Wilkerson left the meeting during Open Forum at 7:29 p.m. and returned at 7:31 p.m.)

ADJOURNMENT

Motion by Council Member Dillon, seconded by Council Member Klitzke, **to adjourn; carried 7-0.**

There being no further business to come before the City Council, the meeting adjourned at 7:33 p.m.

Minutes prepared by City Clerk Terri Pfister and submitted for publication in the January 22, 2025, issue of the *Official Gazette*.

Approved by Spokane City Council on January 27, 2025.

Betsy Wilkerson
City Council President

Attest:

Terri Pfister
City Clerk

MEETING MINUTES
City of Spokane
City Council-Mayor Joint Special Meeting to Discuss Budget
(held in a study session format)
Council Briefing Center
January 9, 2024

Meeting Recording: <https://vimeo.com/1045472121>

Call to Order: 11:04 a.m.

Attendance:

Council Members Present: Council President Wilkerson (left at 11:40 a.m. and returned at 11:43 a.m.), Council Members Dillon, Cathcart, Bingle, Navarrete, Klitzke, and Zappone (arrived at 11:06 a.m.).

Council Members Absent: none

Agenda Items:

- Joint Budget Meeting Frequency and Topics for 2025
- Q1 Areas of Interest
- Biennium Updates Required
- Collective Bargaining Planning Overview

Executive Session:

None

Adjournment:

The meeting adjourned at 11:59 a.m.

Minutes prepared and submitted for publication in the January 22, 2025, issue of the Official Gazette.

Giacobbe Byrd
Director, Council Office

Approved by City Council on January 27, 2025.

Besty Wilkerson
City Council President

Attest:

Terri L. Pfister
City Clerk

MINUTES OF SPOKANE CITY COUNCIL

Monday, January 13, 2025

AGENDA REVIEW SESSION

The Agenda Review Session of the Spokane City Council held on the above date was called to order at 3:31 p.m. in the Council Chambers in the Lower Level of the Municipal Building, 808 West Spokane Falls Boulevard, Spokane, Washington. A recording of the meeting can be found at the following link: <https://vimeo.com/spokanecitycouncil>.

Roll Call

On roll call, Council President Wilkerson and Council Members Bingle, Cathcart, Dillon, Klitzke, Navarrete, and Zappone were present.

City Administrator Alex Scott; Giacobbe Byrd, Director-City Council Office; City Council Policy Advisor Chris Wright; and City Clerk Terri Pfister were also present for the meeting.

There were no **Interviews of Nominees to Boards and Commissions**.

There were no **Council or Staff Reports of Matters of Interest**.

Final Agenda Review

The City Council reviewed the January 13, 2025, Final Agenda and held discussion, with staff input and commentary, on selected items.

Check No. 80136286 to Lawrence B. Stone Properties for \$221,515.92 (Claims through December 13, 2024 – CPR 2024-0002)

Chief Financial Officer Matt Boston responded to Council concerns and inquiries regarding Check No. 80136286 to Lawrence B. Stone Properties for \$221,515.92.

First Reading Ordinance C36632 (Council Sponsors: Council President Wilkerson and Council Members Bingle and Klitzke)

Motion by Council Member Bingle, seconded by Council Member Klitzke, **to defer** the First Reading of Ordinance C36632—providing for the acquisition by eminent domain of certain lands necessary for water booster pump station in the vicinity of N. Wieber Drive and W. Shawnee Lane, located in the City and County of Spokane, State of Washington—to defer Final Reading to February 3, 2025, with First Reading to take place on January 27, 2025; **carried 7-0**.

Contract with Transitions (OPR 2025-0014) (Council Sponsors: Council Members Zappone, Klitzke, and Bingle)

Motion by Council Member Bingle, seconded by Council Member Dillon, **to defer** Consent Agenda Item No. 4.c., OPR 2025-0014—Contract with Transitions to fast-track

spend-down of \$1.6 million remaining eviction prevention funds under the System Demonstration Grant—to January 27, 2025, Agenda; **carried 7-0.**

Updated Draft Agenda Review

There was no Updated Draft Agenda review, as the January 20, 2025, City Council Meeting was canceled.

Draft Agenda Review

No discussion was held on the January 27, 2025, Draft Agenda items.

Council Recess/Executive Session

The City Council recessed at 3:51 p.m. and immediately reconvened into an Executive Session to discuss potential litigation for 30 minutes. At 4:21 p.m. the meeting was extended five minutes until 4:26 p.m., at which time the 3:30 p.m. Agenda Review Session also ended. City Attorney Michael Piccolo and Assistant City Attorney Tim Fischer were present for the Executive Session. The City Council reconvened at 6:02 p.m. for the Legislative Session.

LEGISLATIVE SESSION

Land Acknowledgement

Council President Wilkerson started the meeting off by reading the “Land Acknowledgement” (adopted by City Council on March 22, 2021, under Resolution 2021-0019) which appears on page 2 of the agenda.

Pledge of Allegiance

The Pledge of Allegiance was led by Council President Wilkerson.

Roll Call

On roll call, Council President Wilkerson and Council Members Bingle, Cathcart, Dillon, Klitzke, Navarrete, and Zappone were present.

Legislative Assistant Virginia Ramos, City Council Policy Advisor Chris Wright, and City Clerk Terri Pfister were also present for the meeting.

Poetry at the Podium

Stephanie Vogel presented her poem “In the Halls of Earthly Powers.”

MAYORAL PROCLAMATIONS

January 20, 2025

Martin Luther King, Jr. Observance Day

Council President Wilkerson read the proclamation. Freda Gandy, Martin Luther King Center Director, accepted the proclamation and provided remarks on upcoming events.

The proclamation is attached to these minutes for reference.

There were no **Reports from Community Organizations**.

There were no **Boards and Commissions Appointments**.

CONSENT AGENDA

Public testimony was received and Council commentary held on Consent Agenda items. The following actions were taken:

Upon 5-2 Voice Vote, the City Council **approved** Contract Amendment to inclement weather contract with The Salvation Army (The Way Out Shelter) adding clarity around data entry into ShelterMe and adding funds—\$50,000. (Taken separately) (OPR 2024-0984) (Council Sponsors: Council Members Zappone, Bingle, and Klitzke)

Upon 5-2 Voice Vote, the City Council **approved** Contract Amendment to inclement weather contract with Revive Counseling (Revive Inclement Weather Beds) adding clarity around data entry into ShelterMe and adding funds—\$50,000. (Taken separately) (OPR 2024-0982) (Council Sponsors: Council Members Zappone, Bingle, and Klitzke)

Upon 6-1 Voice Vote, the City Council **approved** Contract Amendments to inclement weather contracts with:

- Catholic Charities of Eastern Washington (The House of Charity and St. Margaret's)—\$50,000 (OPR 2024-1022), and
- Volunteers of America (Hope House)—\$50,000 (OPR 2024-0983).

(Both taken separately together) (Council Sponsors: Council Members Zappone, Bingle, and Klitzke)

Motion by Council Member Klitzke, seconded by Council Member Zappone, **to add** Consent Agenda Item No. 9—Claim Item: Check No. 80136086 (ACH Payment) to Lawrence B. Stone Properties—to tonight's Consent Agenda; **carried 7-0**.

Upon 7-0 Voice Vote, the City Council **approved** Staff Recommendations for the following items:

Contract Renewal with ParkMobile, LLC (Atlanta, GA) for a mobile parking payment system from January 1, 2025, through December 31, 2025—cost not to exceed \$500,000 (Estimated \$2,300,000 Revenue). (OPR 2022-0129) (Council Sponsors: Council Members Bingle, Zappone, and Cathcart)

Contract Extension with Eccovia, Inc. (Salt Lake City, UT) for subscription licenses and professional services for the City's Homeless Management Information System (HMIS) from December 1, 2024, through November 30, 2025—\$155,649.92 (plus tax). (OPR 2016-0959) (Council Sponsors: Council Members Zappone, Bingle, and Klitzke)

Contracts to fast-track spend-down of \$1.26 million remaining eviction prevention funds under the System Demonstration Grant with:

- a. SNAP—\$873,290. (OPR 2025-0012)
 - b. Catholic Charities (St. Margaret's)—\$158,000. (OPR 2025-0013)
- (Council Sponsors: Council Members Zappone, Klitzke, and Bingle)

Recommendation to list the Fred and Winona Adams House located at 11 West 26th Avenue on the Spokane Register of Historic Places. (OPR 2025-0015) (Council Sponsors: Council Members Bingle, Zappone, and Klitzke)

Fourth Contract Amendment and Extension with Archbright Workplace Performance Experts (Seattle, WA) for operation support for the Human Resources Department from February 1, 2025, through June 30, 2025—additional \$46,000 (plus tax). (OPR 2024-0105) (Council Sponsors: Council President Wilkerson and Council Members Cathcart and Dillon)

Third Amendment to Universal Transit Access Pass Agreement with Spokane Transit Authority (STA) beginning January 1, 2025—not to exceed \$73,484. (OPR 2017-0727) (Council Sponsors: Council President Wilkerson and Council Members Bingle and Dillon)

Report of the Mayor of pending:

- a. Claims and payments of previously approved obligations, including those of Parks and Library, through January 3, 2025, total \$4,795,687.13 (Check Nos.: 608007-608102; Credit Card Nos.: 001068-001085; ACH Nos.: 136651-136769), with Parks and Library claims approved by their respective boards. Warrants excluding Parks and Library total \$4,440,052.65. (CPR 2025-0002)
- b. Payroll claims of previously approved obligations through January 4, 2025: \$10,156,526.21 (Check Nos.: 575413-575505). (CPR 2025-0003)

Claim Item: Check No. 80136086 (ACH Payment) to Lawrence B. Stone Properties—\$221,515.92. (Deferred from January 6, 2025, Final Agenda during the January 6, 2026, 3:30 p.m. Agenda Review Session) (CPR 2024-0002)

LEGISLATIVE AGENDA

There were no **Special Budget Ordinances**.

There were no **Emergency Ordinances**.

There were no **Resolutions**.

There were no **Final Reading Ordinances**.

FIRST READING ORDINANCES

The following Ordinances were read for the first time, with further action deferred. Public testimony was received on the First Reading Ordinances.

ORD C36629 Relating to Building Opportunity for Housing (BOH) follow up code fixes making changes to the Unified Development Code that are intended to fix errors, clarify, and create more flexibility within the Spokane Municipal Code, amending Spokane Municipal Code (SMC) sections 17A.020.060 "F" Definitions, 17C.111.205 Development Standards Tables, 17C.111.210 Density, 17C.111.220 Building Coverage and Impervious Coverage, 17C.111.235 Setbacks, 17C.111.310 Open Space, 17C.111.315 Entrances, 17C.111.320 Windows, 17C.111.325 Building Articulation, 17C.111.335 Parking Facilities, 17C.111.420 Open Spaces, 17C.230.100 General Standards, 17C.230.110 Minimum Required Parking Spaces, 17C.230.120 Maximum Required Parking Spaces, 17C.230.130 Parking Exceptions, 17C.230.140 Development Standards, 17G.080.040 Short Subdivisions, 17G.080.065 Unit Lot Subdivisions, adopting a new section 17C.230.020 Vehicle Parking Summary Table, and repealing 17C.111.450 Pitched Roofs. (As amended during the January 6, 2025, 3:30 p.m. Agenda Review Session.) (Council Sponsors: Council Members Bingle, Zappone, and Klitzke)

ORD C36630 Relating to language access and the recruitment of bilingual and multilingual applicants to the City of Spokane, and amending Section 18.11.050 of the Spokane Municipal Code. (Council Sponsors: Council Members Navarrete, Cathcart, and Dillon)

For action on First Reading Ordinance C36632, see section of minutes under 3:30 p.m. Briefing Session.

ORD C36633 Amending Section 17D.100.230 of the Spokane Municipal Code to add Centers and Corridors to Historic Preservation review of proposed demolition of historic properties, also to bring review of buildings by the Spokane Historic Landmarks Commission into

compliance with 2023 Washington House Bill 1293 by implementing clear and objective design standards, and to modify the limitations on redevelopment of a property after a historic or eligible structure has been demolished. (Council Sponsors: Council Members Zappone, Klitzke, and Bingle)

There were no **Special Considerations**.

There were no **Hearings**.

[The City Clerk left the meeting at 6:30 p.m. (pursuant to Council Rule 2.2.A). Open Forum speaker information and motion of adjournment and adjournment time were provided by Council Director Giacobbe Byrd for the minutes.]

OPEN FORUM

Council President Wilkerson reviewed the rules of decorum for open forum.

The following individual(s) spoke during the Open Forum:

- James E
- Earl Moore
- Derek Azzaro
- Sunshine Wigen
- HT Higgins

ADJOURNMENT

Motion by Council Member Dillon, seconded by Council Member Klitzke, **to adjourn; carried 7-0.**

There being no further business to come before the City Council, the meeting adjourned at 6:43 p.m.

Minutes prepared by City Clerk Terri Pfister and submitted for publication in the January 22, 2025, issue of the *Official Gazette*.

Approved by Spokane City Council on January 27, 2025.

Betsy Wilkerson
City Council President

Attest:

Terri Pfister
City Clerk

STANDING COMMITTEE MINUTES
City of Spokane
Public Safety and Community Health Committee
City Council Chambers
January 6, 2024

Call to Order: 12:08 PM

Recording of the meeting may be viewed here: <https://vimeo.com/1044449345>

Attendance

Committee Members Present:

Council Member Michael Cathcart, Council President Betsy Wilkerson, Council Member Zack Zappone, Council Member Paul Dillon, Council Member Kitty Klitzke, Council Member Lili Navarrete, Council Member Jonathan Bingle

Agenda Items:

UPDATES NOT ON AGENDA:

1. MONTHLY POLICE UPDATE – KEVIN HALL (10 minutes)
2. MONTHLY FIRE UPDATE – JULIE O'BERG (10 minutes)

II. Monthly Report/Update

1. 0680 - PHOTO RED MONTHLY UPDATE - MIKE MCNAB (5 minutes)
2. 0680 - STRATEGIC INITIATIVES MONTHLY UPDATE - JACQUI MACCONNELL (5 minutes)

III. Discussion Items

1. 0680 - UNIFORM OVERTIME REPORT - KEVIN SCHMITT (5 minutes)
2. ORDINANCE IMPLEMENTING A COMMUNITY HEALTH IMPACT AREA – MAGGIE YATES/ADAM MCDANIEL (5 minutes)
3. ORDINANCE RELATING TO CREATING AN ALCOHOL IMPACT AREA – MAGGIE YATES/ADAM MCDANIEL (5 minutes)
4. STANDING COMMITTEE AND STAFF REPORTS - (10 minutes)

IV. Consent Items

1. 0620-CONTRACT AMENDMENT WITH ARCHBRIGHT (HUMAN RESOURCES)

2. 0620- STA-UNIVERSAL TRANSIT ACCESS PASS AGREEMENT THIRD
AMENDMENT (HUMAN RESOURCES)

Executive Session

None.

Adjournment

The meeting adjourned at 1:00 PM

Minutes prepared and submitted for publication in the January 29, 2025, issue of the Official Gazette.

Jackson Deese, Legislative Assistant

Approved by City Council on January 27, 2025.

Betsy Wilkerson
City Council President

Attest:

Terri L. Pfister
City Clerk

Council Committee Sheet

Public Safety & Community Health Committee

Committee Date	1/6/2025
Agenda Item Name	Ordinance Implementing a Community Health Impact Area
Select Agenda Item Type	<input type="checkbox"/> Consent <input checked="" type="checkbox"/> Discussion
Proposed Council Action	<input checked="" type="checkbox"/> Approval to proceed to Legislative Agenda <input type="checkbox"/> Information Only
Council sponsors	Zappone Wilkerson Dillon
Verbal testimony received on committee agenda items	<div style="margin-top: 10px;"> 1) Name: Tyler Tamoush Association: Minnehaha Neighborhood Council <input checked="" type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div> <div style="margin-top: 10px;"> 2) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div> <div style="margin-top: 10px;"> 3) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div> <div style="margin-top: 10px;"> 4) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div> <div style="margin-top: 10px;"> 5) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div> <div style="margin-top: 10px;"> 6) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div> <div style="margin-top: 10px;"> 7) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div> <div style="margin-top: 10px;"> 8) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div> <div style="margin-top: 10px;"> 9) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div> <div style="margin-top: 10px;"> 10) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div> <div style="margin-top: 10px;"> 11) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div> <div style="margin-top: 10px;"> 12) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div> <div style="margin-top: 10px;"> 13) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown </div>

	14) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown 15) Name: Association: <input type="checkbox"/> Pro <input type="checkbox"/> Con <input type="checkbox"/> Concerned <input type="checkbox"/> Unknown
Written testimony	<input type="checkbox"/> Written testimony attached
Presentation Materials	<input type="checkbox"/> Presentation materials attached



Agenda Sheet for City Council:

Committee: Urban Experience **Date:** 01/13/2025

Committee Agenda type: Consent

Date Rec'd

12/19/2024

Clerk's File #

OPR 2025-0014

Cross Ref #

Project #

Council Meeting Date: 01/13/2025

Submitting Dept

COMMUNITY, HOUSING & HUMAN

Bid #

Contact Name/Phone

KERI 6577

Requisition #

Contact E-Mail

KCEDERQUIST@SPOKANECITY.ORG

Agenda Item Type

Contract Item

Council Sponsor(s)

ZZAPPONE KKLITZKE JBINGLE

Agenda Item Name

1680- EVICTION PREVENTION FUND SUBCONTRACT APPROVAL

Agenda Wording

Requesting City Council approval to enter new contracts to fast-track spend-down of \$1.26m remaining Eviction Prevention Funds under the System Demonstration Grant, ensuring expenditure by the June 30, 2025, deadline.

Transitions - OPR 2025-0014

Summary (Background)

CHHS manages \$3.4m Eviction Prevention fund through WA Dept. of Commerce. Subawards were initially made to 3 organizations for FY23-25. As of Nov. 2024, \$1.26m remains in the award, due to slow draw-down and unused admin/operations held by the City. CHHS issued an RFP from Nov. 15-Dec. 8. 2024 for providers with capacity to rapidly mobilize funds and received 4 applications. The CHHS Human Services committee recommends entering subcontracts with providers listed in attachments.

Lease? NO

Grant related? YES

Public Works? NO

Fiscal Impact

Approved in Current Year Budget? YES

Total Cost \$ 3,462,099.00

Current Year Cost \$

Subsequent Year(s) Cost \$ 1,261,337.00

Narrative

Unused admin/operations held by City CHHS was originally intended for 1.0 FTE but consolidated into existing portfolio.

Amount

Budget Account

Neutral

\$

#

Select

\$

#

Select

\$

#

Select

\$

#

\$

#

\$

#



Continuation of Wording, Summary, Approvals, and Distribution

Agenda Wording

Summary (Background)

Approvals

<u>Dept Head</u>	GBYRD
<u>Division Director</u>	GBYRD
<u>Accounting Manager</u>	GBYRD
<u>Legal</u>	GBYRD
<u>For the Mayor</u>	GBYRD

Additional Approvals

<u>ACCOUNTING -</u>	GBYRD

Distribution List

	arielleanderson@spokanecity.org
dkinder@spokanecity.org	mmorrisson@spokanecity.org
kcederquist@spokanecity.org	sbrown@spokanecity.org
aduffey@spokanecity.org	dnorman@spokanecity.org
zhjelm@spokanecity.org	

Committee Agenda Sheet

Urban Experience Committee

Committee Date	1/13/2025
Submitting Department	Community Housing and Human Services
Contact Name	Keri Cederquist
Contact Email & Phone	kcederquist@spokanecity.org ext. 6577
Council Sponsor(s)	Zappone, Bingle, Klitzke
Select Agenda Item Type	<input checked="" type="checkbox"/> Consent <input type="checkbox"/> Discussion Time Requested: 5 min
Agenda Item Name	Eviction Prevention Subcontract Approval
Proposed Council Action	<input checked="" type="checkbox"/> Approval to proceed to Legislative Agenda <input type="checkbox"/> Information Only
Summary (Background) *use the Fiscal Impact box below for relevant financial information. Click or tap here to enter text.	<p>CHHS manages a \$3.4m Eviction Prevention grant funded by WA State Dept. of Commerce. As of Nov. 2024, \$1.26m remained in the award, which must be expended by June 30, 2025. CHHS issued an RFP from Nov. 15-Dec. 8. 2024 for contractors with demonstrated capacity to rapidly mobilize prevention funds. The CHHS Human Services committee recommends subcontracting with SNAP, Catholic Charities, and Transitions in addition to current subgrantees Carl Maxey Center, Nuestras Raices Centro Comunitario, and Family Promise of Spokane.</p>
Fiscal Impact Approved in current year budget? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A Total Cost: \$3,462,099.00 Current year cost: Subsequent year(s) cost: \$1,261,337.00 Narrative: The \$3.4m Eviction Prevention portfolio, funded by the WA Department of Commerce's System Demonstration Grant (SDG), requires all funds to be expended by June 30, 2025 or returned to Commerce. \$2.4m was subcontracted to three providers in 2023. As of Nov. 2024, \$1.26m remained due to slow spend-down and unutilized administrative funds. To prevent forfeiture of funds, an RFP was issued (Nov.15-Dec.8) and four applicants responded. The CHHS Human Services Committee recommends funding SNAP, Catholic Charities, and Transitions as they demonstrated capacity to rapidly deploy rental assistance and comply with program requirements. Funding Source <input checked="" type="checkbox"/> One-time <input type="checkbox"/> Recurring <input type="checkbox"/> N/A Specify funding source: Grant Is this funding source sustainable for future years, months, etc? Dept. of Commerce indicates the fund will be included in Homelessness Prevention activities under the System Demonstration Grant (SDG) in subsequent years Expense Occurrence <input checked="" type="checkbox"/> One-time <input type="checkbox"/> Recurring <input type="checkbox"/> N/A	

Other budget impacts: (revenue generating, match requirements, etc.)

Unused admin/operations held by City CHHS was originally intended for 1.0 FTE but consolidated into existing portfolio

Operations Impacts (If N/A, please give a brief description as to why)

- What impacts would the proposal have on historically excluded communities?
44% of funds are distributed through by-and-for organizations to ensure resources are directed to communities most affected by housing instability.
- How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?
Data is collected through HMIS and is reviewed in accordance with city, state, and federal performance metrics. In addition, Commerce maintains an Equity Analysis dataset to identify service gaps and guide resource distribution to historically underserved/marginalized populations
- How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?
Department of Commerce will use submitted data to benchmark the effectiveness of this program.
- Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

This program aligns with the CoC's Five Year Strategic Plan to End Homelessness

Council Subcommittee Review

- Please provide a summary of council subcommittee review. If not reviewed by a council subcommittee, please explain why not.

Provider	Avg Score	Funds Requested	% of funds available	Funds Recommended	# Served	Cost per
SNAP - Singles	94.0	\$ 787,332.86	62.4%	\$ -	155 singles & youth	\$ 3,875.00
SNAP - Families	94.0	\$ 1,045,572.86	82.9%	\$ 873,290.00	103 singles&youth 83 Families	\$3,875 = S \$4,800 = F
St. Margarets	79.7	\$ 158,000.00	12.5%	\$ 158,000.00	20 households	\$ 5,000.00
Transitions	93.9	\$ 230,047.00	18.2%	\$ 230,047.00	12 households	\$ 1,380.00
NECC-Zone	0.0	\$ 225,862.30	17.9%	\$ -	12 households	\$ 7,500.00



CITY OF SPOKANE
Eviction Prevention

Project applicants may submit applications for eviction prevention activities as described in the associated Eviction Prevention City of Spokane Notice of Funding Availability (NOFA).

PROPOSAL SUBMITTED BY:

ORGANIZATION	Transitions
POINT OF CONTACT	Sarah Lickfold
PHONE	(509) 328-6702
E-MAIL	slickfold@help4women.org

SIGNATURE

Signature here will confirm compliance with all instructions, terms, and conditions of Funding Notice.

Applicants that wish to be considered for funding under this opportunity must respond to the following questions in writing and meet all conditions and requirements as stated in the NOFA. Submission of this application does not guarantee that a proposal will be approved.

General Instructions

Please complete a single narrative application for the proposal. Please be concise but complete in your responses.

Proposal Summary

Organization Signing Authority Contact Information

Contact Person: Sarah Lickfold
Mailing Address: 3128 N. Hemlock St
Spokane, WA 99205
Telephone: (509) 328-6702
E-mail: slickfold@help4women.org

Organization Project Contact Information

Contact Person: Angela Amos
Mailing Address: 920 W. 2nd Ave
Spokane, WA 99201
Telephone: (509) 455-4249
E-mail: aamos@help4women.org

Submission Date: **12/8/24**

Project Title: **Eviction Prevention**

Applicant Organization / Lead Agency Name: **Transitions**

Dollar Amount Requested from City of Spokane: **\$230,047**

Project Overview and Description Questions

1. Describe your experience managing Eviction Prevention Funds:

Transitions has managed and disbursed housing assistance funds for many years. We operate six programs with the mission of ending poverty and homelessness for women and children in Spokane; 100% of our participants are low-income, with most below 30% AMI. We have administered direct client assistance funds routinely over our decades of operation, and our intake processes at all program sites ensure and document client eligibility for projects like these. All Transitions housing and housing case management participants are entered into the City of Spokane's Community Management Information System (CMIS).

Most recently, our Women's Hearth site, the focus of this current request, disbursed Spokane County/ Dept. of Commerce Eviction Prevention funds over the past 12 months. Through this program, we were able to assist 40 households who were facing acute risk of eviction due to rental or utilities arrears. We have disbursed assistance approximately once a week since the initial County award, managing a total of \$55,200. We have maintained compliance with all Commerce disbursement parameters, eligibility requirements, and reporting schedules. We have well-established intake and recordkeeping processes in place. The County has affirmed our performance and approach with positive feedback during desk audits. This experience has been extremely positive for participants, as Transitions is able to complement the disbursed funds with individualized case management and aftercare to help households address their risk factors for eviction.

2. Describe your proposed intake and assessment process; including the capacity to manage a potentially high volume of applications for assistance effectively within a six-month period:

Our current Eviction Prevention assessment and disbursal process is already in line with Commerce's Consolidated Homeless Grant requirements. The Women's Hearth is an extremely low-barrier environment, with no participation or documentation requirements for entry. Households are not screened out based on income, credit history, rental history, disability, justice system involvement, substance use, lack of ID, or other potential barriers to housing readiness. Intake scheduling is very flexible, and our drop-in service model increases access for participants who may not have the personal infrastructure or capacity to maintain scheduled appointments. Community expectations at the Hearth are focused on maintaining an environment that is safe and affirming for all participants, including transgender women. The Women's Hearth is Spokane's only daytime shelter space solely for women and non-binary individuals. If awarded Eviction Prevention funds, however, the Hearth is well-equipped to offer virtual appointments and dedicated drop-in visit times for male participants. Participants will also be welcome to submit scanned documentation electronically as part of the virtual appointment process; we hope this will further reduce barriers or delays to assessment and project enrollment.

When participants disclose housing insecurity and/or a desire to participate in housing case management, Case Managers complete a more formal intake for Eviction Prevention assistance, assessing participant eligibility for grant funds. We next communicate directly with the participant's property manager to obtain a ledger of balances owed and a copy of the rental agreement. If participants are indeed eligible for Eviction Prevention funds, the amount owed is paid directly to landlords. This process is accompanied by ongoing case management and supportive conversations with participants to determine what financial stability looks like for them following this assistance, to minimize repeat need. Goals may include seeking a roommate to share rental expenses, vocational services to increase income, referrals for healthcare or services, and transportation to referral appointments to ensure access and further participation. With an added 1.0 FTE case manager, we could increase capacity for Eviction Prevention funds disbursement to up to 8 clients participants served per day.

3. Describe how you will conduct marketing and outreach activities to connect with households most likely to become homeless:

The Women's Hearth serves approximately 1200 individuals annually; in fact, we are on track to serve at least 1400 in 2024. Our busy event and services calendar has a wide reach among Spokane's homeless and insecurely-housed communities; simply adding Eviction Prevention drop-in hours, announcing these funds at monthly Matters of the Hearth meetings, and our ongoing daily conversations with participants will create widespread awareness. Word-of-mouth is one of the primary ways new participants find their way to the Hearth; referrals from a peer or trusted friend often help new participants feel safe and more likely to engage in services. Our soft-touch, relationship-focused approach builds trust with participants who may not otherwise feel inclined to disclose housing insecurity. And the Hearth has no requirements for participation, which also helps participants take ownership of their pathways and seek the assistance that they most need. We often serve participants who have been exited from services elsewhere, and our drop-in service model and supportive staff enable us to have successful case management appointments with high-need participants. Additionally, our Housing Alumnae Case Management staff and New Leaf Vocational Services sites will be able to refer participants to the Hearth for Eviction Prevention Funds.

4. Please provide a detailed plan of how you will mobilize rental assistance funds efficiently and effectively within a six-month period:

We anticipate a brisk spend-down of any funds awarded. The Hearth currently receives constant requests for housing assistance funds by phone, email, and Homeless Coalition listserv messages. We already have a well-established Eviction Prevention intake process, which will be scalable if we are awarded funds to add case management staff hours. Adding case management staffing will increase our capacity to complete eligibility intakes, submit referrals to Coordinated Entry, and process Coordinated Entry referrals for disbursement. We estimate that we can more than double the Hearth's current assessment/disbursement capacity with the addition of a 1.0 FTE case manager.

The Hearth exclusively serves women and non-binary individuals during our regular opening hours. To accommodate male participants for assessment, referral, and disbursement, we are well-prepared to offer both virtual appointments and dedicated drop-in hours so that male participants can complete intakes and access disbursement and case management.

5. Please describe how your project will document program eligibility:

Our current Eviction Prevention intake process includes documented eligibility verification, assessing each participant's level of need and verifying that the participant meets grant-required eligibility parameters, including income level and having a signed lease agreement. Once eligibility is established, our case manager contacts the participant's property management company to obtain a balance owed and a copy of the rental agreement. If a participant meets the eligibility requirements, their referral will be submitted to Coordinated Entry. Case managers keep documentation throughout this process and of financial stability problem-solving conversations with participant and what goals are formulated through this discussion. All of the steps of this process are documented in the participant's confidential file and retained in a locked cabinet for a minimum of seven years.

6. Describe the experience/qualifications required by your staff for financial report preparation, management, and frontline positions:

Financial reports are prepared by the Women's Hearth Program Director and Transitions' Financial Controller. Our Financial Controller holds an MBA and 7 years of experience in accounting in both the private and nonprofit sectors. The Women's Hearth Program Director holds an M.A. in Addiction Studies, is a certified Substance Use Disorder Professional trainee, and has 8 years experience in management roles and social service delivery.

Front-line staff and all program volunteers are required to complete a background check and sign a confidentiality contract. Staff must have either significant relevant employment or first-hand life experience in social work/housing insecurity/poverty/disability services. Upon hire, staff are required to complete trainings in trauma-informed care and race equity, and to adhere to the Hearth's values of engagement-centered healing, respect for human dignity, and client-led goalsetting. Additionally, by the end of 2024, all staff members at Transitions will have completed the required trainings (Trauma-Informed Care, Rapid Re-Housing, Race Equity, et al) for Commerce CHG funding projects.

7. Please describe how your organization interacts and collaborates with Coordinated Entry:

Transitions is an experienced collaborator with Coordinated Entry (CE) as both a source and recipient of referrals. Our three housing sites receive CE referrals for both Singles and Families, and at the Hearth, we participate in CE by offering Singles Coordinated Entry assessments. At the Hearth, Case Managers enter new participants into CMIS when they enroll in case management. All Transitions Housing participants are also entered into CMIS. We are fully equipped to accept CE referrals for Eviction Prevention assistance and to fill Eviction Prevention openings exclusively through those referrals.

We maintain strong and cordial relationships with other CE providers and are active in the Spokane homeless services provider network, participating in the Spokane Homeless Coalition, bimonthly Spokane Regional Health District Service Providers call, Empire Health Foundation's Housing Navigation/Surge Shelter provider forums, and the City of Spokane Street Outreach meetings. And we collaborate frequently with other Coordinated Entry intake sites (Catholic Charities, SNAP, and Goodwill) to ensure that the referral process works as smoothly as possible so that participants can get housed quickly.

Budget Narrative

Rent Payments

Monthly rent, rental arrears as described in SDG guidelines

\$141,800 is requested for rent payments: \$124,057 is requested for direct client assistance with monthly rent / rental arrears. At an average disbursement about of \$1,380 per household, we estimated serving 89 households with rent assistance. \$17,725 is requested for direct assistance with application fees, background and credit check fees. Our current disbursements indicate that approximately one out of every seven households requesting assistance is seeking help with property rental application and screening fees, so the above requested amounts reflect that ratio. At an average of \$1480 per household, we anticipate serving 12 households with rental application process fees.

Operations

Salaries and Benefits for staff costs directly attributable to the program, including but not limited to program staff, information technology staff, human resources staff, bookkeeping staff, and accounting staff:

\$58,241 is requested for salaries and benefits: \$45,479 for a 1.0 FTE case manager salary; \$8,417 for case manager benefits; \$3,666 for 0.05 FTE Hearth Program Director salary staff hours; and \$678 for Hearth Program Director benefits. This figure is arrived at using internal payroll scales and an 18.5% rate for calculating benefits. The case management staff time would support client intake appointments, assessment and referral time, documentation time, and disbursement time. The Program Director staff time supports direct supervision of case management time and Eviction Prevention project implementation.

Indirect Administration (not to exceed 15% of eligible expenses)

\$30,006 is requested for project administration.

Required Attachments

Please see attached Risk Assessment. Transitions is currently under contract with the City of Spokane, so please refer to previously submitted business license, financial audit, and confirmation of insurance.

**Agenda Sheet for City Council:****Committee:** Public Safety **Date:** 01/06/2025**Committee Agenda type:** Consent**Date Rec'd**

12/30/2024

Clerk's File #

RES 2025-0004

Cross Ref #**Project #****Council Meeting Date:** 01/27/2025**Submitting Dept**

RISK MANAGEMENT

Bid #**Contact Name/Phone**

JASON 625-6585

Requisition #**Contact E-Mail**

JNECHANICKY@SPOKANECITY.ORG

Agenda Item Type

Resolutions

Council Sponsor(s)

PDILLON BWILKERSON MCATHCART

Sponsoring at Administrators Request

NO

Lease? NO**Grant Related?** NO**Public Works?** NO**Agenda Item Name**

RESOLUTION REGARDING INSURANCE PREMIUM PURCHASES

Agenda Wording

Resolution regarding Insurance premium purchases

Summary (Background)

Insurance policies are secured for various categories as part of good fiscal policy. We contract with a broker to negotiate premiums on our behalf. In order to optimize the use of the broker and comply with RCW and SMC for competitive procurement process the Council needs to exercise their power to waive the competitive procurement process.

What impacts would the proposal have on historically excluded communities?

How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?

Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

Council Subcommittee Review

Fiscal Impact			
Approved in Current Year Budget? N/A			
Total Cost		\$	
Current Year Cost		\$	
Subsequent Year(s) Cost		\$	
<u>Narrative</u>			
Amount		Budget Account	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Funding Source			
Funding Source Type Select			
Is this funding source sustainable for future years, months, etc?			
Expense Occurrence			
Other budget impacts (revenue generating, match requirements, etc.)			
Approvals		Additional Approvals	
<u>Dept Head</u>	JORDAN, SCOTT		
<u>Division Director</u>	BOSTON, MATTHEW		
<u>Accounting Manager</u>	BAIRD, CHRISTI		
<u>Legal</u>	SCHOEDEL, ELIZABETH		
<u>For the Mayor</u>	PICCOLO, MIKE		
Distribution List			

RESOLUTION NO. 2025-_____

A Resolution declaring the waiver of public bid requirements for the purchase of 2025 insurance premiums for specified City insurance coverages.

WHEREAS, the City of Spokane is self-insured but carries various insurance policies as a practice of fiscal policy; and

WHEREAS, the City annually secures coverage for property casualty, general liability, law enforcement liability, commercial auto liability, public officials' liability, damage and repair to boilers and machinery, acts of terrorism, inland marine casualty (fire truck), excess worker's compensation, cyber liability, criminal acts, and limited aviation coverage; and

WHEREAS, the nature of the insurance industry is such that utilizing normal public procurement processes are likely to result in a higher cost of premiums; and

WHEREAS, the City of Spokane does not have sufficient subject matter experts to coordinate and negotiate the various insurance coverages and premiums necessary to properly insure the City, and for this reason the City hired an insurance broker, who was selected through normal competitive procurement process and whose fees are paid separately from premiums, to negotiate premiums and coverages on behalf of the City; and

WHEREAS, it is recommended the City secure certain insurance coverages as negotiated by its insurance broker and recommended from time to time, usually on an annual basis; and

WHEREAS, as allowed by RCW 39.04.280 (1) (d), and SMC 07.06.170, the Council may by resolution waive the public bid requirements of insurance; and

WHEREAS, the City desires to waive public bid requirements for the foregoing insurance coverages, as well as other coverages that may be identified as prudent for the City to secure; and

NOW, THEREFORE, BE IT RESOLVED that the Spokane City Council hereby declares a waiver of public bid requirements for the purchase of insurance policies; and

BE IT ALSO RESOLVED that the Council resolution is a general approval of waiver of public bidding procedures for securing of insurance quotes, and that approval of actual coverages and associated premiums shall be by separate resolution.

Passed by the City Council this ____ day of _____, 2025.

City Clerk

Approved as to form:

Assistant City Attorney



Agenda Sheet for City Council:

Committee: Finance & Administration **Date:** 11/25/2024

Committee Agenda type: Discussion

Date Rec'd

11/14/2024

Clerk's File #

ORD C36630

Cross Ref #

Project #

Council Meeting Date: 01/13/2025

Submitting Dept

CITY COUNCIL

Bid #

Contact Name/Phone

ANDRES (509)651-0855

Requisition #

Contact E-Mail

AGRAGEDA@SPOKANECITY.ORG

Agenda Item Type

First Reading Ordinance

Council Sponsor(s)

LNAVARRETE MCATHCART PDILLON

Agenda Item Name

0320 - MULTILINGUAL RECRUITMENT ORDINANCE

Agenda Wording

An ordinance relating to language access and the recruitment of bilingual and multilingual applicants to the City of Spokane, and amending Section 18.11.050 of the Spokane Municipal Code.

Summary (Background)

City Council wishes to work with Civil Service to advance the recruitment of bilingual and multilingual applicants to the City of Spokane. This ordinance calls for the City to establish policies and procedures to improve the recruitment of applicants for the City of Spokane who are fluent in multiple languages.

Lease? NO Grant related? NO Public Works? NO

Fiscal Impact

Approved in Current Year Budget? NO

Total Cost \$

Current Year Cost \$

Subsequent Year(s) Cost \$

Narrative

This ordinance could compel Civil Service to promote vacant positions to communities or populations through means that it wouldn't normally in order to reach these populations. This could include flyers, posters or direct outreach to organizations.

Amount

Budget Account

Expense \$ tbd

tbd

Select \$

#

Select \$

#

Select \$

#

\$

#

\$

#



Continuation of Wording, Summary, Approvals, and Distribution

Agenda Wording

Summary (Background)

Approvals

Dept Head

Division Director

Accounting Manager

Legal

For the Mayor

BUSTOS, KIM

SCHOEDEL, ELIZABETH

Additional Approvals

Distribution List

Committee Briefing Paper

Finance & Administration Committee

Committee Date	11/25/2024
Submitting Department	City Council
Contact Name	Andres Grageda
Contact Email & Phone	agrageda@spokanecity.org (509)651-0855
Council Sponsor(s)	CM Navarrete CM Dillon CM Cathcart
Select Agenda Item Type	<input type="checkbox"/> Consent <input checked="" type="checkbox"/> Discussion Time Requested: 5
Agenda Item Name	Multilingual Recruitment ORD
Proposed Council Action	<input checked="" type="checkbox"/> Approval to proceed to Legislative Agenda <input type="checkbox"/> Information Only
Summary (Background) *use the Fiscal Impact box below for relevant financial information	City Council wishes to work with Civil Service to advance the recruitment of bilingual and multilingual applicants to the City of Spokane. This ordinance calls for the City to establish policies and procedures to improve the recruitment of applicants for the City of Spokane who are fluent in multiple languages.

Fiscal Impact

Approved in current year budget? ☐ Yes ☒ No ☐ N/A

Total Cost: [Click or tap here to enter text.](#)

Current year cost: Unknown

Subsequent year(s) cost: Unknown

Narrative: ! This ordinance could compel Civil Service to promote vacant positions to communities or populations through means that it wouldn't normally in order to reach these populations. This could include flyers, posters or direct outreach to organizations that work with these populations. They would also need to verify that the applicants are fluent in the language that they are claiming to be fluent in which could have a cost associated with it.

Funding Source ☐ One-time ☐ Recurring ☒ N/A

Specify funding source: Select Funding Source*

Is this funding source sustainable for future years, months, etc? [Click or tap here to enter text.](#)

Expense Occurrence ☐ One-time ☐ Recurring ☒ N/A

Other budget impacts: (revenue generating, match requirements, etc.)

Operations Impacts (If N/A, please give a brief description as to why)

- What impacts would the proposal have on historically excluded communities?

This would give people who might not normally work for city government the opportunity to get a job that would advance their career. It would increase their likelihood of getting hired for a position at the City of Spokane. It also benefits our constituents who aren't fluent in English when the city has personnel that speak their language.

- How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

Civil Service collects data on people hired. We would be able to know if more people are hired from different demographics who are bilingual and multilingual.

- How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?

Civil Service collects data on the demographics of people hired to the City. They would keep track of the people who are hired with language capabilities. The policy will have been effective if the number of people hired to the City who possess multilingual capabilities increases.

- Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

The SMC has a section called “Language Access in Municipal Proceedings”, the provisions of which would be easier to implement if the City had many people who speak multiple languages.

Council Subcommittee Review

- Please provide a summary of council subcommittee review. If not reviewed by a council subcommittee, please explain why not.

The ordinance was presented to the Equity Subcommittee and the SHRC. Both groups reacted positively to the ordinance and feel that more could be done to attract these applicants, such as pay increases for multilingual capabilities.

ORDINANCE NO. C36630

An ordinance relating to language access and the recruitment of bilingual and multilingual applicants to the City of Spokane, and amending Section 18.11.050 of the Spokane Municipal Code.

WHEREAS, nearly 8% of Spokane residents reported speaking a language other than English at home; and

WHEREAS, Spokane Public Schools (SPS) estimates students throughout the school district represent nearly 80 different languages; and

WHEREAS, in 2023, the City Council adopted Ordinance C36449, which requires City departments to establish a language access program, including identifying vital government documents for regular translation and interpretation services for municipal proceedings; and

WHEREAS, the growing number of Spokane residents speaking a language other than English, combined with the requirement to create a Language Access Program for municipal operations, creates a need for more bilingual/multilingual persons employed by the City of Spokane, especially in divisions with high public interaction; and

WHEREAS, in 2024 the Washington State Legislature enacted SB 6157, which allows public employers to provide additional credit or points to a passing examination to applicants who have full professional proficiency or are completely fluent as a native speaker in one or more languages other than English; and

WHEREAS, the City of Spokane wishes to implement the provisions of SB 6157 and adopt it as the official hiring practice of the City.

NOW, THEREFORE, the City of Spokane does ordain:

Section 1. That section 18.11.050 of the Spokane Municipal Code is amended to read as follows:

Section 18.11.050 Scope, Implementation and Milestones

- A. Except where earlier timelines are specified in this section or unless expressly exempted by SMC 18.11.070, all City departments shall have an implemented Language Access Program in place no later than January 1, 2026.

1. As soon as practical after the effective date of this ordinance, the City Council and Planning Department shall henceforth incorporate language access into any adopted departmental operating procedures.
 2. No later than July 1, 2024, each affected city department shall identify those Vital Documents and Public Communication Materials it intends to include within the scope of its departmental LAP.
 3. Commencing with the 2025 Annual Budget of the City, all affected departments shall include LAP planning as a line-item appropriation within any proposed departmental budget, which planning shall be consistent with the scope of its Vital Documents and Public Communication Materials identified pursuant to subsection 2 above.
 4. Commencing with the 2026 Annual Budget of the City, all affected departments shall incorporate Language Access implementation as a line-item appropriation within any proposed departmental budget.
 5. Commencing January 1, 2026, all departmental operating procedures shall be compliant with this Chapter.
- B. Subject to allocated funding, the following milestones shall apply to specific operations and functions within the City of Spokane:
1. As soon as practical after the effective date of this ordinance, the City Council shall have drafted and implemented a Language Access Plan that assumes (a) translation of council-generated Public Communication Materials, which may include council ordinances, resolutions, proclamations, salutations, and further which may also include standing committee and subcommittee meeting agendas and materials; and (b) translation and/or interpretation services for council legislative sessions, briefing sessions, and standing committee meetings.
 2. As soon as practical after the effective date of this ordinance, the Division of Information Technology shall have drafted and implemented a limited Language Access Plan that assumes translation of digital Public Communication Materials, including but not limited to the City's official website and social media.

3. The timelines in sections A and B above may be adjusted as necessary to comply with the procurement requirements and procedures in [SMC 07.06](#).

C. Consistent with state law and to achieve the goals of this section, the City shall establish policies and procedures that attract, recruit, and effectively utilize City of Spokane employees who possess professional fluency or are a native speaker in one or more languages other than English, thereby ensuring their skills are strategically leveraged by the City to meet the needs of the community.

D. Nothing in this section shall affect, modify, or amend any collective bargaining agreement or Civil Service rule that exists on the effective date of this section.

~~((G))~~ E. Nothing in this section shall be deemed to prevent a department from developing and implementing a multi-year, phased LAP, so long as meaningful implementation begins no later than January 1, 2026.

Section 3. Severability. If any section, subsection, sentence, clause, phrase or word of this ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality thereof shall not affect the validity or constitutionality of any other section, subsection, sentence, clause, phrase or word of this ordinance.

Section 4. Clerical Errors. Upon approval by the city attorney, the city clerk is authorized to make necessary corrections to this ordinance, including scrivener's errors or clerical mistakes; references to other local, state, or federal laws, rules, or regulations; or numbering or referencing of ordinances or their sections and subsections.

PASSED by the City Council on _____

Council President

Attest:

Approved as to form:

City Clerk

City Attorney

Mayor

Date

Effective Date



Agenda Sheet for City Council:

Committee: Urban Experience **Date:** 12/09/2024

Committee Agenda type: Discussion

Date Rec'd

11/21/2024

Clerk's File #

ORD C36633

Cross Ref #

Project #

Council Meeting Date: 01/13/2025

Submitting Dept

PLANNING & ECONOMIC

Bid #

Contact Name/Phone

SPENCER X6097 / X6543

Requisition #

Contact E-Mail

SGARDNER@SPOKANECITY.ORG/MD

Agenda Item Type

First Reading Ordinance

Council Sponsor(s)

ZZAPPONE KKLITZKE JBINGLE

Agenda Item Name

0650 CHANGES TO HISTORIC PRESERVATION REVIEW OF DEMOLITIONS

Agenda Wording

CHANGES TO SMC 17D.100.230 ADDING CENTERS AND CORRIDORS TO HISTORIC PRESERVATION REVIEW OF PROPOSED DEMOLITION OF HISTORIC PROPERTIES; UPDATES TO COMPLY WITH STATE LAW; MODIFYING LIMITATIONS ON REDEVELOPMENT OF HISTORIC PROPERTIES

Summary (Background)

Pursuant to SMC 17G.025.010, the Spokane Plan Commission has a duty to review and make recommendations to City Council on proposed changes to SMC Title 17. Furthermore, pursuant to SMC Section 04.35.080, the Spokane Historic Landmarks Commission has a duty to review and comment on proposed changes to land use decisions as they relate to historic resources in Spokane. The Historic Landmarks Commission and Plan Commission both considered this proposal.

Lease? NO Grant related? NO Public Works? NO

Fiscal Impact

Approved in Current Year Budget? N/A

Total Cost \$ 0

Current Year Cost \$

Subsequent Year(s) Cost \$

Narrative

While this will may require additional staff time for occasional reviews, there are review fees associated.

Amount

Budget Account

Neutral \$ #

Select \$ #

Select \$ #

Select \$ #

Select \$ #

Select \$ #



Continuation of Wording, Summary, Approvals, and Distribution

Agenda Wording

Summary (Background)

Plan Commission held a hearing on the proposal on October 9, at which two amendments were presented and approved. Historic Landmarks Commission held a subsequent hearing on Oct 16 and recommended approval of the proposal as originally drafted. The version included in the draft ordinance reflects the recommendation of the Plan Commission. The version recommended by the Landmarks Commission is also included in the packet for reference. This proposal amends SMC 17D.100.230 to add Center and Corridor zones to the identified areas in Spokane where Historic Preservation review is required when demolition is proposed. The proposal also modifies aspects of the Historic Preservation code to conform with the requirements of 2023 House Bill 1293 by providing clear and objective design standards for review of proposed buildings. Continued on briefing paper.

Approvals

Dept Head

GARDNER, SPENCER

Division Director

GARDNER, SPENCER

Accounting Manager

ORLOB, KIMBERLY

Legal

SCHOEDEL, ELIZABETH

For the Mayor

SCOTT, ALEXANDER

Additional Approvals

Distribution List

	mduvall@spokanecity.org
sgardner@spokanecity.org	eking@spokanecity.org
smacdonald@spokanecity.org	akiehn@spokanecity.org
tfischer@spokanecity.org	

Committee Agenda Sheet

Urban Experience Committee

Committee Date	12/9/24
Submitting Department	Planning and Economic Development
Contact Name	Spencer Gardner
Contact Email & Phone	sgardner@spokanecity.org
Council Sponsor(s)	<u>CM Zappone; CM Klitzke; CM Bingle</u>
Select Agenda Item Type	<input type="checkbox"/> Consent <input checked="" type="checkbox"/> Discussion Time Requested: 15 min
Agenda Item Name	CHANGES TO SMC 17D.100.230 ADDING CENTERS AND CORRIDORS TO HISTORIC PRESERVATION REVIEW OF PROPOSED DEMOLITION OF HISTORIC PROPERTIES; UPDATES TO COMPLY WITH STATE LAW; MODIFYING LIMITATIONS ON REDEVELOPMENT OF HISTORIC PROPERTIES
Proposed Council Action	<input checked="" type="checkbox"/> Approval to proceed to Legislative Agenda <input type="checkbox"/> Information Only
Summary (Background) *use the Fiscal Impact box below for relevant financial information	<p>Pursuant to SMC 17G.025.010, the Spokane Plan Commission has a duty to review and make recommendations to City Council on proposed changes to SMC Title 17. Furthermore, pursuant to SMC Section 04.35.080, the Spokane Historic Landmarks Commission has a duty to review and comment on proposed changes to land use decisions as they relate to historic resources in Spokane.</p> <p>The Historic Landmarks Commission and Plan Commission both considered this proposal. Plan Commission held a hearing on the proposal on October 9, at which two amendments were presented and approved. Historic Landmarks Commission held a subsequent hearing on Oct 16 and recommended approval of the proposal as originally drafted. The version included in the draft ordinance reflects the recommendation of the Plan Commission. The version recommended by the Landmarks Commission is also included in the packet for reference.</p> <p>This proposal amends SMC 17D.100.230 to add Center and Corridor zones to the identified areas in Spokane where Historic Preservation review is required when demolition is proposed. The proposal also modifies aspects of the Historic Preservation code to conform with the requirements of 2023 House Bill 1293 by providing clear and objective design standards for review of proposed buildings. The proposal also expands the limits on demolition of historic buildings by requiring both a building permit for the replacement structure and a demonstration of financial commitment for construction of the replacement structure.</p> <p>The amendments recommended by Plan Commission consist of two items relating to limitations on a new building that replaces a demolished historic structure. First, the Plan Commission recommended removal of limitations that a replacement building must be located on the footprint of the building it replaces. Second, the Plan Commission recommended that a building that replaces a historic structure within the Downtown Boundary Area (map included below) should not be limited by the size of the structure it replaces, but should instead have the size limitations of the underlying zoning.</p>
Fiscal Impact Approved in current year budget? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A Total Cost: <u>\$0</u> Current year cost:	

Subsequent year(s) cost:

Narrative: While this will may require additional staff time for occasional reviews, there are review fees associated.

Funding Source ☐ One-time ☐ Recurring ☒ N/A

Specify funding source: Select Funding Source*

Is this funding source sustainable for future years, months, etc? N/A

Expense Occurrence ☐ One-time ☐ Recurring ☒ N/A

Other budget impacts: (revenue generating, match requirements, etc.)

There will be demolition review fees associated

Operations Impacts (If N/A, please give a brief description as to why)

What impacts would the proposal have on historically excluded communities?

This ordinance change would not have any meaningful impact on historically excluded communities.

How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

No additional data collection beyond the Planning department's ongoing work to evaluate disparate impacts as part of the 2026 Comprehensive Plan update.

How will data be collected regarding the effectiveness of this program, policy or product to ensure it is the right solution?

The Historic Preservation Office's primary responsibility is to protect historic properties and neighborhoods in Spokane. This policy change provides for review of historic structures that are proposed for demolition in an effort to retain the sense of place in our centers and corridors. The Historic Preservation department will monitor how this proposal changes the nature of their review process, but it is anticipated that this will streamline and increase the speed of reviews.

Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

Comprehensive Plan Goals

DP 1.1: Landmark Structures, Buildings, and Sites

Recognize and preserve unique or outstanding landmark structures, buildings, and sites.

DP 1.2: New Development in Established Neighborhoods

Encourage new development that is of a type, scale, orientation, and design that maintains or improves the character, aesthetic quality, and livability of the neighborhood

DP 3.3: Identification and Protection of Resources

Identify historic resources to guide decision making in planning.

DP 3.4: Reflect Spokane's Diversity

Encourage awareness and recognition of the many cultures that are an important and integral aspect of Spokane's heritage.

DP 3.10 Zoning Provisions and Building Regulations

Utilize zoning provisions, building regulations, and design standards that are appropriate for historic districts, sites, and structures.

DP 3.11: Rehabilitation of Historic Properties

Assist and cooperate with owners of historic properties to identify, recognize, and plan for the use of their property to ensure compatibility with preservation objectives.

N 2.4: Neighborhood Improvement

Encourage revitalization and improvement programs to conserve and upgrade existing properties and buildings

LU 3.1 Coordinated and Efficient Land Use

Encourage coordinated and efficient growth and development through infrastructure financing and construction programs, tax and regulatory incentives, and by focusing growth in areas where adequate services and facilities exist or can be economically extended.

ED 2.2 Revitalization Opportunities

Provide incentives to encourage the revitalization and utilization of historic and older commercial and industrial districts for redevelopment.

ED 2.4 Mixed-Use

Support mixed-use development that brings employment, shopping, and residential activities into shared locations that stimulate opportunities for economic activity.

ED 3.10 Downtown Spokane

Promote downtown Spokane as the economic and cultural center of the region.

ED 7.6 Development Standards and Permitting Process

Periodically evaluate and improve the City of Spokane's development standards and permitting process to ensure that they are equitable, cost-effective, timely, and meet community needs and goals.

ORDINANCE NO C36633

An ordinance amending Section 17D.100.230 of the Spokane Municipal Code to add Centers and Corridors to Historic Preservation review of proposed demolition of historic properties, also to bring review of buildings by the Spokane Historic Landmarks Commission into compliance with 2023 Washington House Bill 1293 by implementing clear and objective design standards, and to modify the limitations on redevelopment of a property after a historic or eligible structure has been demolished.

WHEREAS, the City of Spokane adopted a Comprehensive Plan in May of 2001 that complies with the requirements of the Growth Management Act (GMA) as set forth in RCW 36.70A; and,

WHEREAS, the Comprehensive Plan includes policies and goals to evaluate and improve the permitting process to ensure that they meet community needs and goals, especially Policy ED 7.6; and,

WHEREAS, the Comprehensive Plan includes policies and goals to promote the preservation of historic districts, sites, and structures, especially Policy DP 3.10; and,

WHEREAS, the State Legislature passed House Bill 1293 which amends RCW 36.70B.160, and adds a new section to chapter 36.70A relating to the design review process; and,

WHEREAS, compliance with House Bill 1293 is a requirement on the Periodic Update Checklist for Fully-Planning Cities and advances the City's work on the required Periodic Update to the Comprehensive Plan 2026 and the required development code amendments; and,

WHEREAS, the City improves its compliance with the amendments to RCW 36.70B.160 and the new section of RCW 36.70A established by House Bill 1293 in the adoption of this Ordinance; and,

WHEREAS, on August 08, 2024, the Washington State Department of Commerce and appropriate state agencies were given the required 60-day notice before adoption of proposed changes to the Unified Development Code pursuant to RCW 36.70A.106; and,

WHEREAS, on August 16, 2024, a State Environmental Policy Act (SEPA) Checklist was issued for this proposal; and,

WHEREAS, on August 28, 2024, Notice of Intent to Adopt was published in the City Council Gazette; and,

WHEREAS, on September 19, 2024, a SEPA Determination of Non-Significance (DNS) was issued for the proposal, the deadline to appeal the SEPA determination was October 3, 2024, and no comments pertaining to the DNS were received; and,

WHEREAS, the City of Spokane Historic Landmarks Commission considered these proposed amendments during a public meeting on September 18; and,

WHEREAS, a legal notice of public hearing for the City of Spokane Historic Landmarks Commission was published in the Spokesman-Review on October 2; and,

WHEREAS, on October 9 a notice of public hearing for the City of Spokane Historic Landmarks Commission was published in the City Council Gazette; and,

WHEREAS, the City of Spokane Historic Landmarks Commission held a public hearing on October 16; and,

WHEREAS, at the City of Spokane Historic Landmarks Commission hearing, the Commission unanimously voted to recommend approval of the draft amendments as presented by staff, and recommended against amendments recommended by the City of Spokane Plan Commission; and,

WHEREAS, the proposed text amendments were drafted and reviewed consistent with the requirements of RCW 36.70A.370 to assure protection of private property rights; and,

WHEREAS, the City of Spokane Plan Commission held public workshops on the provisions in this ordinance on August 28 and September 11; and,

WHEREAS, a legal notice of public hearing for the City of Spokane Plan Commission was published in the Spokesman-Review on September 23, 2024 and September 30, 2024; and,

WHEREAS, the City of Spokane Plan Commission held a public hearing on October 9, 2024, to obtain public comments on the proposed amendments and no comments were received; and,

WHEREAS, at the City of Spokane Plan Commission public hearing, the Commission unanimously voted to recommend approval with conditions, as outlined in the Plan Commission Findings of Fact, Conclusions, and Recommendation signed October 22; and,

WHEREAS, the City of Spokane Plan Commission finds that the proposed text amendments meet the decision criteria established in SMC 17G.025.010(G); and,

WHEREAS, the City Council adopts the recitals set forth herein as its findings and conclusions in support of its adoption of this ordinance, and further adopts and incorporates the following for the same purpose: the Staff Report, the Plan Commission Findings of Fact, Conclusions, and Recommendation, and the entire record relating to the adoption of this amendment; -- Now, Therefore,

The City of Spokane does ordain:

Section 1. That Section 17D.100.230 SMC is amended to read as follows:

Section 17D.100.230 Demolition Permits for Historic Structures in the Downtown Boundary Area ((and)), National Register Historic Districts, and Centers and Corridors

A. Definitions.

1. Building Footprint.

As defined in SMC 17A.020.020.

2. Floor Area.

As defined in SMC 17A.020.060.

B. Where This Section Applies.

1. The requirements of this section only apply to structures that are listed or eligible to be listed on the National or Local Register of Historic Places; and

2. This section only applies to structures in the following areas:

a. The Downtown Boundary Area shown in Map 17D.100.230-M1; or

b. Land zoned as Center and Corridor (as defined in SMC 17C.122 Center and Corridor Zones); or

c. Within a National Register Historic District.

3. Structures listed as Historic Landmarks or Contributing Resources within Spokane Register Historic Districts are addressed in SMC 17D.100.220 and are not subject to the requirements of this section.

4. This section shall not apply to orders of the building official or fire marshal regarding orders that a structure be demolished due to public health, safety, or welfare concerns.

C. Determination of Eligibility.

1. Administrative Determination.

The HPO may administratively determine that a structure proposed for demolition is not eligible for listing and may waive requirements for the submission of an eligibility document.

2. Determination from Spokane Historic Landmarks Commission.

Eligibility shall be determined by the Spokane Historic Landmarks Commission within thirty (30) days of the submission of the application for a demolition permit and a completed determination of eligibility document. The applicant shall be responsible to submit a determination of eligibility

demonstrating the ineligibility of the structure based upon the National Register Criteria for Evaluation (36 CFR 60). Applications for structures that are determined not to be listed or eligible to be listed on a National or Local Register of Historic Places shall be processed pursuant to existing regulations for non-historic buildings.

D. Limitation on Issuance of Demolition Permit.

~~((A.))~~ No demolition permits ~~((for structures that are listed or eligible to be listed on the National or Local Register of Historic Places located in the area shown on Map 17D.100.230-M1, Downtown Boundary Area and in all National Register Historic Districts))~~ shall be issued unless the structure to be demolished is to be replaced with a replacement structure that is administratively approved ~~((by the commission))~~ through a Certificate of Appropriateness under the ~~((following))~~ criteria provided herein.((:))

E. Criteria for Certificate of Appropriateness.

1. Building Footprint of Replacement Structure.

a. The replacement structure shall have a Building Footprint equal to or greater than the Building Footprint of the landmark structure to be demolished.

2. Floor Area for Replacement Structure.

a. Downtown Boundary Area or Centers and Corridors Zones.

The replacement structure shall have a Floor Area equal to or greater than one hundred percent (100%) of that of the eligible or listed structure(s) to be demolished. The maximum size of the replacement structure shall be as determined by the underlying zoning of the area.

b. National Register Historic Districts.

~~((1. The replacement structure shall have a footprint square footage equal to or greater than the footprint square footage of the landmark structure to be demolished. The replacement structure must also have a floor area ratio equal to or greater than 60% of that of the landmark structure to be demolished. The square footage of the footprint may be reduced:))~~

The replacement structure shall have a Floor Area equal to or greater than seventy-five percent (75%) and not larger than one hundred fifty percent (150%) of that of the contributing structure(s) to be demolished.

c. Overlap of National Register Historic District with Downtown Boundary Area or Centers and Corridors Zone.

Where property is within a Centers and Corridors zone or the Downtown Boundary Area and also within a National Register Historic District, the requirements under subsection (a) shall govern. The maximum size of the replacement structure shall be as determined by the underlying zoning of the area.

- ~~((a. to accommodate an area intended for public benefit, such as public green space and/or public art;~~
~~b. if the owner submits plans in lieu for review and approval by the City's design review board subject to applicable zoning and design guidelines; and~~
~~c. if the replacement structure is, in the opinion of the HPO and the commission, and in consultation with the Design Review Board, compatible with the historic character of the Downtown Boundary Area or National Register Historic District, as appropriate.))~~

3. Building Materials.

Exterior materials of the replacement structure shall be in keeping with the surrounding historic structures. Appropriate materials include brick, stone, wood, or similar.

4. Building Permit for Replacement Structure.

No demolition permit shall be issued until a building permit for the replacement structure has been accepted, processed, and issued.

- ~~((2. Any replacement structure under this section shall satisfy all applicable zoning and design guidelines, and shall be considered by the commission within thirty days of the commission's receipt of an application for a certificate of appropriateness concerning the building for which a demolition permit is sought.~~
~~3. A building permit for a replacement structure under this section must be accepted, processed, and issued prior to the issuance of the demolition permit. In the alternative, the owner may obtain a demolition permit prior to the issuance of the building permit if the owner demonstrates to the satisfaction of the director of building services, in consultation with the HPO, that the owner has a valid and binding commitment or commitments for financing sufficient for the replacement use subject only to unsatisfied contingencies that are beyond the control of the owner other than another commitment for financing; or has other financial resources that are sufficient~~

~~(together with any valid and binding commitments for financing) and available for such purpose.))~~

5. Financial Commitment.

The applicant shall demonstrate to the satisfaction of the Director of the Developer Services Center (DSC), in consultation with the Historic Preservation Officer, that there is a valid and binding commitment for financing (such as a term sheet or MOU) for the construction of the replacement structure.

6. Deviations from Criteria.

Deviations from these may be approved by the Historic Preservation Officer in consultation with the Planning Director at their discretion. Deviations may be less restrictive and shall not be more restrictive.

- ~~((B. Eligibility shall be determined by the commission within thirty (30) days of the submission of the application for a demolition permit. The applicant shall be responsible to submit a determination of eligibility demonstrating the ineligibility of the structure based upon the National Register Criteria for Evaluation (36 CFR 60). Applications for structures that are determined not to be listed or eligible to be listed on a National or Local Register of Historic Places shall be processed pursuant to existing regulations.~~
- ~~C. This section shall not apply to orders of the building official or fire marshal regarding orders that a structure be demolished due to public health, safety, or welfare concerns.~~
- ~~D. If the commission issues a certificate of appropriateness for the demolition of an building on the national register or located within the downtown boundary zone, such certificate shall include conditions such as:~~
- ~~1. any temporary measures deemed necessary by the commission for the condition of the resulting property after the demolition, including, without limitation, fencing or other screening of the property;~~
 - ~~2. the provision of ongoing, specific site security measures;~~
 - ~~3. salvage of any historically significant artifacts or fixtures, determined in consultation with the HPO prior to demolition;~~
 - ~~4. limitations on the extent of the demolition permitted, such that only non-historically significant portions of the property are subject to demolition;~~
 - ~~5. if construction on a replacement structure is not commenced on the site within six (6) months of the issuance of the certificate, the owner must landscape the site for erosion protection and weed control and provide for solid waste clean-up;~~
 - ~~6. abatement of any hazardous substances on the property prior to demolition;~~

- ~~7. requirement for dust control during the demolition process; and~~
- ~~8. that the certificate of appropriateness for demolition of the building is valid for three months.))~~

F. Conditions of Approval.

A Certificate of Appropriateness may be issued administratively for the demolition of a structure under this section subject to these conditions:

1. salvage of any historically significant artifacts or fixtures, determined in consultation with the HPO prior to demolition; and
2. the certificate of appropriateness for demolition of the building is valid for three months.

G. Review Period.

Administrative review of the replacement structure by the HPO will be completed within 10 business days of receipt of a completed application that addresses all requirements of this section.

H. Other Codes Apply.

Before a demolition permit is issued, all other relevant codes shall be met.

Section 2. Severability Clause. If a section, subsection, paragraph, sentence, clause, or phrase of this ordinance is declared unconstitutional or invalid for any reason, the decision shall not affect the validity of the remaining portions of this ordinance.

Passed by the City Council on _____

Council President

Attest:

Approved as to form:

City Clerk

Assistant City Attorney

Mayor

Date

Effective Date

**CITY OF SPOKANE PLAN COMMISSION
FINDINGS OF FACT, CONCLUSIONS, AND RECOMMENDATIONS
REGARDING PROTECTION OF HISTORIC BUILDINGS IN DOWNTOWN AND CENTER AND
CORRIDOR AREAS**

A recommendation of the City of Spokane Plan Commission to the City Council to approve amendments to Title 17 of the Spokane Municipal Code to add Center and Corridor zones to the identified areas in Spokane where Historic Preservation review is required when demolition is proposed. Also modifying aspects of the Historic Preservation code to conform with the requirements 2023 House Bill 1293. Specifically, amending 17D.100.230 Demolition Permits for Historic Structures in the Downtown Boundary Area and National Register Historic Districts, and other matters properly related thereto.

FINDINGS OF FACT:

- A. The City of Spokane adopted a Comprehensive Plan in May of 2001 that complies with the requirements of the Growth Management Act (GMA) as set forth in RCW 36.70A.
- B. The proposed text amendments are mandated by State Legislature in order to be in compliance with House Bill 1293 which streamlines development regulations, including a requirement that design review use “clear and objective” standards, in order to expedite the construction permitting process.
- C. Consistency with House Bill 1293 is a requirement on the Periodic Update Checklist for Fully-Planning Cities and advances our work on the required Periodic Update to the Comprehensive Plan 2026 and the required development code amendments.
- D. Public notice and communication began in August 2024 and included the following:
 - 1. A Plan Commission workshop on August 28, 2024.
 - 2. A Plan Commission workshop on September 11, 2024.
 - 3. A public open house on September 18, 2024.
 - 4. A Spokane Historic Landmarks Commission meeting on September 18, 2024.
 - 5. A public virtual open house on September 19, 2024.
 - 6. A Plan Commission Public Hearing on October 9, 2024.
- E. Three public and agency comments were received and considered by the Plan Commission.
- F. On August 28, 2024 and September 11, 2024, the City of Spokane Plan Commission held workshops to discuss draft language, and review and evaluate with city staff alternatives to proposed text changes.
- G. On August 08, 2024, the Washington State Department of Commerce and appropriate state agencies were given the required 60-day notice before adoption of proposed changes to the Unified Development Code pursuant to RCW 36.70A.106.

- H. On August 16, 2024, a State Environmental Policy Act (SEPA) Checklist was issued for this proposal.
- I. On August 28, 2024, Notice of Intent to Adopt was published in the City Council Gazette.
- J. On September 19, 2024, a SEPA Determination of Non-Significance (DNS) was issued for the proposal. The deadline to appeal the SEPA determination was October 3, 2024. No comments pertaining to the DNS were received.
- K. A legal notice of public hearing was published in the *Spokesman-Review* on September 23, 2024 and September 30, 2024.
- L. The proposed text amendments were drafted and reviewed consistent with the requirements of RCW 36.70A.370 to assure protection of private property rights.
- M. Amendments to the Unified Development Code Title 17 are subject to the review and recommendation by the City of Spokane Plan Commission.
- N. The Plan Commission held a public hearing on October 9, 2024, to obtain public comments on the proposed amendments. No comments were received.
- O. The City of Spokane Plan commission adopts the findings and analysis set forth in the staff report prepared for the proposal.
- P. The City of Spokane Plan Commission finds that the proposed text amendments meet the decision criteria established in SMC 17G.025.010(G).

CONCLUSIONS:

Based upon the draft text amendments, staff report and analysis (which is hereby incorporated into these findings, conclusions, and recommendations), SEPA review, agency and public comments received, and public testimony presented, the Spokane Plan Commission makes the following conclusions with respect to the proposed code amendments:

- 1. The Plan Commission finds that the proposed amendments bear a substantial relation to the public health, safety, welfare, and protection of the environment pursuant to the requirements outlined in SMC 17G.025.010(G).
- 2. The proposed text amendments will implement the goals and policies of the City of Spokane Comprehensive Plan.
- 3. Interested agencies and the public have had opportunities to participate throughout the process and persons desiring to comment were given an opportunity to comment.
- 4. The Plan Commission finds that the proposed amendments are consistent with the applicable provisions of the Comprehensive Plan.

RECOMMENDATION:

In the matter of the ordinances pertaining to the proposed text amendments, amending the Unified Development Code of the City of Spokane.

As based on the above listed findings and conclusions, the Spokane Plan Commission takes the following actions:

1. By a unanimous vote recommends to the Spokane City Council the **APPROVAL WITH MODIFICATIONS** of the proposed amendments to Section 17D.100.230 Demolition Permits for Historic Structures in the Downtown Boundary Area and National Register Historic Districts.
 - a. Amend the proposed language in 17D.100.230(E)(2)(c) to read:
Where property is within a Centers and Corridors zone or the Downtown Boundary Area and also within a National Register Historic District, the requirements under subsection (a) shall govern. The maximum size of the replacement structure shall be as determined by the underlying zoning of the area.
 - b. Strike the proposed language in 17D.100.230(E)(1)(b) to remove the requirement that the new construction be located on the footprint of the demolished building.
2. Authorizes the President to prepare and sign on the Commission's behalf a written decision setting forth the Plan Commission's findings, conclusions, and recommendations on the proposed amendments.

Greg Francis

[Greg Francis \(Oct 22, 2024 15:15 PDT\)](#)

Greg Francis, President

Spokane Plan Commission

Date: Oct 22, 2024







PC Findings and Conclusions 17D.100.230

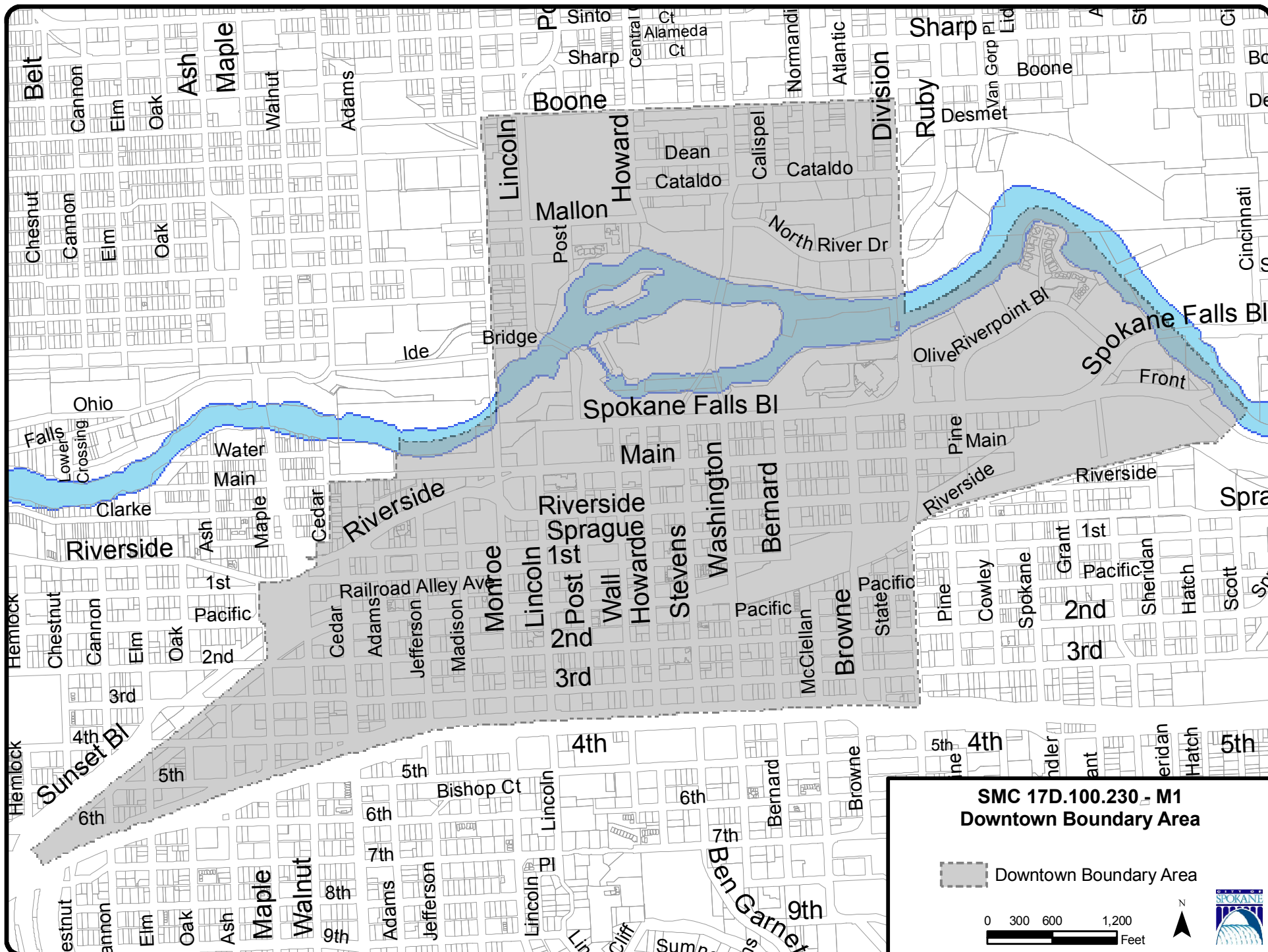
Final Audit Report

2024-10-22

Created:	2024-10-22
By:	Angela McCall (amccall@spokanecity.org)
Status:	Signed
Transaction ID:	CBJCHBCAABAAGz8ANq7MWTBH9apQxOssYXpxRCy5Sfhr

"PC Findings and Conclusions 17D.100.230" History

-  Document created by Angela McCall (amccall@spokanecity.org)
2024-10-22 - 6:14:32 PM GMT
-  Document emailed to gfrancis@spokanecity.org for signature
2024-10-22 - 6:15:06 PM GMT
-  Email viewed by gfrancis@spokanecity.org
2024-10-22 - 10:14:19 PM GMT
-  Signer gfrancis@spokanecity.org entered name at signing as Greg Francis
2024-10-22 - 10:15:34 PM GMT
-  Document e-signed by Greg Francis (gfrancis@spokanecity.org)
Signature Date: 2024-10-22 - 10:15:36 PM GMT - Time Source: server
-  Agreement completed.
2024-10-22 - 10:15:36 PM GMT



Findings of Fact and Decision for Spokane City Council Review

Changes to SMC 17D.100.230

Adding Centers and Corridors to Historic Preservation review of proposed demolition of historic properties; updates to comply with state law; and papercuts

A recommendation of the Spokane Historic Landmarks Commission to Spokane City Council to approve amendments to Title 17 of the Spokane Municipal Code to add Center and Corridor zones to the identified areas in Spokane where Historic Preservation review is required when demolition is proposed. The proposal also modifies aspects of the Historic Preservation code to conform with the requirements 2023 House Bill 1293. Specifically, amending 17D.100.230 Demolition Permits for Historic Structures in the Downtown Boundary Area and National Register Historic Districts, and other matters properly related thereto.

FINDINGS OF FACT

1. SMC Section 04.35.080.A.4 and B.2.c: “Advise the council and board on matters of history, historic planning and preservation;” and “review and comment to the council or board on land use, housing and redevelopment, municipal improvement and other types of planning and programs undertaken by any agency of City or County government, other neighboring communities, the state or federal governments, as they relate to historic resources in Spokane and Spokane County.”

- The Landmarks Commission has a duty to review and comment on proposed changes to land use decisions as they relate to historic resources in Spokane. Since the proposed changes to SMC 17D.100.230 are directly related to historic resources, it is the commission’s responsibility to advise the council on this matter.

2. SMC Section 17D.100.230: “No demolition permits for structures that are listed or eligible to be listed on the National or Local Register of Historic Places located in the area shown on Map 17D.100.230-M1, Downtown Boundary Area, and in all National Register Historic Districts shall be issued unless the structure to be demolished is to be replaced with a replacement structure that is approved by the commission.”

- The City of Spokane and the Landmarks Commission have previously recognized the importance of protecting historic properties in our urban core. Centers and Corridors are a natural extension of this type of review because centers and corridors are often like tiny downtowns.
- The Planning Department conducted a study of Centers and Corridors in 2024 and concluded that: “there are currently few protections against the demolition of historic buildings within the urban fabric of some historic Centers. Placing appropriate controls on demolition of historic structures in Centers and Corridors and standards that support adaptive re-use can help ensure historic structures support the development of a sense of place in centers, linking these areas past and its future.”

3. Washington House Bill 1293 (2023-2024): “Counties and cities planning under RCW 36.70A.040 may apply in any design review process only clear and objective development regulations governing the exterior design of new development.”

- The Spokane Historic Preservation office is eager to come into compliance with a new state law that makes some provisions in SMC 17D.100.230 in conflict with state law. These proposed changes which abandon subjective design review for objective review of size, siting, and materials will bring this SMC in compliance with objective design review provisions well before the 2026-27

deadline.

- The objective design review contemplated in this ordinance is limited in scope and will only apply when a building that is eligible for listing on the Spokane Register of Historic Places is demolished.

4. Spokane Comprehensive Plan DP 3.10 Zoning Provisions and Building Regulations: “Utilize zoning provisions, building regulations, and design standards that are appropriate for historic districts, sites, and structures. *Discussion: Regulations are tools that can and should be used to promote preservation and renovation rather than demolition. City Departments such as Building, Planning and Development, Engineering, Parks and Recreation, and Streets should include Historic Preservation in their plans, policies, regulations and City of Spokane Comprehensive Plan operations. Examples include retaining favorable zoning options (Historic Conditional Use Permits and Historic District Overlay Zones), and encouraging the use of form based codes and special building codes like the historic building sections of the International Building Code (IBC) and International Existing Building Code (IEBC) in development projects involving historic properties and historic districts*”

- The proposed changes to SMC 17D.100.230 are a perfect example of utilizing appropriate zoning provisions, building regulations, and design standards to promote preservation and renovation rather than demolition.

5. SMC Section 17G.025.010: “Amendments to Title 17 SMC require a public hearing before the plan commission.”

- The Spokane City Plan Commission made a recommendation in favor of the proposed changes to 17D.100.230 on October 9, 2024, HOWEVER, they made two amendments to the proposal before making the recommendation. The two amendments they made were:
 - Amend the proposed language in 17D.100.230(E)(2)(c) to read: Where property is within a Centers and Corridors zone or the Downtown Boundary Area and also within a National Register Historic District, the requirements under subsection (a) shall govern. The maximum size of the replacement structure shall be as determined by the underlying zoning of the area.
 - Strike the proposed language in 17D.100.230(E)(1)(b) to remove the requirement that the new construction be located on the footprint of the demolished building.
- The Spokane Historic Landmarks Commission is opposed to the amendments proposed by the Plan Commission because they abandon a thoughtful and careful compromise between the Planning Department and Historic Preservation Department.
- The compromise between Planning and Historic Preservation staff balanced high density development with protecting historic structures where National Register Historic Districts overlap with Downtown and Centers and Corridors. The Landmarks Commission views that compromise as integral to the effectiveness of these proposed changes to SMC 17D.100.230.
- The requirement to locate a replacement structure on the site so that it encompasses the footprint of the historic building to be demolished will help to ensure that the replacement structure has limited disruption to the sense of place while simultaneously allowing for flexibility when the demolished historic building’s footprint was not consistent with the surrounding context.

6. Washington State and City of Spokane Notice and Review Requirements: Public notice and communication began in August 2024 and included the following:

- A notice of intent to adopt was made to Department of Commerce on August 8, 2024.
- A SEPA Checklist was issued for this proposal on August 16, 2024.

- A Plan Commission workshop on August 28, 2024.
- A Notice of Intent to Adopt was published in the City Council Gazette on August 28, 2024.
- A Plan Commission workshop on September 11, 2024.
- A public open house on September 18, 2024.
- A Spokane Historic Landmarks Commission meeting on September 18, 2024.
- A public virtual open house on September 19, 2024.
- A SEPA Determination of Non-Significance (DNS) was issued for the proposal on September 19, 2024. The deadline to appeal the SEPA determination was October 3, 2024. No comments pertaining to the DNS were received.
- A legal notice of public hearing was published in the Spokesman-Review on September 23, 2024 and September 30, 2024.
- A Plan Commission Public Hearing on October 9, 2024.
- A Spokane Historic Landmarks Commission Public Hearing on October 16, 2024.

RECOMMENDATION

This recommendation is on the matter of the ordinance pertaining to the proposed text amendments which will amend section 17D.100.230 of the Unified Development Code of the City of Spokane which include the city's Historic Preservation regulations.

As based on the above listed findings, the Spokane Historic Landmarks Commission takes the following actions:

The Spokane Historic Landmarks Commission recommends by unanimous vote that Spokane City Council approve the proposed amendments to Section 17D.100.230 Demolition Permits for Historic Structures in the Downtown Boundary Area and National Register Historic Districts. The Landmarks Commission recommends approving the ordinance as it was prepared collaboratively between Historic Preservation and Planning Staff and to not incorporate the amendments recommended by Plan Commission. The motion was made, seconded, and unanimously approved at the regularly scheduled October 16, 2024 meeting of the Spokane Historic Landmarks Commission. The approved motion is:

- Mac McCandless moved, based on Findings of Fact, that the proposed change to SMC 17D.100.230 further important goals to protect historic resources that are outlined in Chapter 4 and Chapter 17 of the Municipal Code, the City of Spokane Comprehensive Plan, and in state law. The Spokane Historic Landmarks Commission recommends that the proposal be forwarded to the Spokane City Council with the ordinance language that was prepared collaboratively by Planning and Historic Preservation staff. Jill-Lynn Nunemaker seconded; motion carried unanimously. (7-0)

[VERSION RECOMMENDED BY HISTORIC LANDMARKS COMMISSION]

Section 17D.100.230 Demolition Permits for Historic Structures in the Downtown Boundary Area ~~((and))~~, National Register Historic Districts, and Centers and Corridors

A. Definitions.

1. Building Footprint.

As defined in SMC 17A.020.020.

2. Floor Area.

As defined in SMC 17A.020.060.

B. Where This Section Applies.

1. The requirements of this section only apply to structures that are listed or eligible to be listed on the National or Local Register of Historic Places;

and

2. This section only applies to structures in the following areas:

a. The Downtown Boundary Area shown in Map 17D.100.230-M1; or

b. Land zoned as Center and Corridor (as defined in SMC 17C.122 Center and Corridor Zones); or

c. Within a National Register Historic District.

3. Structures listed as Historic Landmarks or Contributing Resources within Spokane Register Historic Districts are addressed in SMC 17D.100.220 and are not subject to the requirements of this section.

4. This section shall not apply to orders of the building official or fire marshal regarding orders that a structure be demolished due to public health, safety, or welfare concerns.

C. Determination of Eligibility.

1. Administrative Determination.

The HPO may administratively determine that a structure proposed for demolition is not eligible for listing and may waive requirements for the submission of an eligibility document.

2. Determination from Spokane Historic Landmarks Commission.

Eligibility shall be determined by the Spokane Historic Landmarks Commission within thirty (30) days of the submission of the application for a demolition permit and a completed determination of eligibility document. The applicant shall be responsible to submit a determination of eligibility demonstrating the ineligibility of the structure based upon the National Register Criteria for Evaluation (36 CFR 60). Applications for structures that are determined not to be listed or eligible to be listed on a National or Local Register of Historic Places shall be processed pursuant to existing regulations for non-historic buildings.

D. Limitation on Issuance of Demolition Permit.

~~((A.))~~ No demolition permits ~~((for structures that are listed or eligible to be listed on the National or Local Register of Historic Places located in the area shown on Map 17D.100.230-M1, Downtown Boundary Area and in all National Register Historic Districts))~~ shall be issued unless the structure to be demolished is to be replaced with a replacement structure that is administratively approved ~~((by the commission))~~ through a Certificate of Appropriateness under the ~~((following))~~ criteria provided herein.~~((:))~~

E. Criteria for Certificate of Appropriateness.

1. Building Footprint of Replacement Structure.

- a. The replacement structure shall have a Building Footprint equal to or greater than the Building Footprint of the landmark structure to be demolished.
- b. The footprint of the new construction shall be located on the footprint of the demolished building.
- c. Requirements for the size of the Building Footprint or the location of the Building Footprint may be modified by the Historic Preservation Officer and Planning Director if it is determined that:
 - i. An alternative size or location is more consistent with the intent of the zoning requirements on the property; and

- ii. The requirements related to the size or footprint do not serve the public interest for preserving the historic character of a place.

2. Floor Area for Replacement Structure.

a. Downtown Boundary Area or Centers and Corridors Zones.

The replacement structure shall have a Floor Area equal to or greater than one hundred percent (100%) of that of the eligible or listed structure(s) to be demolished. The maximum size of the replacement structure shall be as determined by the underlying zoning of the area.

b. National Register Historic Districts.

- ~~((1. The replacement structure shall have a footprint square footage equal to or greater than the footprint square footage of the landmark structure to be demolished. The replacement structure must also have a floor area ratio equal to or greater than 60% of that of the landmark structure to be demolished. The square footage of the footprint may be reduced:))~~

The replacement structure shall have a Floor Area equal to or greater than seventy-five percent (75%) and not larger than one hundred fifty percent (150%) of that of the contributing structure(s) to be demolished.

c. Overlap of National Register Historic District with Downtown Boundary Area or Centers and Corridors Zone.

- i. For property within a National Register Historic District and also with the Downtown Boundary Area or a Centers and Corridors Zone, the replacement structure shall have a Floor Area equal to or greater than seventy-five percent (75%) and not larger than two hundred percent (200%) of that of the contributing structure(s) to be demolished.
- ii. In cases where another section of Title 17 imposes a minimum Floor Area that exceeds two hundred percent (200%) of the contributing structure to be demolished, the minimum Floor Area of the other section plus ten percent (10%) shall become the new maximum Floor Area of the replacement structure.

- ~~((a. — to accommodate an area intended for public benefit, such as public green space and/or public art;~~
- ~~b. — if the owner submits plans in lieu for review and approval by the City's design review board subject to applicable zoning and design guidelines; and~~
- ~~c. — if the replacement structure is, in the opinion of the HPO and the commission, and in consultation with the Design Review Board, compatible with the historic character of the Downtown Boundary Area or National Register Historic District, as appropriate.))~~

3. Building Materials.

Exterior materials of the replacement structure shall be in keeping with the surrounding historic structures. Appropriate materials include brick, stone, wood, or similar.

4. Building Permit for Replacement Structure.

No demolition permit shall be issued until a building permit for the replacement structure has been accepted, processed, and issued.

- ~~((2. — Any replacement structure under this section shall satisfy all applicable zoning and design guidelines, and shall be considered by the commission within thirty days of the commission's receipt of an application for a certificate of appropriateness concerning the building for which a demolition permit is sought.~~
- ~~3. — A building permit for a replacement structure under this section must be accepted, processed, and issued prior to the issuance of the demolition permit. In the alternative, the owner may obtain a demolition permit prior to the issuance of the building permit if the owner demonstrates to the satisfaction of the director of building services, in consultation with the HPO, that the owner has a valid and binding commitment or commitments for financing sufficient for the replacement use subject only to unsatisfied contingencies that are beyond the control of the owner other than another commitment for financing; or has other financial resources that are sufficient (together with any valid and binding commitments for financing) and available for such purpose.))~~

5. Financial Commitment.

The applicant shall demonstrate to the satisfaction of the Director of the Developer Services Center (DSC), in consultation with the Historic Preservation Officer, that there is a valid and binding commitment for

financing (such as a term sheet or MOU) for the construction of the replacement structure.

6. Deviations from Criteria.

Deviations from these may be approved by the Historic Preservation Officer in consultation with the Planning Director at their discretion.
Deviations may be less restrictive and shall not be more restrictive.

- ~~((B. Eligibility shall be determined by the commission within thirty (30) days of the submission of the application for a demolition permit. The applicant shall be responsible to submit a determination of eligibility demonstrating the ineligibility of the structure based upon the National Register Criteria for Evaluation (36 CFR 60). Applications for structures that are determined not to be listed or eligible to be listed on a National or Local Register of Historic Places shall be processed pursuant to existing regulations.~~
- ~~C. This section shall not apply to orders of the building official or fire marshal regarding orders that a structure be demolished due to public health, safety, or welfare concerns.~~
- ~~D. If the commission issues a certificate of appropriateness for the demolition of an building on the national register or located within the downtown boundary zone, such certificate shall include conditions such as:~~
- ~~1. any temporary measures deemed necessary by the commission for the condition of the resulting property after the demolition, including, without limitation, fencing or other screening of the property;~~
 - ~~2. the provision of ongoing, specific site security measures;~~
 - ~~3. salvage of any historically significant artifacts or fixtures, determined in consultation with the HPO prior to demolition;~~
 - ~~4. limitations on the extent of the demolition permitted, such that only non-historically significant portions of the property are subject to demolition;~~
 - ~~5. if construction on a replacement structure is not commenced on the site within six (6) months of the issuance of the certificate, the owner must landscape the site for erosion protection and weed control and provide for solid waste clean-up;~~
 - ~~6. abatement of any hazardous substances on the property prior to demolition;~~
 - ~~7. requirement for dust control during the demolition process; and~~
 - ~~8. that the certificate of appropriateness for demolition of the building is valid for three months.))~~

F. Conditions of Approval.

A Certificate of Appropriateness may be issued administratively for the demolition of a structure under this section subject to these conditions:

1. salvage of any historically significant artifacts or fixtures, determined in consultation with the HPO prior to demolition; and
2. the certificate of appropriateness for demolition of the building is valid for three months.

G. Review Period.

Administrative review of the replacement structure by the HPO will be completed within 10 business days of receipt of a completed application that addresses all requirements of this section.

H. Other Codes Apply.

Before a demolition permit is issued, all other relevant codes shall be met.

Coe, Melanie

From: Byrd, Giacobbe
Sent: Monday, December 9, 2024 6:51 PM
To: City Council Testimony
Subject: FW: Historic Preservation Topic - Centers and Corridors

From: Matthew Hurd <matthewh@communityframeworks.org>
Sent: Monday, December 9, 2024 3:30 PM
To: Byrd, Giacobbe <gbyrd@spokanecity.org>; Bingle, Jonathan <jbingle@spokanecity.org>
Cc: Davis, Candi L. <cldavis@spokanecity.org>
Subject: Re: Historic Preservation Topic - Centers and Corridors

[CAUTION - EXTERNAL EMAIL - Verify Sender]

Thank you. I will be sure to sign up. I may also submit a written record.

Noted that I am generally in favor of requiring that a replacement building be permit-ready before the historic or architecturally significant building is torn down (the exception being for obvious blight and nuisance properties). However, I do not believe replacement structures should be limited in height by what was historically present, or even what is adjacent. Rather the building and zoning codes in the area should be the prevailing determinant of both height and footings. I do think a compromise could be implemented about the utilization of congruent materials (up to 3 or 4 stories), in order to tie to a specific/historic pedestrian feel and activation.

I'll even use the Carr building as a perfect example. I've seen the inside of that place & it will take A LOT of money to reprogram and put the full building back into use. Also, the Jefferson is going to get popped first since it has already been gutted - and even that place just can't get legs as is. Carr is more likely to just sit and rot until someone decides to knock it down after it becomes less savable - which makes me sad. If it was knocked down, under the proposed ordinance, it could only be replaced with a 6-story building (200% of 3 stories). But at that location right now, we might be able to get a 7-story building (2 stories of concrete podium deck for parking and/or retail & then 5 stories of wood). 7 stories is potentially feasible. That last story might prove to be what makes the building pencil - and there could still be requirements to clad the building in an era appropriate brick veneer. And with CLT super tall buildings the potential to hit 10 to 14 stories and higher exists now (at lower costs per square foot than steel and glass), but it is not likely to happen in Spokane any time soon, but is fairly common in Portland, Seattle, and even Boise. Spokane is difficult to pencil a deal above 4 stories right now, but if/when we can it will be in a centers and corridors zone that it makes the most sense.

Let's not kneecap ourselves if we can avoid it. Remove the height maximum but go ahead and keep the replacement requirement and potentially add in a required height to maintain visual continuity with district buildings (but even end that requirement at 2, 3, or even 4 stories. Let's save what can and should be saved, but not hold development hostage to the ghosts of dead buildings.

Cheers, MH

Matthew Hurd, MRED

Community Frameworks / Housing Developer

907 W. Riverside Ave. Spokane, WA 99201

matthewh@communityframeworks.org

Direct Line: 509-890-1214



**Agenda Sheet for City Council:****Committee:** Public Safety **Date:** 01/06/2025**Committee Agenda type:** Discussion**Date Rec'd**

12/26/2024

Clerk's File #

ORD C36634

Cross Ref #**Project #****Council Meeting Date:** 01/27/2025**Submitting Dept**

MAYOR

Bid #**Contact Name/Phone**

MAGGIE 6753/6779

Requisition #**Contact E-Mail**

MYATES@SPOKANECITY.ORG/AMCD

Agenda Item Type

First Reading Ordinance

Council Sponsor(s)

ZZAPPONE BWILKERSON PDILLON

Sponsoring at Administrators Request

NO

Lease? NO**Grant Related?** NO**Public Works?** NO**Agenda Item Name**

ORDINANCE RELATING TO CREATING AN ALCOHOL IMPACT AREA

Agenda Wording

An ordinance relating to creating an Alcohol Impact Area within specific boundaries of the City of Spokane; adopting a new Chapter 10.82 of the Spokane Municipal Code.

Summary (Background)

Due to internal and external regulatory gaps this administration recommends an alcohol impact area within the downtown police precinct area as a public safety policy with a documented track record of reducing violent crime, shrinking narcotics violations, and lessening waste and litter on streets and right of ways in the city of Spokane

What impacts would the proposal have on historically excluded communities?

See legislative findings.

How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

The City of Spokane intends to use emergency medical services data, crime statistics, and public health information to establish a geographical area in the City of Spokane as a Community Health Impact Area to target policy and programmatic resources that mitigate the disproportionate public health and secondary neighborhood impacts of the addiction crisis.

How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?

The City shall publish on the City website quarterly data from the community health impact area. Data shall include but is not limited to likely overdose calls for service, crime statistics, and other relevant data.

Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

This ordinance aligns with WAC 314-12.

Council Subcommittee Review

Fiscal Impact			
Approved in Current Year Budget? N/A			
Total Cost		\$	
Current Year Cost		\$	
Subsequent Year(s) Cost		\$	
<u>Narrative</u>			
Amount		Budget Account	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Funding Source			
Funding Source Type Select			
Is this funding source sustainable for future years, months, etc?			
Expense Occurrence			
Other budget impacts (revenue generating, match requirements, etc.)			
Approvals		Additional Approvals	
<u>Dept Head</u>	SCOTT, ALEXANDER		
<u>Division Director</u>			
<u>Accounting Manager</u>	BUSTOS, KIM		
<u>Legal</u>	SCHOEDEL, ELIZABETH		
<u>For the Mayor</u>	PICCOLO, MIKE		
Distribution List			
		amcdaniel@spokanecity.org	
myates@spokanecity.org			

ORDINANCE NO. C36634

An ordinance relating to creating an Alcohol Impact Area within specific boundaries of the City of Spokane; adopting a new Chapter 10.82 of the Spokane Municipal Code.

WHEREAS, the Washington Administrative Code (WAC) Section 314-12- 215 provides that, as a condition precedent to the City requesting that the Washington State Liquor Control Board enact additional restrictions on off premises alcohol sales within an area of the City adversely affected by chronic public inebriation or illegal activity associated with alcohol sales or consumption, an ordinance must designate such an area as an Alcohol Impact Area (AIA); and

WHEREAS, the City seeks to establish a downtown AIA within the boundaries of the downtown police precinct area; and

WHEREAS, illegal activity associated with alcohol sales and consumption within the AIA is contributing to the deterioration of the general quality of life within the AIA and threatens the welfare, health, peace, or safety of the area's residents and visitors; and

WHEREAS, there is a pervasive pattern of alcohol-related incidents within the AIA and within 1,000 feet of licensed off-premises alcohol outlets documented in crime statistics, police reports, emergency medical response data, code enforcement reports, and other similar records maintained by law enforcement and public health agencies; and

WHEREAS, alcohol-related incidents within the proposed AIA are up more than 60% over the last three years; and

WHEREAS, the City's previous AIAs in downtown and in East Central were found by public health researchers to reduce crime including narcotic drug violations and assaults; and

WHEREAS, over 30% of alcohol-related incidents between December 15, 2021, and December 15, 2024 took place between 12:00am and 2:00am; and

WHEREAS, the City is spending hundreds of thousands of dollars addressing the litter and solid waste issues within the AIA where single-serve alcohol containers are a significant source of the litter; and

WHEREAS, the City has met with neighborhood leaders, public health professionals, non-profit providers, and business organizations located within the proposed AIA for the purpose of developing solutions to the illegal activity associated with off-premises alcohol sales and consumption within the AIA; and

WHEREAS, the Downtown Spokane Partnership, representing the downtown business improvement district, requests the [re]establishment of an alcohol impact area downtown to address illegal activity associated with off-premises alcohol sales; and

WHEREAS, the rationale for the City to establish an AIA is to reduce the illegal activities associated with alcohol sales and consumption within the proposed AIA in order to protect the public safety, health and welfare; and

WHEREAS, the City intends to make good faith efforts for at least six months to mitigate the effects of chronic public inebriation and illegal activity associated with alcohol sales and consumption within the AIA through voluntary efforts that include coordinated and cooperative efforts with business, community and neighborhood associations to promote business practices that reduce chronic public inebriation and promote public welfare, health, peace, and safety; and

WHEREAS, notification has been given to all Washington State Liquor and Cannabis Board off-premises liquor licensees selling single-serve containers and/or selling liquor between the hours of 12:00am and 2:00am about the proposed alcohol impact area and about the negative effects off-premises alcohol sales are having on residents and visitors in downtown Spokane; and

WHEREAS, additional notification will be given to all Washington State Liquor and Cannabis Board off-premises liquor licensees within the AIA of voluntary remedies available to them to resolve the problem; and

WHEREAS, the City may meet with the off-premises sale licensees located within the AIA, as well with other interested parties, to develop and promote voluntary efforts to reduce chronic public inebriation and illegal activity associated with off-premises alcohol sales and consumption; and

WHEREAS, should the voluntary remedies fail to significantly reduce the impact of chronic public inebriation and illegal activity associated with alcohol sales and consumption within the AIA, the City will petition the Liquor and Cannabis Board to recognize the alcohol impact area.

NOW, THEREFORE, the City of Spokane does ordain:

Section 1. That a new Chapter 10.82 of the Spokane Municipal Code is created to read as follows:

Chapter 10.82 Alcohol Impact Areas

Section 10.82.010 Purpose

The purpose of an Alcohol Impact Area is for local authorities to have a process to mitigate problems with chronic public inebriation or illegal activities linked to the sale or consumption of alcohol within a geographic area of their city, town or county, but not the

entire jurisdiction. An Alcohol Impact Area is designated by geographical boundaries as defined in Washington Administrative Code Chapter 314-12-015.

Section 10.82.020 Establishment of Alcohol Impact Areas

Upon the identification of problems related to chronic public inebriation or illegal activities linked to the sale or consumption of alcohol within a geographic area, the City may establish an alcohol impact area by first attempting a voluntary Alcohol Impact Area. If the voluntary Alcohol Impact Area does not reduce problems in that area, the City may then petition the Liquor and Cannabis Board to request that the Board adopt a resolution creating a state-recognized Alcohol Impact Area which is mandatory.

Section 10.82.030 Alcohol Impact Area in Spokane's Downtown Police Precinct

The geographical area encompassing the Spokane Police Department's Downtown Precinct is declared to be alcohol impact area as defined by WAC 314.12.215. This geographical area is shown in Exhibit A. The boundaries shall include properties located on both sides of the public right-of-way that constitute the boundaries of the alcohol impact area as further depicted on the attached map.

PASSED by the City Council on _____

Council President

Attest:

Approved as to form:

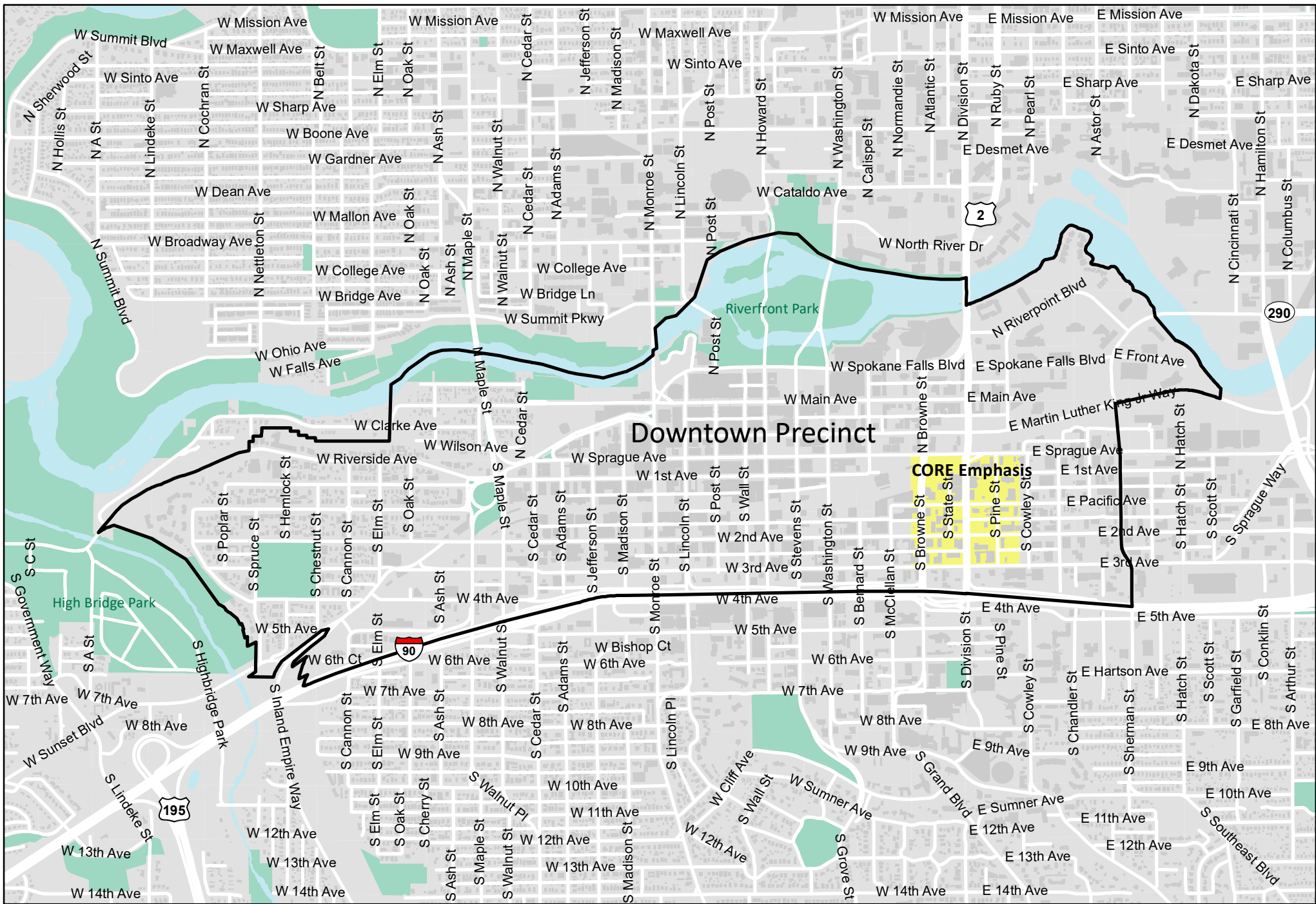
City Clerk

City Attorney

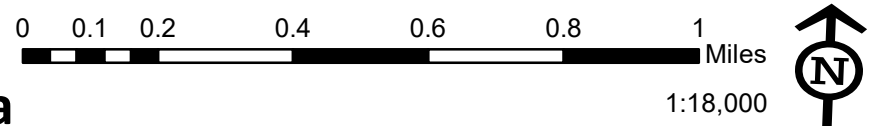
Mayor

Date

Effective Date



City of Spokane
Downtown Precinct with CORE Emphasis Area





Memorandum

Office of the Mayor

DATE: December 26, 2024

FROM: Adam McDaniel – Policy Advisor, Office of the Mayor

TO: Councilmember Paul Dillon – Chair, Public Safety and Community Health Committee

RE: Alcohol Impact Area | Community Health Impact Area

This memo recommends potential public health and crime reduction strategies to address the secondary impacts of addiction. This memo identifies both internal and external regulatory gaps and ultimately recommends an alcohol impact area within the downtown police precinct area as a public safety policy with a documented track record of reducing violent crime, shrinking narcotics violations, and lessening waste and litter on streets and right of ways in the city of Spokane. This memo also recommends a policy for expanding naloxone distribution to address the overdose crisis impacting the downtown police precinct area.

Executive Summary – Alcohol Impact Area

I. **Background:** The previous administration inadvertently repealed a pre-existing alcohol impact area, which regulated the sale of certain single use alcohol products for off-premises consumption.

II. **Issue:** The sale of single serve alcohol products for off-premises consumption creates dangerous public health and public safety outcomes, disproportionately impacting poor communities and communities of color.

III. Policy Recommendations

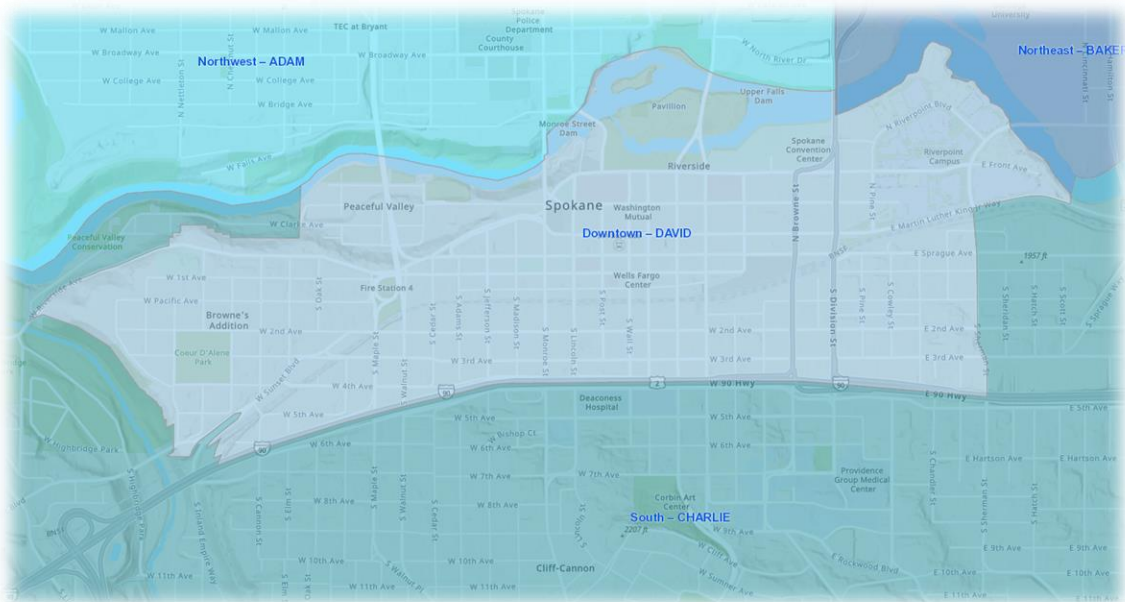
Reestablish an alcohol impact area for downtown Spokane to match the boundaries on the Spokane Police Department's downtown precinct.



2nd Avenue and Maple Street – October 23, 2024

Downtown Police Precinct Area

Census Tract 35, Census Tract 36.01, Census Tract 36.02, and a small part of Census Tract 145 fall within the Spokane Police Department's downtown precinct area. The downtown precinct borders I-90 to the south, the Spokane River to the north, Latah Creek/High Bridge Park to the west, and Sherman Avenue to the east.



Census Tracts 35, 36.01 and 36.02 encompass the Riverside, Peaceful Valley, and Browne's Addition neighborhoods, respectively. Over 9,000 Spokane residents live in these three census



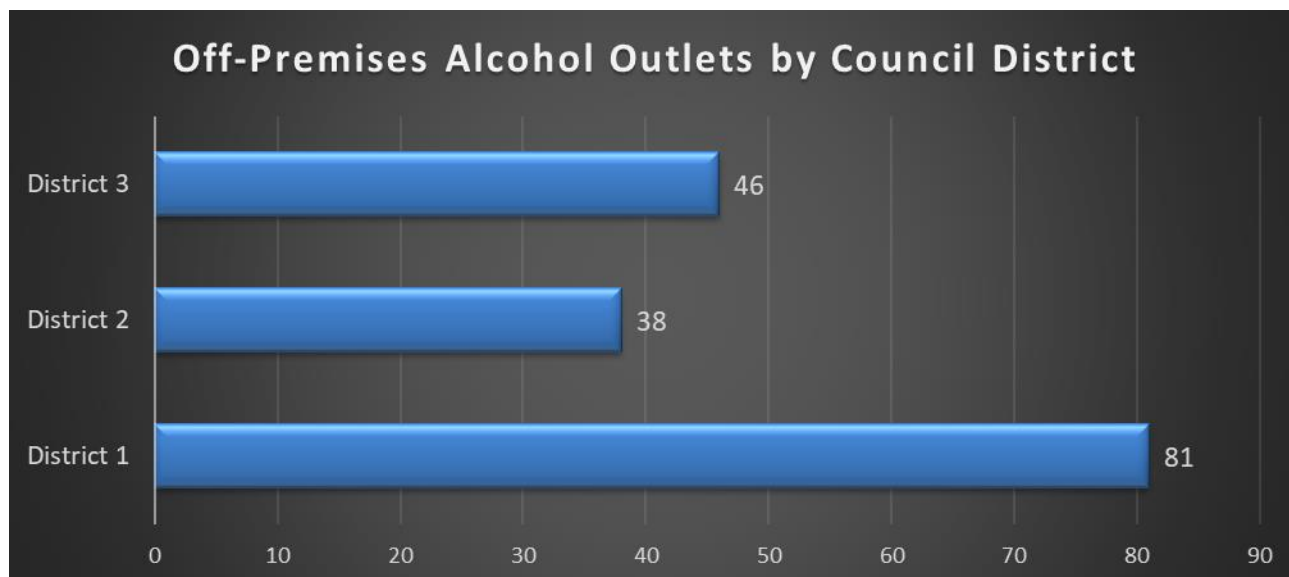
tracts – a population larger than the city of Medical Lake. These neighborhoods are racially more diverse than most other neighborhoods and have high Social Vulnerability Index (SVI) scores as measured by the Centers for Disease Control and Prevention (Agency for Toxic Substances and Disease Registry, 2024). Half of residents in the Riverside Neighborhood (Census Tract 35) live below the federal poverty line. Census Tract 35 has the lowest median household income of any census tract in the city, and all three neighborhoods have unemployment rates higher than the citywide rates.

Nearly 95% of Census Tract 35 residents are renters, and more than a quarter of residents in both Riverside and Browne’s Addition neighborhoods lack access to a vehicle (U.S. Census Bureau, 2024). Most of the downtown area is considered a food desert (Spokane Food Policy Council, 2016). Some residents formerly utilized the Rite Aid along Howard Street for basic food and grocery items but the store’s closure in 2023 necessitates many residents to depend on other off-premises alcohol outlets for basic food items. If Main Market Co-op closes, dependence on off-premises alcohol outlets for necessities will grow even greater (Billingham, 2024). Currently, nine of the fourteen SNAP retailers within the downtown police precinct area are convenience stores (U.S. Department of Agriculture, 2024).

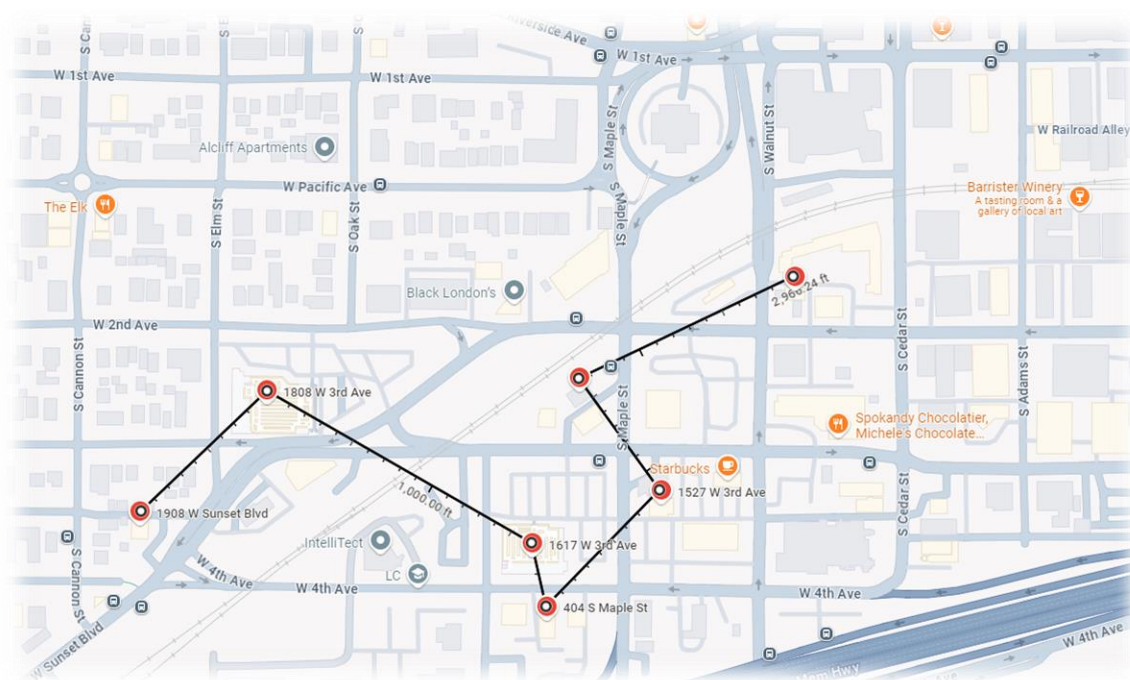
Historically, the Riverside Neighborhood suffered from the highest violent crime rate of any area in Spokane County while Browne’s Addition had the fourth highest violent crime rate in the county (Spokane Regional Health District, 2017). Current crime statistics show a reduction in violent crime year-to-date within the downtown police precinct area, however downtown Spokane is perceived as being “unsafe” (Greater Spokane Inc., 2024). The perception that downtown Spokane is “unsafe” has compounding social capital impacts on the residents living in these neighborhoods (Theall, Scribner, Cohen, Schonlau, & Farley, 2009). This perception may slow the physical property investments critical to improving public safety and enhancing public health within the neighborhood (Walter, Acolin, & Marie, 2024).

Off-Premises Alcohol Outlets (Liquor Stores/Convenience Stores)

Off-premises alcohol outlets include liquor stores and convenience stores selling liquor and high-octane alcohol products where patrons buy the alcohol to be consumed off-premises. As of early October 2024, there were 145 off-premises alcohol outlets licensed by the Washington State Liquor and Cannabis Board (LCB) or going through the licensing process in the city of Spokane. More than half of all off-premises alcohol outlets were in City Council District 1.



Multiple studies show that off-premises alcohol outlets are disproportionately located in communities with lower incomes and in neighborhoods with a higher percentage of non-white residents (Romley, Cohen, Ringel, & Sturm, 2007). The Riverside and Browne's Addition neighborhoods have nearly three off-premises alcohol outlets for every 1,000 residents. Contrast this with the Southgate neighborhood, which boasts only 0.38 off-premises alcohol outlets for every 1,000 residents and Indian Trail which has 0.50 off-premises alcohol outlets for every 1,000 residents.



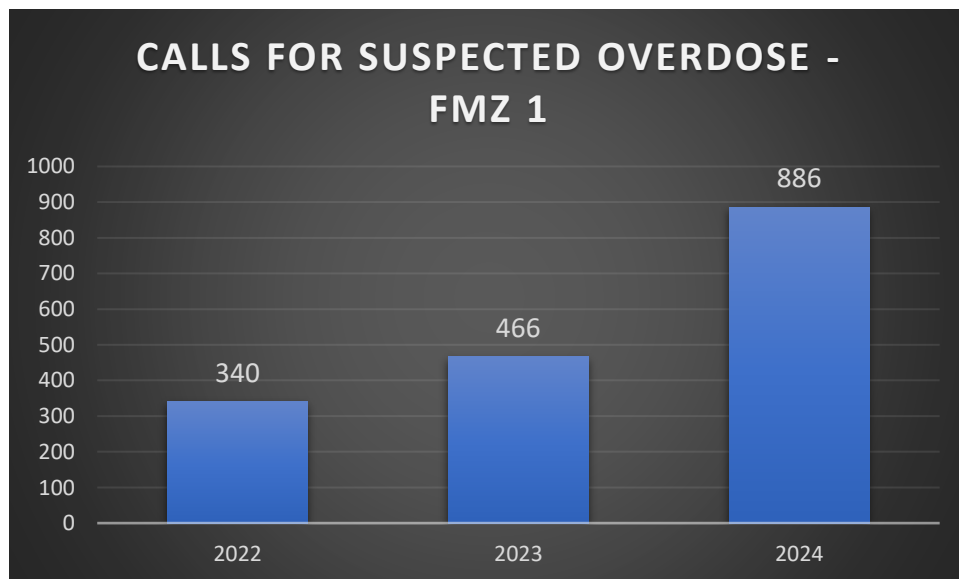
Seven Off-Premises Alcohol Outlets within 0.5 miles in downtown Spokane



Census Tract 145 has nearly four off-premises alcohol outlets for every 1,000 residents. Like the Riverside neighborhood, nearly half of residents in Census Tract 145 (East Central) live below the federal poverty line.

Alcohol and drug-related deaths continue to rise in Spokane County (Starks, Sharkova, Leibenguth, & Huber, 2024). Off-premises alcohol outlets have a significant effect on crime and the quality of life in neighborhoods (Fitterer, Nelson, & Stockwell, 2015). Off-premises alcohol outlets are associated with shootings (Osborne, Duggan, Shulman, & Cabeza, 2024), assaults (Miller, 2024), and robberies (Frint, 2024). There is even a strong association between off-premises alcohol outlets and the rate of pedestrian injuries (Nesoff, et al., 2018). The density of off-premises alcohol outlets in neighborhoods is a risk factor for youth and young adult substance use (U.S. Department of Health & Human Services, 2016).

Off-premises alcohol outlets in downtown Spokane are also places where drug activities take place (Sanford, We spent a weekend at Spokane's most notorious intersection. Here's what we saw., 2023). Unsurprisingly, public health research finds the proliferation of off-premises alcohol outlets is associated with higher rates of drug overdose. A study of the city of Baltimore published in the International Journal of Drug Policy found “each additional off-premises alcohol outlet was associated with a 16.6% increase in neighborhood overdose rate” (Nesoff, et al., 2021). The City of Spokane’s Fire Management Zone 1 serves the downtown police precinct area east of Lincoln Street to I-90 to the south and the Spokane River to the north. There are eight off-premises alcohol outlets within Fire Management Zone 1. Fire Management Zone 1 has seen an alarming increase in overdose calls over the last 3 years.



Spokane Fire Department Data - October 31, 2024

Off-Premises Alcohol Outlets in Downtown Spokane

There are seventeen active and licensed off-premises alcohol outlets in the downtown police precinct area and one licensee pending approval from the Washington State Liquor and Cannabis Board. Most of these off-premises alcohol outlets are traditional convenience retailers except for four supermarkets (Rosauers Supermarket, Downtown Grocery Outlet, Main Market Co-op, and PM Jacoy's), a specialty wine shop (Vino! A Wine Shop), and a hotel (Best Western Plus City Center).

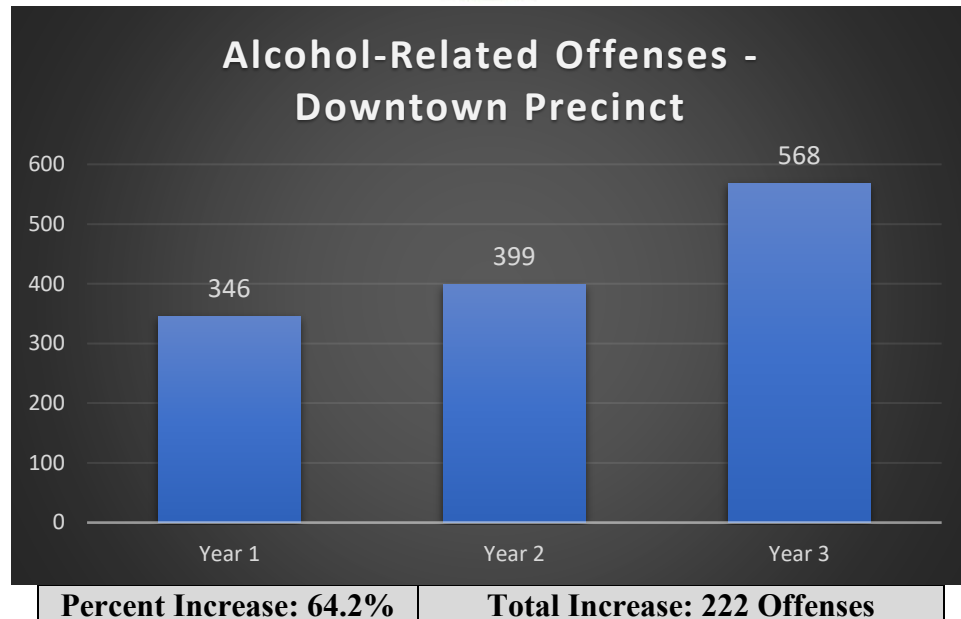
Off-Premises Licensee (Tradename)	Address	Hours
7-ELEVEN STORE #32703B	177 S DIVISION ST	24 Hours
BAINS LIQUOR MART MAPLE	404 S MAPLE ST	24 Hours
BAINS MART 2ND AVE	1428 W 2ND AVE	24 Hours
BEST WESTERN PLUS CITY CENTER	33 W SPOKANE FALLS BLVD	N/A
CITY FUEL	1527 W 3RD AVE	6:00am – 10:00pm
CONOCO FOOD MART	1602 W 3RD AVE	24 Hours
DIVINE 11 MIDCITY	822 W 2ND AVE	6:00am – 1:00am
DIVISION EXPRESS	3 EAST 3RD AVE	6:00am – 12:30am
DOWNTOWN QUICK STOP	10 N POST ST STE 102	6:00am – 12:00am
DOWNTOWN QUICK STOP 2	10 N POST ST STE 16	6:00am – 12:00am
DOWNTOWN QUICK STOP III ¹	501 W SPRAGUE AVE	
DOWNTOWN SPOKANE GROCERY OUTLET	1617 W 3RD AVE	8:00am – 9:00pm
MAIN MARKET CO-OP	44 W MAIN AVE	8:00am – 8:00pm
P M JACOY'S	402 W SPRAGUE AVE	7:00am – 7:00pm
ROSAUERS SUPERMARKETS #2	1808 W 3RD AVE	6:00am – 10:00pm
SUNSET GROCERY	1908 W SUNSET BLVD	24 Hours
THE PIGGY MART	932 W 3RD AVE	5:00am – 2:00am
VINO! A WINE SHOP	222 S WASHINGTON ST	10:00am – 7:00pm

Although crime is down year-to-date in the downtown police precinct area overall, alcohol-related incidents in the area have grown 64% over the last three years.²³

¹ Off-Premises liquor license is currently pending.

² Ernst, Spokane Police Department; **Method:** All police report offenses were reviewed using the FBI NIBRS flag “Offender suspected of using Alcohol”. Any offenses where that flag was set to Yes were included. Additionally, all statutes in the system were reviewed for key terms like “alcohol”, “liquor”, “open container”, and “DUI”. If the statute reflected alcohol use but the “Offender suspected of using Alcohol” flag was set to No or Unknown, the offense was counted anyway.

³ Year 1 is 10/1/2021 to 9/30/2022. Year 2 is 10/1/2022 to 9/30/2023. Year 3 is 10/1/2023 to 9/30/2024



Specifically, alcohol-related offenses within 1,000 feet of ten off-premises alcohol outlets within the downtown police precinct area are up over the same 3-year period.

<u>Licensee</u>	<u>Percent Increase – 3 Year Period</u>
7-ELEVEN STORE #32703B	108%
BAINS LIQUOR MART MAPLE	4%
CONOCO FOOD MART	30%
DIVINE 11 MIDCITY	44%
DIVISION EXPRESS	154%
DOWNTOWN QUICK STOP 1 & 2	106%
DOWNTOWN SPOKANE GROCERY OUTLET	23%
P M JACOY'S	114%
THE PIGGY MART	39%

Alcohol Impact Areas (AIA)

The purpose of an alcohol impact area is for local governments to mitigate illegal activities linked with the sale or public consumption of alcohol within a geographic area of their jurisdiction (Washington State Liquor and Cannabis Board, 2024). Certain conditions and

restrictions may be implemented on off-premises alcohol outlets including the limitation of hours of operation for off-premises sales, banning of certain alcohol items, and a prohibition on the sale of single-serve containers (Washington State Liquor and Cannabis Board, 2019).

As of October 2024, most of the off-premises alcohol outlets within the downtown police precinct area were selling high-octane alcohol products that were previously restricted less than two years ago within the downtown alcohol impact area.

Importantly, the petitioning local government is responsible for suggesting the conditions and restrictions for consideration of the Washington Liquor and Cannabis Board per Washington Administrative Code 314-12-215. In addition to LCB-adopted conditions and restrictions, local governments are given sixty days to register objections under RCW 66.24.010 to new liquor license applications within alcohol impact areas versus only twenty days for licenses outside of an alcohol impact area. Implementation of an alcohol impact area requires adoption of an ordinance by the Spokane City Council executing a six-month voluntary compliance period. The City will communicate to all off-premises alcohol outlet licensees in the area with a request to voluntarily comply with the conditions and restrictions. The LCB may formalize the conditions and restrictions if the licensees fail to comply with the conditions and restrictions placed by the voluntary alcohol impact area.

There are mandatory alcohol impact areas in large cities across Washington. All four cities with current alcohol impact areas have alcohol impact areas in their downtown core.

City	# of AIAs	Year Established
Seattle	2	1999
Tacoma	3	2008
Olympia	1	2014
Everett	1	2016

The first alcohol impact area was approved in Seattle’s Pioneer Square. In addition to certain product bans, the Pioneer Square alcohol impact area restricted the sale of off-premises alcohol between 6:00am and 9:00am and prohibited the sale of single serve containers (Nguyen, n.d.).

There is also a voluntary alcohol impact area in the city of Vancouver (City of Vancouver Washington, 2008). These large Washington cities have had multiple opportunities to end their alcohol impact area designations and have chosen not to repeal them. Reports published by law enforcement from these cities are clear: alcohol impact areas reduce crime. A report from the City of Seattle reviewing a five-year period from 2017-2022 found alcohol impact areas continue to have, “significant and positive effects on curbing the problems associated with chronic inebriation and public safety”. An external study of the City of Seattle’s alcohol impact areas supports the City of Seattle’s Department of Neighborhoods findings (Tarnai, 2009). Community organizations such as the Downtown Seattle Association and Chinatown-International District Business Improvement Area strongly advocated for the renewal of Seattle’s alcohol impact areas in 2022 (City of Seattle - Seattle Department of Neighborhoods, 2022). Similarly, the City of Everett also saw a decrease in alcohol-related incidents after the implementation of their alcohol impact area (Templeman, 2022).



The City of Spokane previously had two mandatory alcohol impact areas: Downtown, East Central, and one voluntary area: West Central. The downtown alcohol impact area's previous perimeter was from Cannon Street as the west boundary to Scott Street to the east and Spokane Falls Boulevard as the north boundary to Fifth Avenue as the south boundary. The downtown alcohol impact area was officially adopted by the Washington Liquor and Cannabis Board in 2010. The West Central voluntary alcohol impact area was created in 2011 and subsequently repealed by the City Council in 2012 after neighborhood pushback (Brunt, Alcohol impact area dropped, 2012). The Downtown and East Central alcohol impact areas existed until 2022, when they were inadvertently repealed by the previous administration and City Council in Emergency Ordinance C36289.

A year before the downtown and East Central alcohol impact areas were repealed, researchers from the University of Minnesota School of Public Health published a study on the crime reduction success of alcohol impact areas in Tacoma as well as downtown and East Central in Spokane. Crucially, one of the most significant reductions of crime within the alcohol impact areas were narcotic drug violations. Other crimes, including assaults, also decreased significantly (Jones-Webb, et al., 2021). This study matches Washington State University research published in 2009 that established the efficacy of the City of Seattle's alcohol impact areas. The WSU study found the rate of drug-related EMS incidents declined after implementing the alcohol impact area (Tarnai, 2009).

A five-year analysis of the downtown alcohol impact area completed and published by the Spokane Police Department showed the downtown alcohol impact area to have a "consistent and lower rate of increase in calls for service than the City [sic] of Spokane as a whole (Meidl, 2020)".



Downtown AIA - City of Spokane

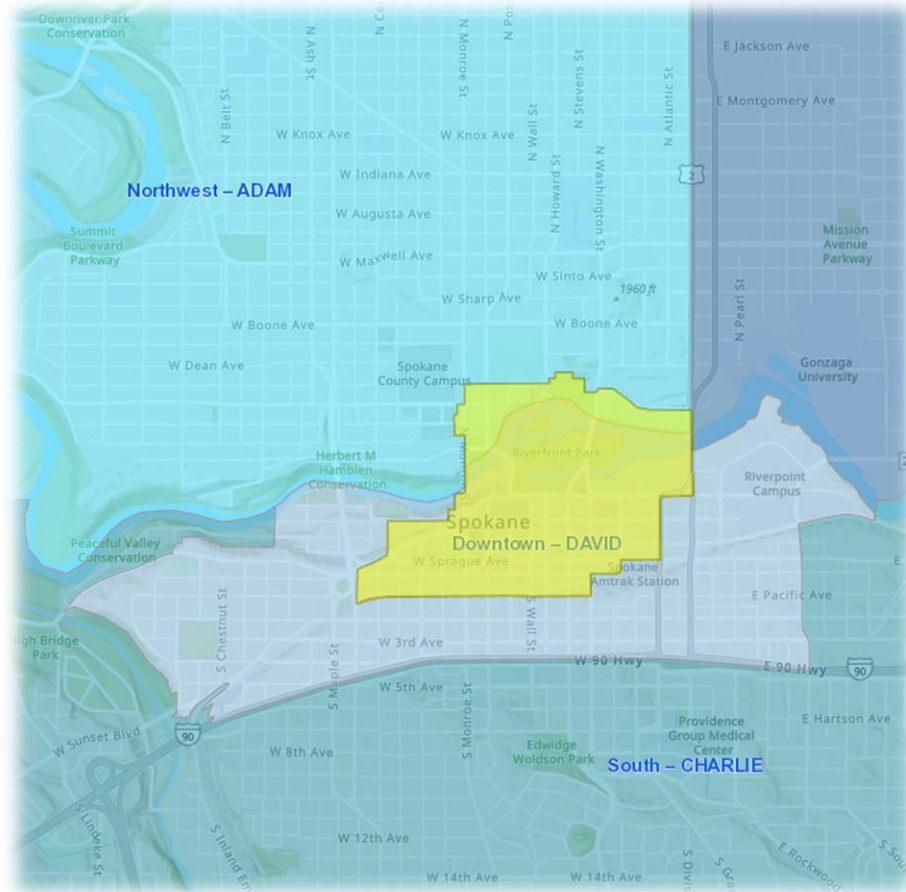
The East Central alcohol impact area drew praise from the East Spokane Business Association as having an almost immediate impact (Hewitt, 2012 Annual Report - East Central AIA, 2013):

“The East Central Alcohol Impact Area (AIA) has made a significant impact in the very short time it has been in effect. The East Central Neighborhood, Spokane International District and South Perry Street District have seen decreases in public intoxication, littering, loitering and disorderly conduct. The East Spokane Business Association is pleased with the immediate and positive impact the AIA has made in this neighborhood” - Jack-Daniyel Strong, Former ESBA President

Opponents of alcohol impact areas see the implementation of an alcohol impact area as designating that neighborhood a ‘problem’ zone (Brunt, Restrictions on alcohol sales get fresh look, 2012). Critics of alcohol impact areas also argue the criminal and nuisance activities reduced by an alcohol impact area simply get pushed to other neighborhoods (Hewitt, Retired Neighborhood Resource Officer - Spokane Police Officer, 2024). There is no evidence that supports the alcohol impact areas in East Central or downtown shifted chronic inebriation and other alcohol-related illegal activities to other neighborhoods. The Washington State University study of the City of Seattle alcohol impact areas found no evidence of dispersion of alcohol-related incidents to other neighborhoods. Furthermore, the study found no evidence of decline in retail sales for the retailers with liquor licenses within the alcohol impact area. In fact, retailers saw stable growth during the study period after the alcohol impact area was implemented (Tarnai, 2009).

Mitigating the data collection and reporting requirements of the alcohol impact area is an important consideration as the resources necessary to implement and maintain the designation could outweigh potential benefits (Anderson, 2024). To maximize crime reduction and public health benefits and to streamline data collection, a restored downtown alcohol impact area should match the boundaries of the downtown police precinct area (Census Tract 35, Census Tract 36.02, and western portion of Census Tract 145). This area is slightly smaller than the previous downtown alcohol impact area.

The Downtown Spokane Partnership recently added the restoration of the downtown alcohol impact area to their 2025 local legislative priorities. The downtown police precinct area covers most of the downtown business improvement district (BID) boundary.



Downtown BID Boundary overlaid on the Downtown Police Precinct Area

Off-premises Alcohol Retail Sales Hours

Washington state law prohibits the sale of alcohol from 2:00am to 6:00am unless restricted by local government (State of Washington, 2001). Local governments must restrict *all* operating hours within the jurisdiction equally unless the licensees are within a Washington Liquor and Cannabis Board-recognized alcohol impact area.

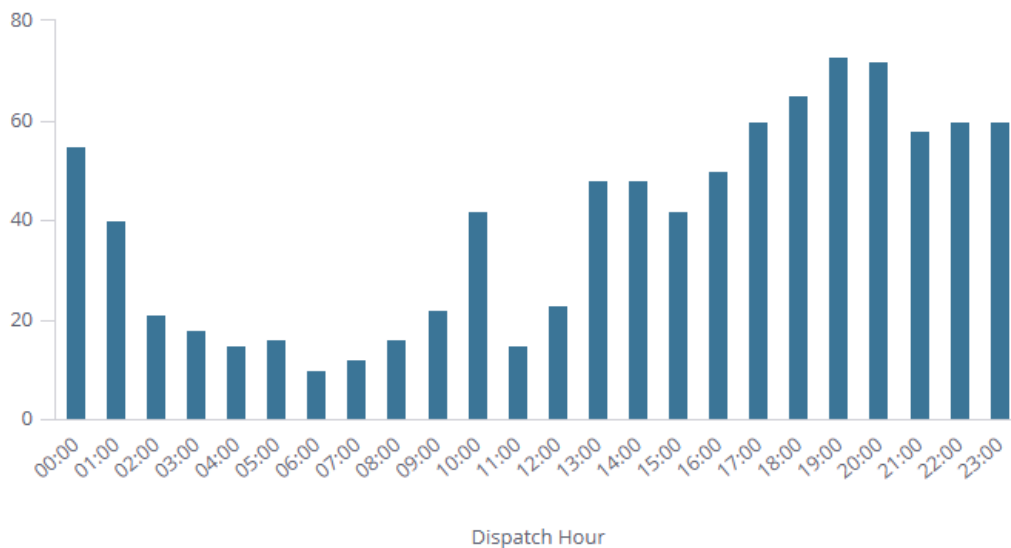
Spokane Police Department data over the last three years show more than 30% of all alcohol-related incidents⁴ downtown take place between midnight and 2:00am.⁵

⁴ NIBRS “Offender Suspected of Using Alcohol” value set to “Yes”.

⁵ Data pulled by Shawna Ernst from December 15th, 2021, through December 15th, 2024.



Likewise, the Spokane Fire Department responded to nearly 1500 calls for service and transported 363 individuals to the emergency department between 2022 and 2024 for alcohol-related incidents just within Fire Management Zone 1.



Calls for service related to alcohol peak between 7:00pm and 8:00pm within Fire Management Zone 1, however, many EMS calls also come between 12:00am and 2:00am.⁶ Calls for service drop significantly between 2:00am and 6:00am when alcohol sales are prohibited.

⁶ It is likely that this data is underreported. Based on information provided by the Spokane Fire Department, it is possible that many additional calls have an alcohol component but were documented as a trauma. For example,



Limiting hours when alcohol can be sold and served is a proven public health intervention and public safety strategy (Jernigan, Sparks, Yang, & Schwartz, 2013). This public health and safety strategy is endorsed by the World Health Organization (World Health Organization, 2017) and the Substance Abuse and Mental Health Services Administration (Substance Abuse and Mental Health Services Administration (SAMHSA), 2022). A recent study from Baltimore found that shortening overnight sales of alcohol reduced violent crime in the immediate and surrounding areas and saved the City of Baltimore millions of dollars in annual costs (McKoy, 2024).

Off-Premises Licensee (Tradename)	Weekday Hours	Weekend Hours
7-ELEVEN STORE #32703B	24 Hours	24 Hours
BAINS LIQUOR MART MAPLE	24 Hours	24 Hours
BAINS MART 2ND AVE	24 Hours	24 Hours
BEST WESTERN PLUS CITY CENTER	N/A	N/A
CITY FUEL	6:00am – 10:00pm	6:00am – 10:00pm
CONOCO FOOD MART	24 Hours	24 Hours
DIVINE 11 MIDCITY	6:00am – 11:00pm	6:00am – 1:00am
DIVISION EXPRESS	6:00am – 10:00pm	6:00am – 12:30am
DOWNTOWN QUICK STOP	6:00am – 12:00am	6:00am – 12:00am
DOWNTOWN QUICK STOP 2	6:00am – 12:00am	6:00am – 12:00am
DOWNTOWN SPOKANE GROCERY OUTLET	8:00am – 9:00pm	8:00am – 9:00pm
MAIN MARKET CO-OP	8:00am – 8:00pm	8:00am – 8:00pm
P M JACOY'S	7:00am – 7:00pm	7:00am – 7:00pm
ROSAUERS SUPERMARKETS #2	6:00am – 10:00pm	6:00am – 10:00pm
SUNSET GROCERY	24 Hours	24 Hours
THE PIGGY MART	5:00am – 2:00am	5:00am – 2:00am
VINO! A WINE SHOP	10:00am – 7:00pm	10:00am – 7:00pm

Extending the prohibition of overnight off-premises retail sales of alcohol from 2:00am to 12:00am would reduce the current alcohol sales periods for eight off-premises alcohol outlets in the downtown police precinct area. Extending the overnight sales prohibition by two hours would reduce the five twenty-four-hour stores daily alcohol sale period by two hours each day. Division Express would reduce its alcohol sale period by 30 minutes on weekends. Divine 11 MIDCITY would reduce its alcohol sale period by 1 hour on weekends. The Piggy Mart would reduce its alcohol sale period a total of two hours each day.

when a patient falls from intoxication and 911 is activated, that call could get recorded as a trauma. Also, if the Fire Department arrives on a scene and a person is intoxicated and is requesting detox services the call could be recorded as a public assist.

Off-Premises Licensee (Tradename)	Weekday Alcohol Retail Hours Reduced	Weekend Alcohol Retail Hours Reduced
7-ELEVEN STORE #32703B	2 Hours	2 Hours
BAINS LIQUOR MART MAPLE	2 Hours	2 Hours
BAINS MART 2ND AVE	2 Hours	2 Hours
CONOCO FOOD MART	2 Hours	2 Hours
DIVINE 11 MIDCITY	0 Hours	1 Hour
DIVISION EXPRESS	0 Hours	30 minutes
SUNSET GROCERY	2 Hours	2 Hours
THE PIGGY MART	2 Hours	2 Hours

Importantly, this condition would not require businesses to change their retail hours. This condition would simply prohibit the sale of alcohol during the overnight hours.

Single-Serve Alcohol Containers

Single-serve/ready-to-drink alcohol beverages have grown in popularity over the last several years. Nationally, flavored malt beverage products such as Twisted Tea⁷, Mike's Harder Lemonade, and Smirnoff products are second only to regular beer in beer-based beverage sales at convenience stores. Flavored malt beverages also have the largest gross profit margins among beer-based beverages at off-premises alcohol outlets such as convenience stores (Conway, 2024). Collectively, these multi-billion-dollar beverage companies engage in marketing that public health professionals contend target youth and vulnerable communities (O'Brien, Mathieu, Bikomeye, Busalacchi, & Borisy-Rudin, 2023).

Single-serve alcohol bottles, ready-to-drink (alcopops), tall boy cans, and miniatures (also known as 'nips') are also a significant source of litter and trash in the downtown core. Elected leaders in cities such as Boston (Jonas, 2023) have sought to prohibit the outright sale of miniatures and single-serve alcohol containers because of the detrimental waste impacts (Thys, 2023). The City of Spokane is currently spending hundreds of thousands of taxpayer dollars addressing litter and trash in the downtown core where single-serve alcohol containers are a significant source of litter⁸.

The following photos are a snapshot informal trash survey of single-serve containers found within the downtown police precinct area along 2nd Avenue and 3rd Avenue on October 26, 2024.

⁷ Owned by the Boston Beer Company

⁸ Special Budget Ordinance C36520











The single-serve containers seen above are inexpensive and have a higher alcohol by volume than traditional beer. Earthquake High Gravity Lager was the product most noticeable during the October 26, 2024, informal trash survey. Earthquake High Gravity Lager is also the product with the highest alcohol by volume content at the lowest price identified during the survey. Earthquake High Gravity Lager was previously restricted for purchase downtown under the downtown alcohol impact area.

<u>Product</u>	<u>Purchase Price in \$</u>	<u>Alcohol/Volume</u>	<u>Number of U.S. standard drinks⁹</u>
Earthquake High Gravity Lager	\$1.99	10%	4.0 Drinks
Hurricane High Gravity	\$2.39	8.1%	3.4 Drinks
Mike’s Harder (Mango)	\$4.35	8%	3.2 Drinks
Smirnoff Ice Smash	\$3.69	8.1%	3.2 Drinks
Fireball Miniature	\$1.19	16.5%	0.5 Drinks
99 Brand Peaches	\$1.19	15%	0.4 Drinks

⁹ <https://rethinkingdrinking.niaaa.nih.gov/tools/calculators/drink-size-calculator>

Alcohol Impact Area Process



The Alcohol Impact Area process is lengthy and will require commitment from multiple departments including the Spokane Police Department, Code Enforcement, and City Attorney's Office. The City will be required to conduct multiple litter/trash surveys, obtain letters of support from neighborhood councils and business organizations, and provide evidence of the City's good faith efforts to address the problems voluntarily. If the petition to the LCB is successful, the City will publish a Year One Report on the effectiveness of the alcohol impact area followed by an assessment every five years.



Executive Summary – Naloxone Distribution and Smoking Paraphernalia

I. **Background:** The State of Washington preempts the field of drug paraphernalia except for ordinances regulating harm reduction practices.

II. **Issue:** Downtown Spokane is suffering from its highest overdose rate on record. Data suggests that people who use drugs and/or witness overdoses do not have adequate access to naloxone to reverse an opioid overdose. There are multiple businesses in downtown Spokane selling products such as pipes and foils used to consume illicit substances creating negative externalities for taxpayers and residents in the Riverside and surrounding neighborhoods.

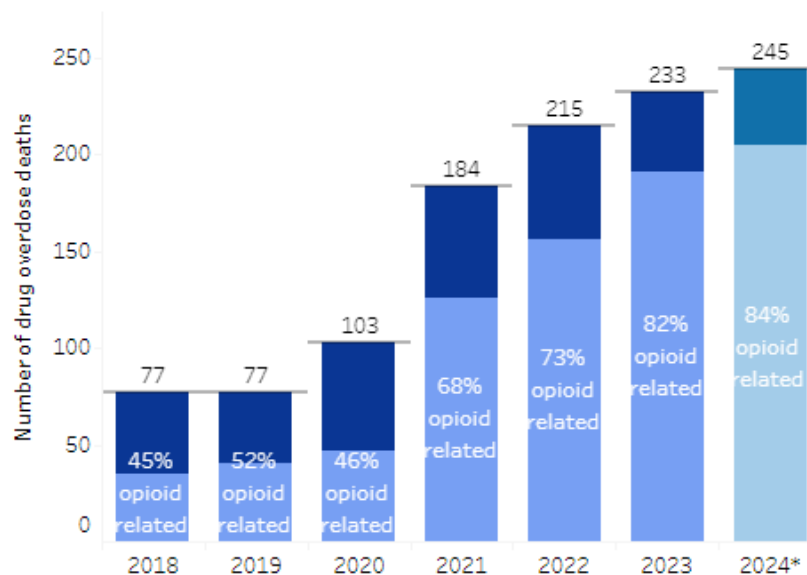
III. Policy Recommendation

Prohibit the sale of smoking paraphernalia within the downtown police precinct area unless providing naloxone for free during every transaction involving smoking paraphernalia.

Downtown Spokane Overdose Crisis

Preliminary numbers from Spokane County death certificate data indicate 245 people have died from drug overdose in 2024 in Spokane County. Spokane continues to see an alarming increase in drug overdose deaths with most of those deaths caused by opioids.

Overdose Deaths Over Time, Spokane County



The 2024 death data are preliminary and are expected to change.

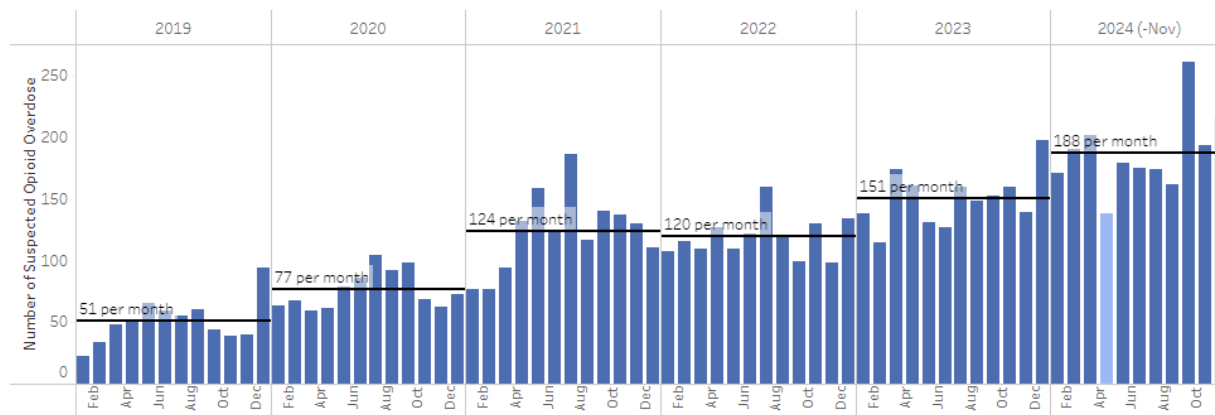
*Data were updated as of 12/16/2024.

Source: Death Certificate Data

Spokane County Opioid Dashboard

In September, Spokane County saw its highest number of Emergency Medical Services (EMS) calls for suspected overdose on record. Spokane County's non-fatal overdose emergency department visits also outpace the state rate.

Suspected opioid overdose



Source: Washington Emergency Medical Services Information System (WEMSIS) (As of 12/05/2024)

Note: The April 2024 EMS Opioid Overdose report data are incomplete. Interpret with caution. The reporting issues are due to the transition between ePCR vendors and to the NEMSIS V3.5 data standard. The estimated % of EMS responses reported to WEMSIS in Spokane County in April 2024 was 39% as compared to nearly 100% in other months.

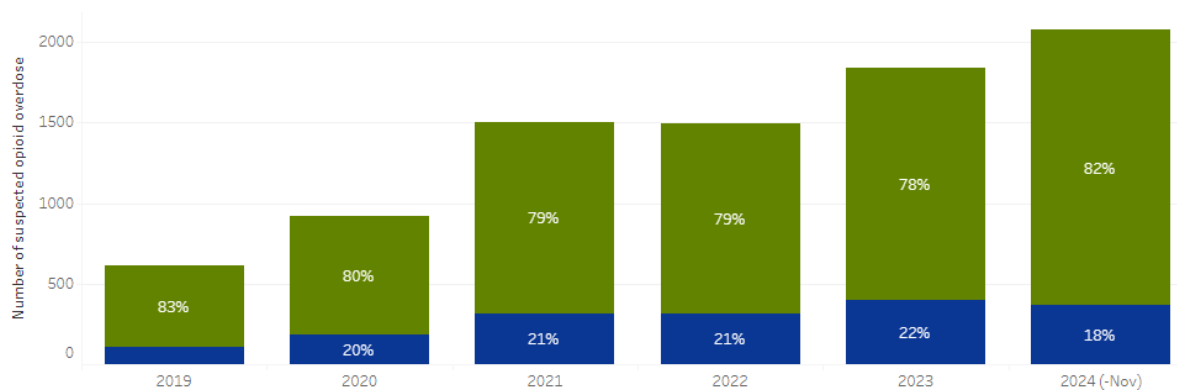
Paradoxically, the percentage of people experiencing opioid overdoses in Spokane who were administered naloxone *prior* to EMS arrival is also the lowest it has been since 2019.

- Indicators

 - ☐ Improved Naloxone response
 - ☐ Opioid impression
 - ☐ Suspected opioid overdose
 - ☐ % of suspected overdose with improved Naloxone respon...
 - ☐ Incident by age overtime (Spokane only)
 - ☒ Naloxone administered prior to EMS arrival (Spokane only)
- Geography

 - ☒ Spokane County
 - ☐ Washington State
- No Naloxone administered prior to EMS arrival
 - Naloxone administered prior to EMS arrival

Naloxone administered prior to EMS arrival (Spokane only)



Source: Washington Emergency Medical Services Information System (WEMSIS) (As of 12/05/2024)

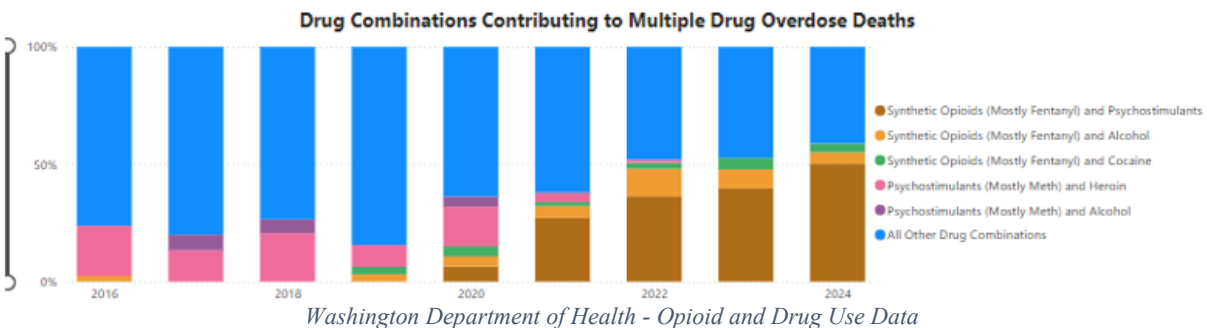
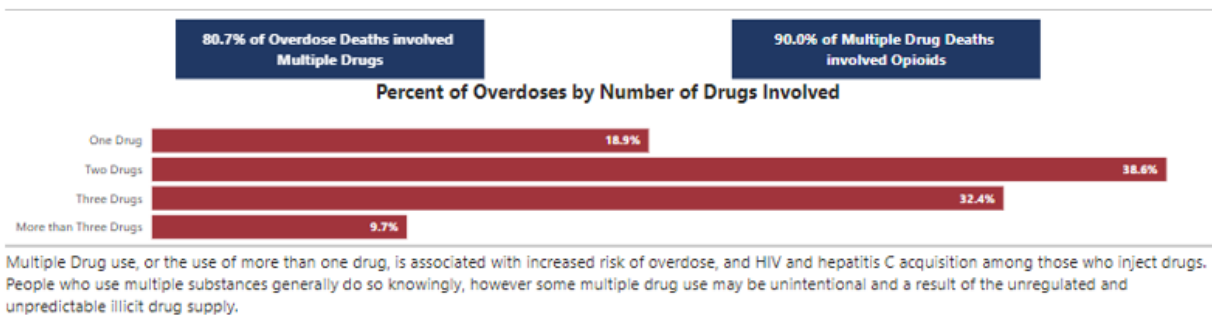
Note: The April 2024 EMS Opioid Overdose report data are incomplete. Interpret with caution. The reporting issues are due to the transition between ePCR vendors and to the NEMSIS V3.5 data standard. The estimated % of EMS responses reported to WEMSIS in Spokane County in April 2024 was 39% as compared to nearly 100% in other months.



Smoking Supplies/Drug Paraphernalia

Smoking is the most common way individuals consume both fentanyl and methamphetamine (Singh, Banta-Green, & Kingston, 2022). Foil is the most used smoking equipment for fentanyl followed by glassware such as pipes. A report published by the Centers for Disease Control and Prevention in February 2024 found that smoking was the predominant method of consumption that resulted in overdose deaths in the Western United States. In fact, almost 80% of overdose deaths showed no signs of injection/intravenous use (Tanz, et al., 2024).

The Spokane Regional Opioid Task Force (SROTF) reports synthetic opioids like fentanyl and carfentanil are showing up in other drugs including methamphetamine, cocaine, MDMA, and molly (Spokane Regional Opioid Task Force (SROTF), n.d.). A combination of fentanyl and psychostimulants, such as methamphetamine, are responsible for more than half of all overdose deaths in Spokane County.



There are multiple retail outlets in the city of Spokane that sell smoking paraphernalia such as butane torches, pipes, and foils. These businesses are primarily off-premises alcohol outlets, marijuana outlets, or smoke shops. There are five off-premises alcohol outlets selling torches, pipes, and foils within the downtown police precinct area (not including marijuana retailers). While marijuana retailers selling pipes and smoking paraphernalia are regulated by the Washington State Liquor and Cannabis Board and are age restricted to minors¹⁰, off-premises alcohol outlets selling the same smoking paraphernalia are not age restricted.

¹⁰ RCW 69.50.357

Foils are also sold at many off-premises alcohol outlets downtown. New studies suggest that the re-use of foil for smoking may increase the risk of overdose (Ciccarone, et al., 2024). Burned foil is also a significant source of litter in downtown Spokane. Littered foils with drug residue are dangerous for animals and have led to multiple incidents involving pets who required overdose reversal medication after consuming littered foils (Sanford, It's not just humans — dogs in Spokane are also overdosing on drugs, 2024).



It is a Class 1 civil infraction under Washington state law to sell drug paraphernalia.¹¹ Washington’s drug paraphernalia law provides that “[In determining whether an object is drug paraphernalia under this section, a court or other authority should consider, in addition to all other logically relevant factors, the following:] (6)[(f)] *Direct or circumstantial evidence of the intent of an owner, or of anyone in control of the object, to deliver it to persons whom he or she knows, or should reasonably know, intend to use the object to facilitate a violation of this chapter; the innocence of an owner, or of anyone in control of the object, as to a direct violation of this chapter shall not prevent a finding that the object is intended or designed for use as drug paraphernalia.*” Simply, these outlets are either breaking state law and subject to a Class 1 civil infraction, or they are selling products that may be subject to regulation by local governments utilizing their policing power (Spitzer, 2000).

The outlets selling pipes, torches, foils, and other smoking supplies market the paraphernalia for legal use only despite common sense and acknowledgement by local (Lawrence-Turner, 2008) and federal law enforcement (Drug Enforcement Agency, 2023) that these products are generally used for consuming illicit substances. Historically, some major gas companies have ended their

¹¹ RCW 69.50.4121



relationship with Washington state convenience stores over the sale of drug paraphernalia (Schiffner, 2008).



Downtown Quick Stop 2 Window Display (Riverside Avenue – Riverside Neighborhood)

Although the State of Washington has preempted the entire field of drug paraphernalia, cities may enact ordinances relating to the establishment or regulation of harm reduction services concerning drug paraphernalia.¹² Tobacco products¹³ and vapor products¹⁴ are regulated exclusively by the Washington State Liquor and Cannabis Board. Cities like Vancouver have attempted to tackle the prevalence of smoking paraphernalia by prohibiting its display to minors (City of Vancouver Washington, 2014) – an ordinance that was modeled after the City of Spokane’s Ordinance C34213 adopted in 2008 and subsequently repealed by the Council in 2022 through the adoption of RCW criminal statutes by reference in Ordinance C36289. Other communities like Boise (Idaho Press, 2024) and Philadelphia (City of Philadelphia Licenses and Inspections, 2023) have used a mix of law enforcement and zoning to address the proliferation of stores selling smoking paraphernalia.

Naloxone Distribution

Public health leaders advocate “saturating” a community with naloxone. The goal of saturation is to eliminate lack of access to naloxone as a reason for overdose deaths (Bennett & Elliott, 2021).

¹² RCW 69.50.612

¹³ RCW 82.26.010(21)

¹⁴ RCW 70.345.010.

Naloxone, also commonly known as NARCAN, is a medication that saves lives by reversing the effects of an opioid overdose. The Washington State Department of Health recommends that people who use drugs, friends and family of people who use drugs, and those who interact with people who use drugs carry naloxone (Washington State Department of Health, n.d.). The City of Spokane's first responders carry naloxone.



Despite some access to naloxone within the city of Spokane, it is clear from the local EMS data that we are nowhere near naloxone saturation. Stigma and an inability to reach those most at risk are barriers to naloxone distribution. The reduction in injection/intravenous drug use also creates a gap in harm reduction distribution in Spokane, which has traditionally been carried out by syringe service programs (Wohlfeil, 2022). Spokane Regional Health District's syringe service program currently does not provide injective alternatives such as glass, pipes, and foils.

Naloxone is available for free at the Spokane Regional Health District Syringe Service Program and a handful of community-based organizations¹⁵ within in the city of Spokane (stopoverdose.org, n.d.). Naloxone is covered by Medicaid and may be dispensed in Washington state with or without a prescription due to a statewide standing order (Washington State Department of Health, 2024). There is no certification or training required to use naloxone and individuals are generally protected under Washington's Good Samaritan Law from civil liabilities as well as charge and prosecution for possession of a controlled substance (stopoverdose.org, 2024). Stopoverdose.org has free materials such as posters and wallet cards that could be used to distribute information about the Good Samaritan Law.

NARCAN (naloxone) can be bought online through Amazon.com, NACARAN.com, and other online retailers. The City maintains an online list of NARCAN providers on the Emergency Management webpage on the City of Spokane website along with training videos (City of Spokane, n.d.). NARCAN also available for purchase at retailers within the city of Spokane (Emergent Devices Inc. , n.d.).

¹⁵ Peer Spokane; Compassionate Addiction Treatment; M.H.A. Speakout Speakup; West Spokane Wellness Partnership



Online NARCAN (naloxone) Retailers
CVS.com
Instacart.com
Kroger.com
Riteaid.com
Target.com
Walgreens.com
Walmart.com
Wegmans.com

NARCAN (naloxone) Retailers	Address	Phone	Neighborhood
CVS Pharmacy	4915 S Regal Street	509-822-3275	Southgate
CVS Pharmacy	9770 N Newport Highway	509-466-7226	Shiloh Hills
Rite Aid	810 E 29 th Avenue	509-838-3508	Comstock
Rite Aid	2215A W Wellesley Avenue	509-328-7887	Audubon/Downriver
Rite Aid	2929 E 29 th Avenue	509-535-9056	Lincoln Heights
Target	4915 S Regal Street	509-822-3290	Southgate
Target	9770 N Newport Highway	509-466-3006	Shiloh Hills
The Medicine Shoppe Pharmacy	902 W Indiana Avenue	509-327-1504	Emerson/Garfield
Walgreens	1708 W Northwest Boulevard	509-323-0309	Emerson/Garfield
Walgreens	2830 S Grand Boulevard	509-455-3736	Manito/Cannon Hill
Walgreens	327 W 3 rd Avenue	509-838-0175	Riverside
Walmart	2301 W Wellesley Avenue	509-327-0404	Audubon/Downriver
Walmart	9212 N Colton Street	509-464-2173	Shiloh Hills

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**Agenda Sheet for City Council:****Committee:** Public Safety **Date:** 01/06/2025**Committee Agenda type:** Discussion**Date Rec'd**

12/26/2024

Clerk's File #

ORD C36635

Cross Ref #**Project #****Council Meeting Date:** 01/27/2025**Submitting Dept**

MAYOR

Bid #**Contact Name/Phone**

MAGGIE 6753/6779

Requisition #**Contact E-Mail**

MYATES@SPOKANECITY.ORG/AMCD

Agenda Item Type

First Reading Ordinance

Council Sponsor(s)

ZZAPPONE BWILKERSON PDILLON

Sponsoring at Administrators Request

NO

Lease? NO**Grant Related?** NO**Public Works?** NO**Agenda Item Name**

ORDINANCE IMPLEMENTING A COMMUNITY HEALTH IMPACT AREA

Agenda Wording

An ordinance implementing a Community Health Impact Area and public health measures to mitigate the impacts of addiction; adopting a new Division VII and Chapter 10.81 to the Spokane Municipal Code.

Summary (Background)

The City of Spokane recognizes the opioid crisis as a national public health epidemic and community safety issue. Due to record numbers of opioid overdoses in Spokane and the effectiveness of naloxone in reducing deaths from these overdoses, the City of Spokane seeks to prohibit any person or business selling or distributing smoking paraphernalia in downtown Spokane unless also providing overdose risk reduction supplies (naloxone) at no cost upon a transaction that includes smoking supplies.

What impacts would the proposal have on historically excluded communities?

See legislative findings.

How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

The City of Spokane intends to use emergency medical services data, crime statistics, and public health information to establish a geographical area in the City of Spokane as a Community Health Impact Area to target policy and programmatic resources that mitigate the disproportionate public health and secondary neighborhood impacts of the addiction crisis.

How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?

The City shall publish on the City website quarterly data from the community health impact area. Data shall include but is not limited to likely overdose calls for service, crime statistics, and other relevant data.

Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

This ordinance aligns with Executive Order 2024-0006.

Council Subcommittee Review

Fiscal Impact			
Approved in Current Year Budget? N/A			
Total Cost		\$	
Current Year Cost		\$	
Subsequent Year(s) Cost		\$	
<u>Narrative</u>			
Amount		Budget Account	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Select	\$	#	
Funding Source			
Funding Source Type Select			
Is this funding source sustainable for future years, months, etc?			
Expense Occurrence			
Other budget impacts (revenue generating, match requirements, etc.)			
Approvals		Additional Approvals	
<u>Dept Head</u>	SCOTT, ALEXANDER		
<u>Division Director</u>			
<u>Accounting Manager</u>	BUSTOS, KIM		
<u>Legal</u>	SCHOEDEL, ELIZABETH		
<u>For the Mayor</u>	PICCOLO, MIKE		
Distribution List			
		amcdaniel@spokanecity.org	
myates@spokanecity.org			

ORDINANCE NO. C36635

An ordinance implementing a Community Health Impact Area and public health measures to mitigate the impacts of addiction; adopting a new Division VII and Chapter 10.81 to the Spokane Municipal Code.

WHEREAS, the City of Spokane recognizes the opioid crisis as a national public health epidemic and community safety issue requiring an integrated response that includes overdose prevention, access to additional behavioral health and treatment resources, law enforcement action against illegal drug traffickers and dealers, and the revitalization of neighborhoods decimated by this crisis; and

WHEREAS, Death Certificate Data compiled by the Spokane Regional Opioid Task Force (SROTf) found that opioids accounted for 46% of overdose deaths in 2020, 68% in 2021, 73% in 2022, 82% in 2023, and 84% in 2024 (preliminary data); and

WHEREAS, preliminary data through December 16th, 2024, suggests 205 people in Spokane County have already died from opioid overdose in Spokane County this year; and

WHEREAS, In September 2024, Spokane County saw its highest number of Emergency Medical Services (EMS) calls for suspected overdose on record and its emergency department visit rate for non-fatal overdoses continues to outpace the state rate; and

WHEREAS, the percentage of people experiencing opioid overdoses in Spokane who were administered naloxone prior to EMS arrival is the lowest it has been since 2019; and

WHEREAS, smoking foil and pipes is the most common way individuals consume both fentanyl and methamphetamine; and

WHEREAS, and the Centers for Disease Control and Prevention in February 2024 found that smoking was the predominant method of consumption that resulted in overdose deaths in the Western United States; and

WHEREAS, there are multiple retail outlets in downtown Spokane that sell smoking supplies such as pipes, and foils marketed for legal use only despite acknowledgement by law enforcement that these products are generally being used for consuming illicit substances including synthetic opioids; and

WHEREAS, the City of Spokane seeks to prohibit any person or business selling or distributing smoking paraphernalia in downtown Spokane unless also providing

overdose risk reduction supplies (naloxone) at no cost upon a transaction that includes smoking supplies.

The City of Spokane does ordain:

Section 1. There is enacted a new chapter 10.81 to Title 10 of the Spokane Municipal Code to read as follows:

Division VII	City of Spokane Community Health Programs
Chapter 10.81	Community Health Impact Areas
SMC 10.81.010	Scope and Purpose
SMC 10.81.020	Community Health Impact Area in Spokane's Downtown Police Precinct Area
SMC 10.81.030	Definitions
SMC 10.81.040	Overdose Risk Reduction Products Required
SMC 10.81.050	Violation and Penalties

Chapter 10.81 Community Health Impact Areas

Section 10.81.010 Scope and Purpose

A. The City of Spokane recognizes the addiction crisis as a public health and community safety issue requiring an integrated crisis response that includes overdose prevention, access to additional behavioral health and treatment resources, law enforcement action against illegal drug traffickers and dealers, and the revitalization of neighborhoods decimated by the addiction crisis. The City of Spokane finds that residents within some neighborhoods suffer disproportionately from the impacts of the addiction crisis and seeks to implement public health programs and strategies to mitigate these impacts.

B. The City of Spokane intends to use emergency medical services data, crime statistics, and public health information to establish a geographical area in the city of Spokane as a Community Health Impact Area to target policy and programmatic resources that mitigate the disproportionate public health and secondary neighborhood impacts of the addiction crisis.

Section 10.81.020 Community Health Impact Area in Spokane's Downtown Police Precinct Area

A. The geographical area encompassing the Spokane Police Department's Downtown Precinct is declared to be a community health impact area. This geographical area is shown in Exhibit A. The boundaries shall include properties located on both sides of the public right of-way that constitute the boundaries of the community health impact area as further depicted on the attached map.

B. The City shall publish on the City website quarterly data from the community health impact area. Data shall include but is not limited to likely overdose calls for service, crime statistics, and other relevant data.

Section 10.81.030 Definitions

A. "Agency" means the state of Washington, a county, municipal corporation, health district, school district, special taxing authority, postsecondary institutions, or federally-recognized Indian tribe.

B. "Distribute" or "Distribution" means to furnish, give away, exchange, transfer, deliver or supply, whether or not for monetary gain

C. "Foil" also known as aluminum foil or tinfoil includes aluminum sheeting or leaves used for smoking tobacco, to cover or wrap food, or to line cooking equipment.

D. "Health care provider" means a person who is licensed, certified, registered, or otherwise authorized by the State of Washington to provide health care in the ordinary course of business or practice of a profession.

E. "Nonprofit Corporation" or "Nonprofit Organization" means a corporation, organization or limited liability corporation:

1. Formed and organized under chapter 24.03 RCW, and
2. In accordance with Internal Revenue Code sections 501(c)(3) or 501(c)(4), and as hereafter amended.
3. Where the term nonprofit organization is used, it is meant to include a nonprofit corporation or nonprofit limited liability corporation.

F. "Overdose risk reduction supplies" means at least one unopened box or package of Naloxone HCl Nasal Spray containing at least two single-dose nasal spray devices. Instructions for use shall be included in each unopened box.

G. "Person" means an individual, corporation, business trust, estate, trust, partnership, association, joint venture, government, governmental subdivision or agency, or any other legal or commercial entity.

H. "Pharmacy" means every place properly licensed by the Pharmacy Quality Assurance Commission where the practice of pharmacy is conducted as defined by RCW 18.64.011(32).

I. "Smoking supplies" means any equipment, product, or material of any kind which is used, intended for use, designed for use, to package, repack, store, contain, conceal,

ingest, inhale, or otherwise introduce tobacco of any form into the human body including, but not limited to:

1. Metal, wooden, acrylic, glass, stone, plastic, or ceramic pipes with or without screens, permanent screens, hashish heads, or punctured metal bowls;
2. Water pipes;
3. Carburetion tubes and devices;
4. Smoking and carburetion masks;
5. Roach clips, meaning objects used to hold burning material, such as a cigarette, that has become too small or short to be held in the hand;
6. Chamber pipes;
7. Carburetor pipes;
8. Electric pipes;
9. Air-driven pipes;
10. Chillums;
11. Bongs;
12. Ice pipes or chillers; and
13. Foils

“Smoking supplies” does not include cigarettes, cigars, matches, lighters, tobacco products as defined by RCW 82.26.010(21) or vapor products as defined by RCW 70.345.010.

J. “Supermarket”, as designated by the North American Industry Classification System, means a business where the primary business activity is retailing a general line of food, such as canned and frozen foods; fresh fruits and vegetables; and fresh and prepared meats, fish, and poultry. It does not include Convenience Retailers or Gasoline Stations with Convenience Stores as defined by the North American Industry Classification System.

K. “Transaction” means a purchase, sale, loan, gift, transfer, transmission, delivery, trade, exchange, extension of credit, or any other method of acquisition or disposition of smoking supplies.

Section 10.81.040 Overdose Risk Reduction Products Required

A. A person shall not distribute, sell or permit to be sold smoking supplies within a community health impact area unless the person also provides overdose risk reduction supplies at no cost upon a transaction that includes smoking supplies.

B. This section shall not apply to any agency, health care provider, pharmacy, supermarket, retail outlet regulated by RCW 69.50.357, or any nonprofit providing addiction treatment, harm reduction services, or distributing overdose risk reduction supplies.

10.81.050 Violation and Penalties

Any person violating this chapter shall be guilty of a Class 1 Civil Infraction. It shall not be a defense to an alleged violation that overdose risk reduction supplies were unavailable to the person distributing, selling or permitting the distribution or sale of smoking supplies.

PASSED by the City Council on _____

Council President

Attest:

Approved as to form:

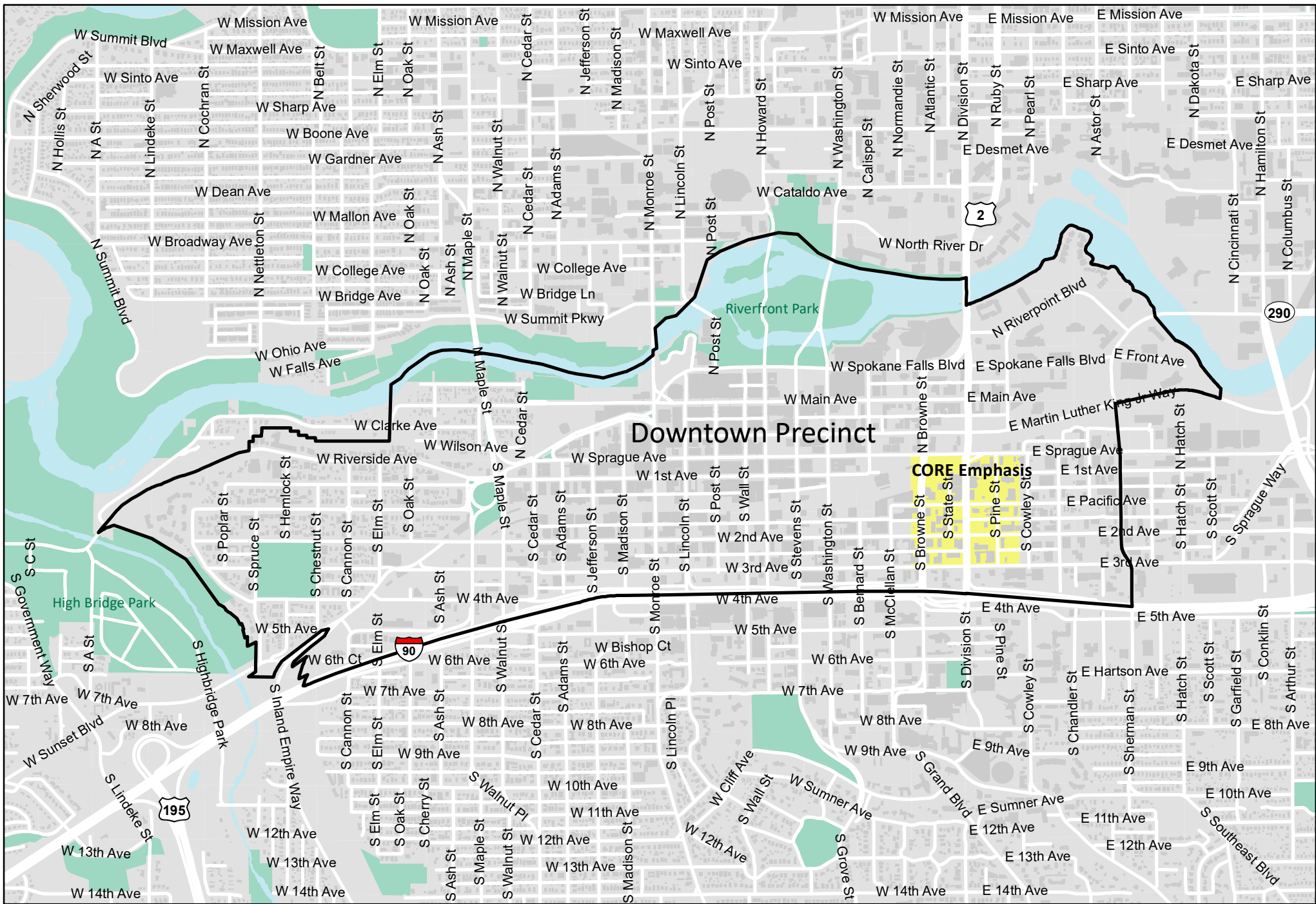
City Clerk

City Attorney

Mayor

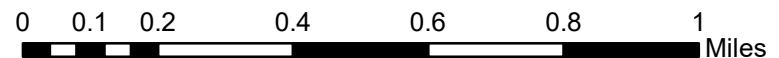
Date

Effective Date



City of Spokane

Downtown Precinct with CORE Emphasis Area



1:18,000





Memorandum

Office of the Mayor

DATE: December 26, 2024

FROM: Adam McDaniel – Policy Advisor, Office of the Mayor

TO: Councilmember Paul Dillon – Chair, Public Safety and Community Health Committee

RE: Alcohol Impact Area | Community Health Impact Area

This memo recommends potential public health and crime reduction strategies to address the secondary impacts of addiction. This memo identifies both internal and external regulatory gaps and ultimately recommends an alcohol impact area within the downtown police precinct area as a public safety policy with a documented track record of reducing violent crime, shrinking narcotics violations, and lessening waste and litter on streets and right of ways in the city of Spokane. This memo also recommends a policy for expanding naloxone distribution to address the overdose crisis impacting the downtown police precinct area.

Executive Summary – Alcohol Impact Area

I. **Background:** The previous administration inadvertently repealed a pre-existing alcohol impact area, which regulated the sale of certain single use alcohol products for off-premises consumption.

II. **Issue:** The sale of single serve alcohol products for off-premises consumption creates dangerous public health and public safety outcomes, disproportionately impacting poor communities and communities of color.

III. Policy Recommendations

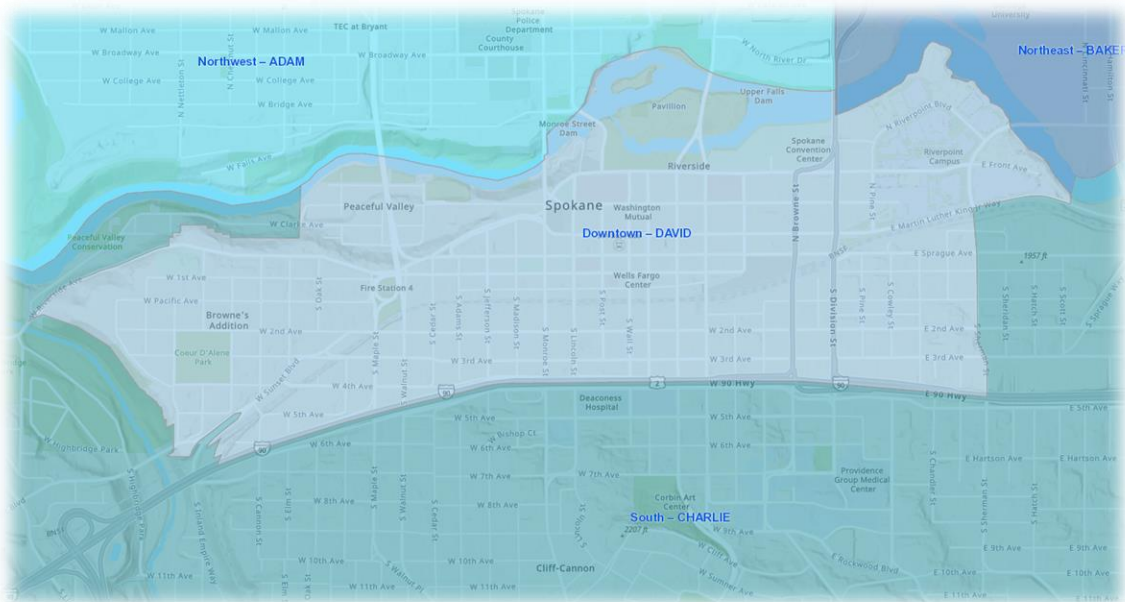
Reestablish an alcohol impact area for downtown Spokane to match the boundaries on the Spokane Police Department's downtown precinct.



2nd Avenue and Maple Street – October 23, 2024

Downtown Police Precinct Area

Census Tract 35, Census Tract 36.01, Census Tract 36.02, and a small part of Census Tract 145 fall within the Spokane Police Department's downtown precinct area. The downtown precinct borders I-90 to the south, the Spokane River to the north, Latah Creek/High Bridge Park to the west, and Sherman Avenue to the east.



Census Tracts 35, 36.01 and 36.02 encompass the Riverside, Peaceful Valley, and Browne's Addition neighborhoods, respectively. Over 9,000 Spokane residents live in these three census



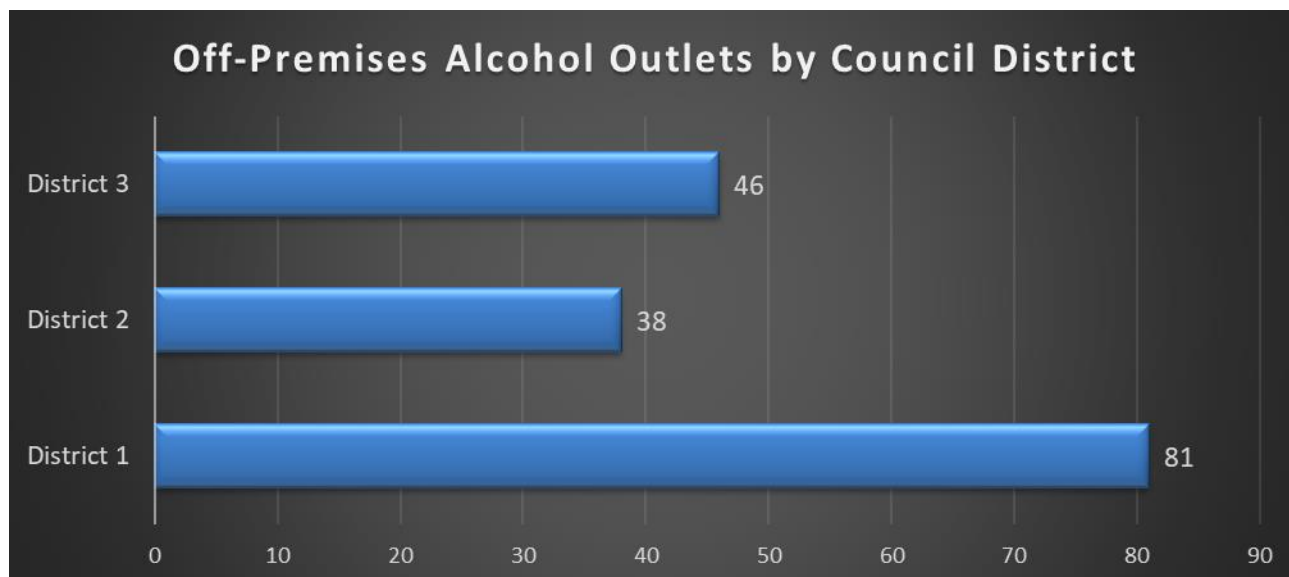
tracts – a population larger than the city of Medical Lake. These neighborhoods are racially more diverse than most other neighborhoods and have high Social Vulnerability Index (SVI) scores as measured by the Centers for Disease Control and Prevention (Agency for Toxic Substances and Disease Registry, 2024). Half of residents in the Riverside Neighborhood (Census Tract 35) live below the federal poverty line. Census Tract 35 has the lowest median household income of any census tract in the city, and all three neighborhoods have unemployment rates higher than the citywide rates.

Nearly 95% of Census Tract 35 residents are renters, and more than a quarter of residents in both Riverside and Browne’s Addition neighborhoods lack access to a vehicle (U.S. Census Bureau, 2024). Most of the downtown area is considered a food desert (Spokane Food Policy Council, 2016). Some residents formerly utilized the Rite Aid along Howard Street for basic food and grocery items but the store’s closure in 2023 necessitates many residents to depend on other off-premises alcohol outlets for basic food items. If Main Market Co-op closes, dependence on off-premises alcohol outlets for necessities will grow even greater (Billingham, 2024). Currently, nine of the fourteen SNAP retailers within the downtown police precinct area are convenience stores (U.S. Department of Agriculture, 2024).

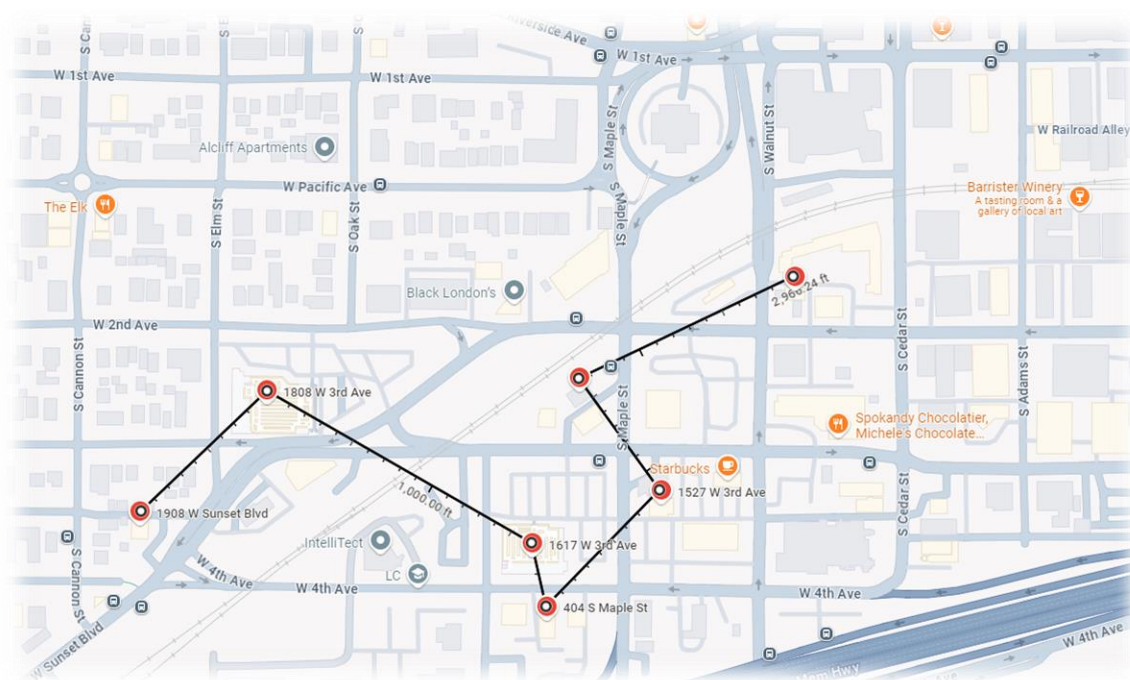
Historically, the Riverside Neighborhood suffered from the highest violent crime rate of any area in Spokane County while Browne’s Addition had the fourth highest violent crime rate in the county (Spokane Regional Health District, 2017). Current crime statistics show a reduction in violent crime year-to-date within the downtown police precinct area, however downtown Spokane is perceived as being “unsafe” (Greater Spokane Inc., 2024). The perception that downtown Spokane is “unsafe” has compounding social capital impacts on the residents living in these neighborhoods (Theall, Scribner, Cohen, Schonlau, & Farley, 2009). This perception may slow the physical property investments critical to improving public safety and enhancing public health within the neighborhood (Walter, Acolin, & Marie, 2024).

Off-Premises Alcohol Outlets (Liquor Stores/Convenience Stores)

Off-premises alcohol outlets include liquor stores and convenience stores selling liquor and high-octane alcohol products where patrons buy the alcohol to be consumed off-premises. As of early October 2024, there were 145 off-premises alcohol outlets licensed by the Washington State Liquor and Cannabis Board (LCB) or going through the licensing process in the city of Spokane. More than half of all off-premises alcohol outlets were in City Council District 1.



Multiple studies show that off-premises alcohol outlets are disproportionately located in communities with lower incomes and in neighborhoods with a higher percentage of non-white residents (Romley, Cohen, Ringel, & Sturm, 2007). The Riverside and Browne's Addition neighborhoods have nearly three off-premises alcohol outlets for every 1,000 residents. Contrast this with the Southgate neighborhood, which boasts only 0.38 off-premises alcohol outlets for every 1,000 residents and Indian Trail which has 0.50 off-premises alcohol outlets for every 1,000 residents.



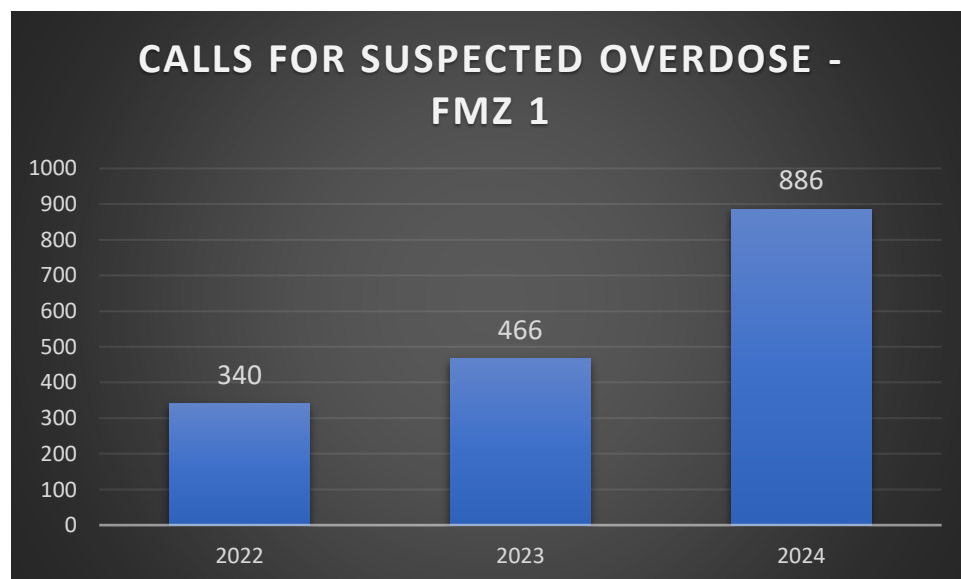
Seven Off-Premises Alcohol Outlets within 0.5 miles in downtown Spokane



Census Tract 145 has nearly four off-premises alcohol outlets for every 1,000 residents. Like the Riverside neighborhood, nearly half of residents in Census Tract 145 (East Central) live below the federal poverty line.

Alcohol and drug-related deaths continue to rise in Spokane County (Starks, Sharkova, Leibenguth, & Huber, 2024). Off-premises alcohol outlets have a significant effect on crime and the quality of life in neighborhoods (Fitterer, Nelson, & Stockwell, 2015). Off-premises alcohol outlets are associated with shootings (Osborne, Duggan, Shulman, & Cabeza, 2024), assaults (Miller, 2024), and robberies (Frint, 2024). There is even a strong association between off-premises alcohol outlets and the rate of pedestrian injuries (Nesoff, et al., 2018). The density of off-premises alcohol outlets in neighborhoods is a risk factor for youth and young adult substance use (U.S. Department of Health & Human Services, 2016).

Off-premises alcohol outlets in downtown Spokane are also places where drug activities take place (Sanford, We spent a weekend at Spokane's most notorious intersection. Here's what we saw., 2023). Unsurprisingly, public health research finds the proliferation of off-premises alcohol outlets is associated with higher rates of drug overdose. A study of the city of Baltimore published in the International Journal of Drug Policy found “each additional off-premises alcohol outlet was associated with a 16.6% increase in neighborhood overdose rate” (Nesoff, et al., 2021). The City of Spokane’s Fire Management Zone 1 serves the downtown police precinct area east of Lincoln Street to I-90 to the south and the Spokane River to the north. There are eight off-premises alcohol outlets within Fire Management Zone 1. Fire Management Zone 1 has seen an alarming increase in overdose calls over the last 3 years.



Spokane Fire Department Data - October 31, 2024

Off-Premises Alcohol Outlets in Downtown Spokane

There are seventeen active and licensed off-premises alcohol outlets in the downtown police precinct area and one licensee pending approval from the Washington State Liquor and Cannabis Board. Most of these off-premises alcohol outlets are traditional convenience retailers except for four supermarkets (Rosauers Supermarket, Downtown Grocery Outlet, Main Market Co-op, and PM Jacoy's), a specialty wine shop (Vino! A Wine Shop), and a hotel (Best Western Plus City Center).

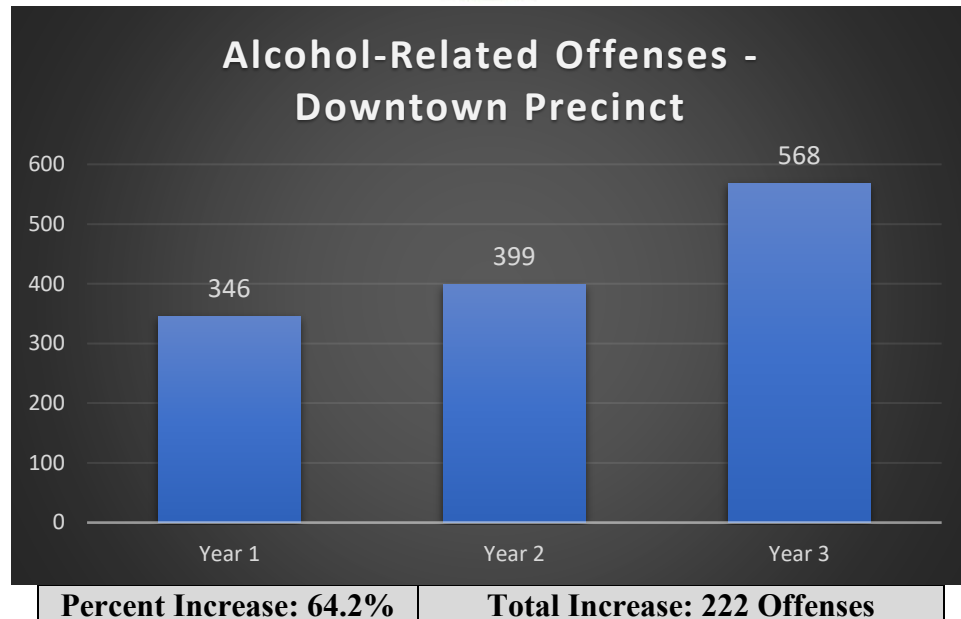
Off-Premises Licensee (Tradename)	Address	Hours
7-ELEVEN STORE #32703B	177 S DIVISION ST	24 Hours
BAINS LIQUOR MART MAPLE	404 S MAPLE ST	24 Hours
BAINS MART 2ND AVE	1428 W 2ND AVE	24 Hours
BEST WESTERN PLUS CITY CENTER	33 W SPOKANE FALLS BLVD	N/A
CITY FUEL	1527 W 3RD AVE	6:00am – 10:00pm
CONOCO FOOD MART	1602 W 3RD AVE	24 Hours
DIVINE 11 MIDCITY	822 W 2ND AVE	6:00am – 1:00am
DIVISION EXPRESS	3 EAST 3RD AVE	6:00am – 12:30am
DOWNTOWN QUICK STOP	10 N POST ST STE 102	6:00am – 12:00am
DOWNTOWN QUICK STOP 2	10 N POST ST STE 16	6:00am – 12:00am
DOWNTOWN QUICK STOP III ¹	501 W SPRAGUE AVE	
DOWNTOWN SPOKANE GROCERY OUTLET	1617 W 3RD AVE	8:00am – 9:00pm
MAIN MARKET CO-OP	44 W MAIN AVE	8:00am – 8:00pm
P M JACOY'S	402 W SPRAGUE AVE	7:00am – 7:00pm
ROSAUERS SUPERMARKETS #2	1808 W 3RD AVE	6:00am – 10:00pm
SUNSET GROCERY	1908 W SUNSET BLVD	24 Hours
THE PIGGY MART	932 W 3RD AVE	5:00am – 2:00am
VINO! A WINE SHOP	222 S WASHINGTON ST	10:00am – 7:00pm

Although crime is down year-to-date in the downtown police precinct area overall, alcohol-related incidents in the area have grown 64% over the last three years.²³

¹ Off-Premises liquor license is currently pending.

² Ernst, Spokane Police Department; **Method:** All police report offenses were reviewed using the FBI NIBRS flag “Offender suspected of using Alcohol”. Any offenses where that flag was set to Yes were included. Additionally, all statutes in the system were reviewed for key terms like “alcohol”, “liquor”, “open container”, and “DUI”. If the statute reflected alcohol use but the “Offender suspected of using Alcohol” flag was set to No or Unknown, the offense was counted anyway.

³ Year 1 is 10/1/2021 to 9/30/2022. Year 2 is 10/1/2022 to 9/30/2023. Year 3 is 10/1/2023 to 9/30/2024



Specifically, alcohol-related offenses within 1,000 feet of ten off-premises alcohol outlets within the downtown police precinct area are up over the same 3-year period.

<u>Licensee</u>	<u>Percent Increase – 3 Year Period</u>
7-ELEVEN STORE #32703B	108%
BAINS LIQUOR MART MAPLE	4%
CONOCO FOOD MART	30%
DIVINE 11 MIDCITY	44%
DIVISION EXPRESS	154%
DOWNTOWN QUICK STOP 1 & 2	106%
DOWNTOWN SPOKANE GROCERY OUTLET	23%
P M JACOY'S	114%
THE PIGGY MART	39%

Alcohol Impact Areas (AIA)

The purpose of an alcohol impact area is for local governments to mitigate illegal activities linked with the sale or public consumption of alcohol within a geographic area of their jurisdiction (Washington State Liquor and Cannabis Board, 2024). Certain conditions and

restrictions may be implemented on off-premises alcohol outlets including the limitation of hours of operation for off-premises sales, banning of certain alcohol items, and a prohibition on the sale of single-serve containers (Washington State Liquor and Cannabis Board, 2019).

As of October 2024, most of the off-premises alcohol outlets within the downtown police precinct area were selling high-octane alcohol products that were previously restricted less than two years ago within the downtown alcohol impact area.

Importantly, the petitioning local government is responsible for suggesting the conditions and restrictions for consideration of the Washington Liquor and Cannabis Board per Washington Administrative Code 314-12-215. In addition to LCB-adopted conditions and restrictions, local governments are given sixty days to register objections under RCW 66.24.010 to new liquor license applications within alcohol impact areas versus only twenty days for licenses outside of an alcohol impact area. Implementation of an alcohol impact area requires adoption of an ordinance by the Spokane City Council executing a six-month voluntary compliance period. The City will communicate to all off-premises alcohol outlet licensees in the area with a request to voluntarily comply with the conditions and restrictions. The LCB may formalize the conditions and restrictions if the licensees fail to comply with the conditions and restrictions placed by the voluntary alcohol impact area.

There are mandatory alcohol impact areas in large cities across Washington. All four cities with current alcohol impact areas have alcohol impact areas in their downtown core.

City	# of AIAs	Year Established
Seattle	2	1999
Tacoma	3	2008
Olympia	1	2014
Everett	1	2016

The first alcohol impact area was approved in Seattle’s Pioneer Square. In addition to certain product bans, the Pioneer Square alcohol impact area restricted the sale of off-premises alcohol between 6:00am and 9:00am and prohibited the sale of single serve containers (Nguyen, n.d.).

There is also a voluntary alcohol impact area in the city of Vancouver (City of Vancouver Washington, 2008). These large Washington cities have had multiple opportunities to end their alcohol impact area designations and have chosen not to repeal them. Reports published by law enforcement from these cities are clear: alcohol impact areas reduce crime. A report from the City of Seattle reviewing a five-year period from 2017-2022 found alcohol impact areas continue to have, “significant and positive effects on curbing the problems associated with chronic inebriation and public safety”. An external study of the City of Seattle’s alcohol impact areas supports the City of Seattle’s Department of Neighborhoods findings (Tarnai, 2009). Community organizations such as the Downtown Seattle Association and Chinatown-International District Business Improvement Area strongly advocated for the renewal of Seattle’s alcohol impact areas in 2022 (City of Seattle - Seattle Department of Neighborhoods, 2022). Similarly, the City of Everett also saw a decrease in alcohol-related incidents after the implementation of their alcohol impact area (Templeman, 2022).



The City of Spokane previously had two mandatory alcohol impact areas: Downtown, East Central, and one voluntary area: West Central. The downtown alcohol impact area's previous perimeter was from Cannon Street as the west boundary to Scott Street to the east and Spokane Falls Boulevard as the north boundary to Fifth Avenue as the south boundary. The downtown alcohol impact area was officially adopted by the Washington Liquor and Cannabis Board in 2010. The West Central voluntary alcohol impact area was created in 2011 and subsequently repealed by the City Council in 2012 after neighborhood pushback (Brunt, Alcohol impact area dropped, 2012). The Downtown and East Central alcohol impact areas existed until 2022, when they were inadvertently repealed by the previous administration and City Council in Emergency Ordinance C36289.

A year before the downtown and East Central alcohol impact areas were repealed, researchers from the University of Minnesota School of Public Health published a study on the crime reduction success of alcohol impact areas in Tacoma as well as downtown and East Central in Spokane. Crucially, one of the most significant reductions of crime within the alcohol impact areas were narcotic drug violations. Other crimes, including assaults, also decreased significantly (Jones-Webb, et al., 2021). This study matches Washington State University research published in 2009 that established the efficacy of the City of Seattle's alcohol impact areas. The WSU study found the rate of drug-related EMS incidents declined after implementing the alcohol impact area (Tarnai, 2009).

A five-year analysis of the downtown alcohol impact area completed and published by the Spokane Police Department showed the downtown alcohol impact area to have a "consistent and lower rate of increase in calls for service than the City [sic] of Spokane as a whole (Meidl, 2020)".



Downtown AIA - City of Spokane

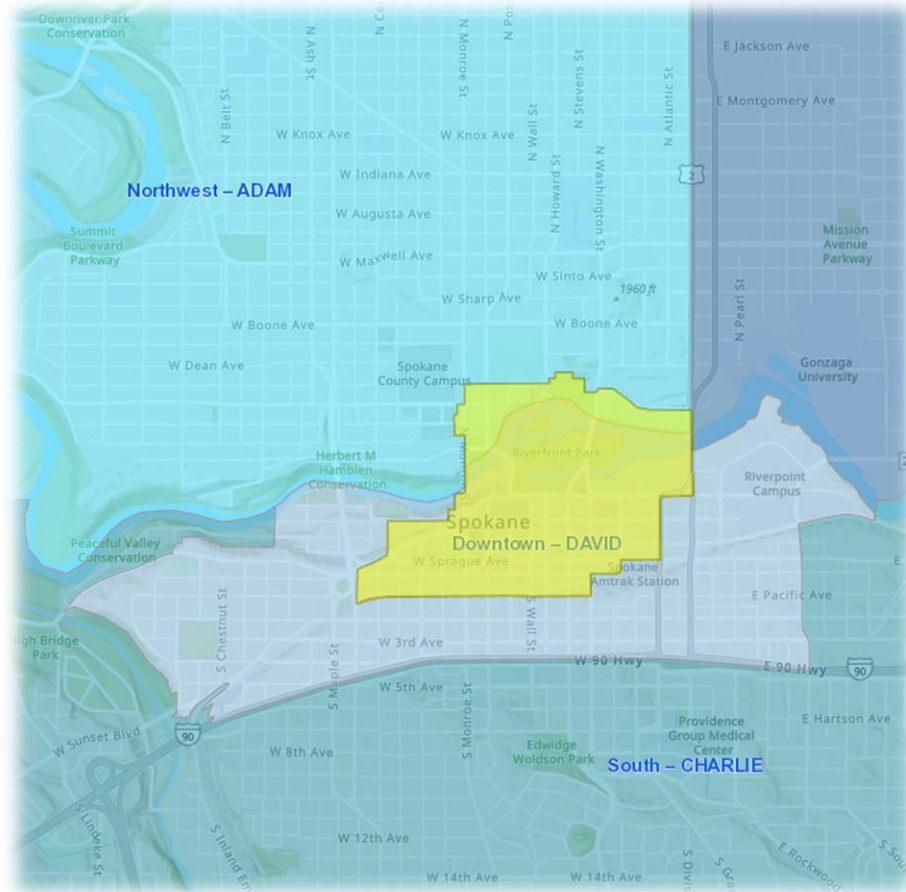
The East Central alcohol impact area drew praise from the East Spokane Business Association as having an almost immediate impact (Hewitt, 2012 Annual Report - East Central AIA, 2013):

“The East Central Alcohol Impact Area (AIA) has made a significant impact in the very short time it has been in effect. The East Central Neighborhood, Spokane International District and South Perry Street District have seen decreases in public intoxication, littering, loitering and disorderly conduct. The East Spokane Business Association is pleased with the immediate and positive impact the AIA has made in this neighborhood” - Jack-Daniyel Strong, Former ESBA President

Opponents of alcohol impact areas see the implementation of an alcohol impact area as designating that neighborhood a ‘problem’ zone (Brunt, Restrictions on alcohol sales get fresh look, 2012). Critics of alcohol impact areas also argue the criminal and nuisance activities reduced by an alcohol impact area simply get pushed to other neighborhoods (Hewitt, Retired Neighborhood Resource Officer - Spokane Police Officer, 2024). There is no evidence that supports the alcohol impact areas in East Central or downtown shifted chronic inebriation and other alcohol-related illegal activities to other neighborhoods. The Washington State University study of the City of Seattle alcohol impact areas found no evidence of dispersion of alcohol-related incidents to other neighborhoods. Furthermore, the study found no evidence of decline in retail sales for the retailers with liquor licenses within the alcohol impact area. In fact, retailers saw stable growth during the study period after the alcohol impact area was implemented (Tarnai, 2009).

Mitigating the data collection and reporting requirements of the alcohol impact area is an important consideration as the resources necessary to implement and maintain the designation could outweigh potential benefits (Anderson, 2024). To maximize crime reduction and public health benefits and to streamline data collection, a restored downtown alcohol impact area should match the boundaries of the downtown police precinct area (Census Tract 35, Census Tract 36.02, and western portion of Census Tract 145). This area is slightly smaller than the previous downtown alcohol impact area.

The Downtown Spokane Partnership recently added the restoration of the downtown alcohol impact area to their 2025 local legislative priorities. The downtown police precinct area covers most of the downtown business improvement district (BID) boundary.



Downtown BID Boundary overlaid on the Downtown Police Precinct Area

Off-premises Alcohol Retail Sales Hours

Washington state law prohibits the sale of alcohol from 2:00am to 6:00am unless restricted by local government (State of Washington, 2001). Local governments must restrict *all* operating hours within the jurisdiction equally unless the licensees are within a Washington Liquor and Cannabis Board-recognized alcohol impact area.

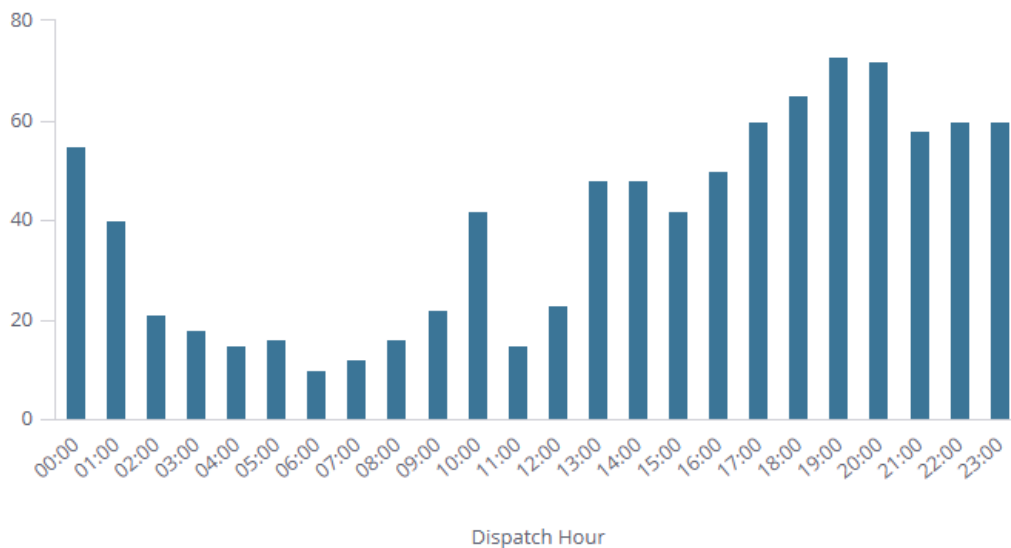
Spokane Police Department data over the last three years show more than 30% of all alcohol-related incidents⁴ downtown take place between midnight and 2:00am.⁵

⁴ NIBRS “Offender Suspected of Using Alcohol” value set to “Yes”.

⁵ Data pulled by Shawna Ernst from December 15th, 2021, through December 15th, 2024.



Likewise, the Spokane Fire Department responded to nearly 1500 calls for service and transported 363 individuals to the emergency department between 2022 and 2024 for alcohol-related incidents just within Fire Management Zone 1.



Calls for service related to alcohol peak between 7:00pm and 8:00pm within Fire Management Zone 1, however, many EMS calls also come between 12:00am and 2:00am.⁶ Calls for service drop significantly between 2:00am and 6:00am when alcohol sales are prohibited.

⁶ It is likely that this data is underreported. Based on information provided by the Spokane Fire Department, it is possible that many additional calls have an alcohol component but were documented as a trauma. For example,



Limiting hours when alcohol can be sold and served is a proven public health intervention and public safety strategy (Jernigan, Sparks, Yang, & Schwartz, 2013). This public health and safety strategy is endorsed by the World Health Organization (World Health Organization, 2017) and the Substance Abuse and Mental Health Services Administration (Substance Abuse and Mental Health Services Administration (SAMHSA), 2022). A recent study from Baltimore found that shortening overnight sales of alcohol reduced violent crime in the immediate and surrounding areas and saved the City of Baltimore millions of dollars in annual costs (McKoy, 2024).

Off-Premises Licensee (Tradename)	Weekday Hours	Weekend Hours
7-ELEVEN STORE #32703B	24 Hours	24 Hours
BAINS LIQUOR MART MAPLE	24 Hours	24 Hours
BAINS MART 2ND AVE	24 Hours	24 Hours
BEST WESTERN PLUS CITY CENTER	N/A	N/A
CITY FUEL	6:00am – 10:00pm	6:00am – 10:00pm
CONOCO FOOD MART	24 Hours	24 Hours
DIVINE 11 MIDCITY	6:00am – 11:00pm	6:00am – 1:00am
DIVISION EXPRESS	6:00am – 10:00pm	6:00am – 12:30am
DOWNTOWN QUICK STOP	6:00am – 12:00am	6:00am – 12:00am
DOWNTOWN QUICK STOP 2	6:00am – 12:00am	6:00am – 12:00am
DOWNTOWN SPOKANE GROCERY OUTLET	8:00am – 9:00pm	8:00am – 9:00pm
MAIN MARKET CO-OP	8:00am – 8:00pm	8:00am – 8:00pm
P M JACOY'S	7:00am – 7:00pm	7:00am – 7:00pm
ROSAUERS SUPERMARKETS #2	6:00am – 10:00pm	6:00am – 10:00pm
SUNSET GROCERY	24 Hours	24 Hours
THE PIGGY MART	5:00am – 2:00am	5:00am – 2:00am
VINO! A WINE SHOP	10:00am – 7:00pm	10:00am – 7:00pm

Extending the prohibition of overnight off-premises retail sales of alcohol from 2:00am to 12:00am would reduce the current alcohol sales periods for eight off-premises alcohol outlets in the downtown police precinct area. Extending the overnight sales prohibition by two hours would reduce the five twenty-four-hour stores daily alcohol sale period by two hours each day. Division Express would reduce its alcohol sale period by 30 minutes on weekends. Divine 11 MIDCITY would reduce its alcohol sale period by 1 hour on weekends. The Piggy Mart would reduce its alcohol sale period a total of two hours each day.

when a patient falls from intoxication and 911 is activated, that call could get recorded as a trauma. Also, if the Fire Department arrives on a scene and a person is intoxicated and is requesting detox services the call could be recorded as a public assist.

Off-Premises Licensee (Tradename)	Weekday Alcohol Retail Hours Reduced	Weekend Alcohol Retail Hours Reduced
7-ELEVEN STORE #32703B	2 Hours	2 Hours
BAINS LIQUOR MART MAPLE	2 Hours	2 Hours
BAINS MART 2ND AVE	2 Hours	2 Hours
CONOCO FOOD MART	2 Hours	2 Hours
DIVINE 11 MIDCITY	0 Hours	1 Hour
DIVISION EXPRESS	0 Hours	30 minutes
SUNSET GROCERY	2 Hours	2 Hours
THE PIGGY MART	2 Hours	2 Hours

Importantly, this condition would not require businesses to change their retail hours. This condition would simply prohibit the sale of alcohol during the overnight hours.

Single-Serve Alcohol Containers

Single-serve/ready-to-drink alcohol beverages have grown in popularity over the last several years. Nationally, flavored malt beverage products such as Twisted Tea⁷, Mike's Harder Lemonade, and Smirnoff products are second only to regular beer in beer-based beverage sales at convenience stores. Flavored malt beverages also have the largest gross profit margins among beer-based beverages at off-premises alcohol outlets such as convenience stores (Conway, 2024). Collectively, these multi-billion-dollar beverage companies engage in marketing that public health professionals contend target youth and vulnerable communities (O'Brien, Mathieu, Bikomeye, Busalacchi, & Borisy-Rudin, 2023).

Single-serve alcohol bottles, ready-to-drink (alcopops), tall boy cans, and miniatures (also known as 'nips') are also a significant source of litter and trash in the downtown core. Elected leaders in cities such as Boston (Jonas, 2023) have sought to prohibit the outright sale of miniatures and single-serve alcohol containers because of the detrimental waste impacts (Thys, 2023). The City of Spokane is currently spending hundreds of thousands of taxpayer dollars addressing litter and trash in the downtown core where single-serve alcohol containers are a significant source of litter⁸.

The following photos are a snapshot informal trash survey of single-serve containers found within the downtown police precinct area along 2nd Avenue and 3rd Avenue on October 26, 2024.

⁷ Owned by the Boston Beer Company

⁸ Special Budget Ordinance C36520











The single-serve containers seen above are inexpensive and have a higher alcohol by volume than traditional beer. Earthquake High Gravity Lager was the product most noticeable during the October 26, 2024, informal trash survey. Earthquake High Gravity Lager is also the product with the highest alcohol by volume content at the lowest price identified during the survey. Earthquake High Gravity Lager was previously restricted for purchase downtown under the downtown alcohol impact area.

<u>Product</u>	<u>Purchase Price in \$</u>	<u>Alcohol/Volume</u>	<u>Number of U.S. standard drinks⁹</u>
Earthquake High Gravity Lager	\$1.99	10%	4.0 Drinks
Hurricane High Gravity	\$2.39	8.1%	3.4 Drinks
Mike's Harder (Mango)	\$4.35	8%	3.2 Drinks
Smirnoff Ice Smash	\$3.69	8.1%	3.2 Drinks
Fireball Miniature	\$1.19	16.5%	0.5 Drinks
99 Brand Peaches	\$1.19	15%	0.4 Drinks

⁹ <https://rethinkingdrinking.niaaa.nih.gov/tools/calculators/drink-size-calculator>

Alcohol Impact Area Process



The Alcohol Impact Area process is lengthy and will require commitment from multiple departments including the Spokane Police Department, Code Enforcement, and City Attorney's Office. The City will be required to conduct multiple litter/trash surveys, obtain letters of support from neighborhood councils and business organizations, and provide evidence of the City's good faith efforts to address the problems voluntarily. If the petition to the LCB is successful, the City will publish a Year One Report on the effectiveness of the alcohol impact area followed by an assessment every five years.



Executive Summary – Naloxone Distribution and Smoking Paraphernalia

I. **Background:** The State of Washington preempts the field of drug paraphernalia except for ordinances regulating harm reduction practices.

II. **Issue:** Downtown Spokane is suffering from its highest overdose rate on record. Data suggests that people who use drugs and/or witness overdoses do not have adequate access to naloxone to reverse an opioid overdose. There are multiple businesses in downtown Spokane selling products such as pipes and foils used to consume illicit substances creating negative externalities for taxpayers and residents in the Riverside and surrounding neighborhoods.

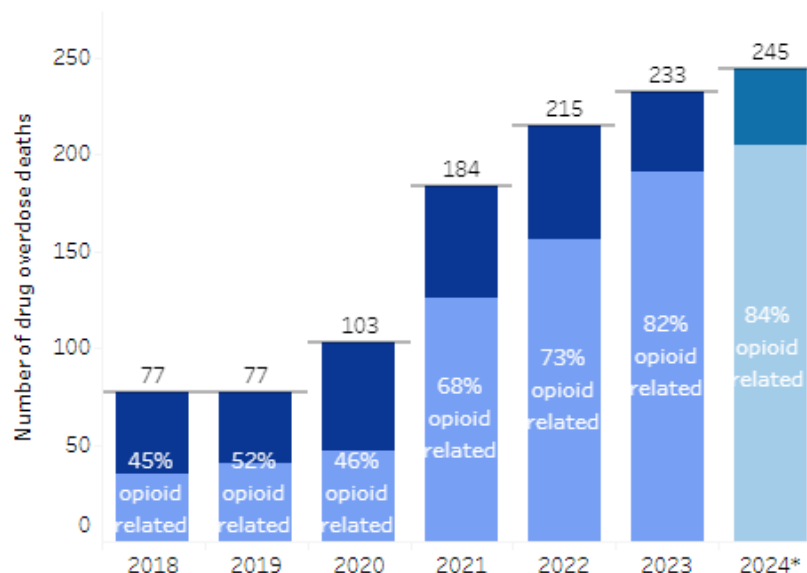
III. Policy Recommendation

Prohibit the sale of smoking paraphernalia within the downtown police precinct area unless providing naloxone for free during every transaction involving smoking paraphernalia.

Downtown Spokane Overdose Crisis

Preliminary numbers from Spokane County death certificate data indicate 245 people have died from drug overdose in 2024 in Spokane County. Spokane continues to see an alarming increase in drug overdose deaths with most of those deaths caused by opioids.

Overdose Deaths Over Time, Spokane County



The 2024 death data are preliminary and are expected to change.

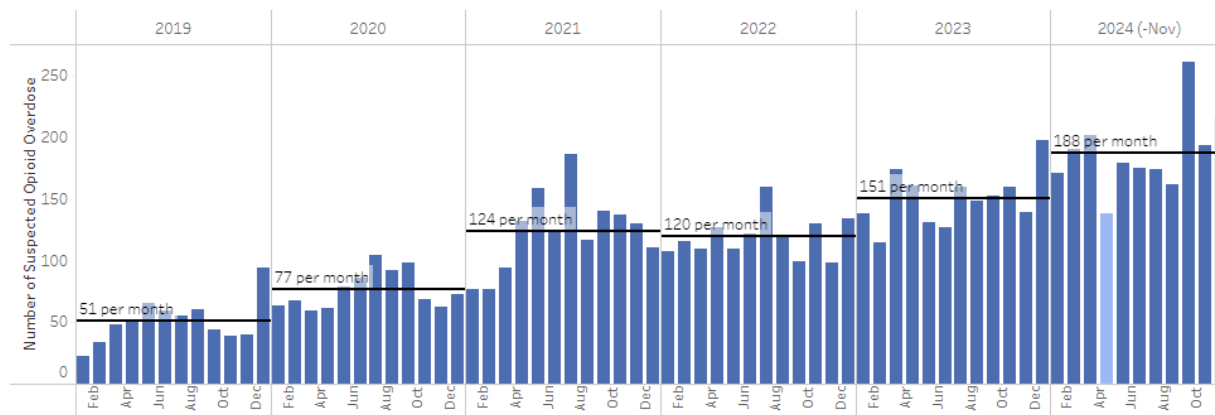
*Data were updated as of 12/16/2024.

Source: Death Certificate Data

Spokane County Opioid Dashboard

In September, Spokane County saw its highest number of Emergency Medical Services (EMS) calls for suspected overdose on record. Spokane County's non-fatal overdose emergency department visits also outpace the state rate.

Suspected opioid overdose



Source: Washington Emergency Medical Services Information System (WEMSIS) (As of 12/05/2024)

Note: The April 2024 EMS Opioid Overdose report data are incomplete. Interpret with caution. The reporting issues are due to the transition between ePCR vendors and to the NEMSIS V3.5 data standard. The estimated % of EMS responses reported to WEMSIS in Spokane County in April 2024 was 39% as compared to nearly 100% in other months.

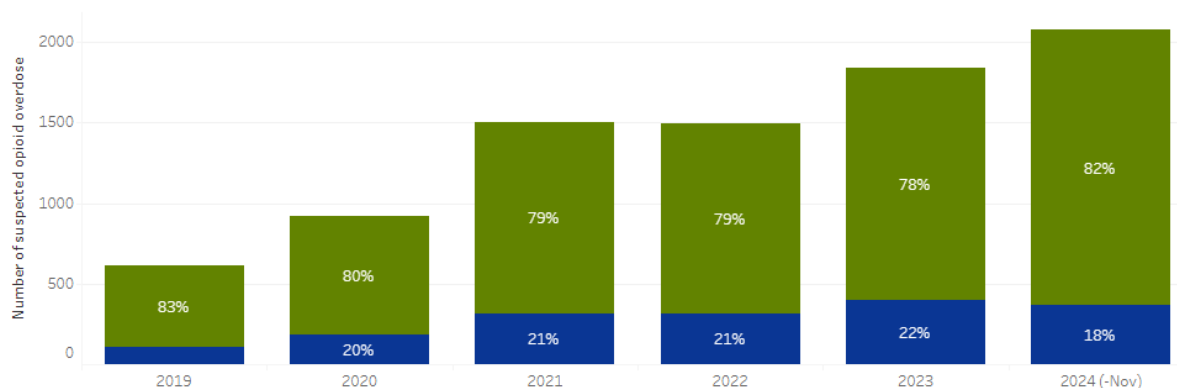
Paradoxically, the percentage of people experiencing opioid overdoses in Spokane who were administered naloxone *prior* to EMS arrival is also the lowest it has been since 2019.

- Indicators

 - ☐ Improved Naloxone response
 - ☐ Opioid impression
 - ☐ Suspected opioid overdose
 - ☐ % of suspected overdose with improved Naloxone respon...
 - ☐ Incident by age overtime (Spokane only)
 - ☒ Naloxone administered prior to EMS arrival (Spokane only)
- Geography

 - ☒ Spokane County
 - ☐ Washington State
- No Naloxone administered prior to EMS arrival
 - Naloxone administered prior to EMS arrival

Naloxone administered prior to EMS arrival (Spokane only)



Source: Washington Emergency Medical Services Information System (WEMSIS) (As of 12/05/2024)

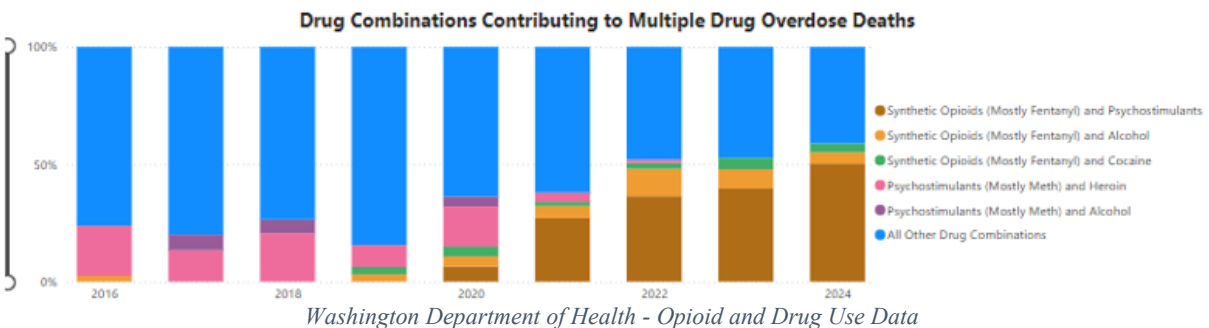
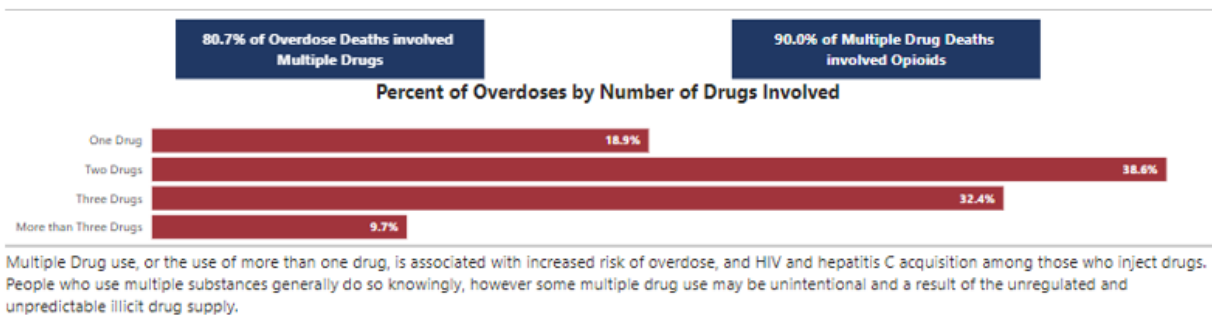
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Smoking Supplies/Drug Paraphernalia

Smoking is the most common way individuals consume both fentanyl and methamphetamine (Singh, Banta-Green, & Kingston, 2022). Foil is the most used smoking equipment for fentanyl followed by glassware such as pipes. A report published by the Centers for Disease Control and Prevention in February 2024 found that smoking was the predominant method of consumption that resulted in overdose deaths in the Western United States. In fact, almost 80% of overdose deaths showed no signs of injection/intravenous use (Tanz, et al., 2024).

The Spokane Regional Opioid Task Force (SROTF) reports synthetic opioids like fentanyl and carfentanil are showing up in other drugs including methamphetamine, cocaine, MDMA, and molly (Spokane Regional Opioid Task Force (SROTF), n.d.). A combination of fentanyl and psychostimulants, such as methamphetamine, are responsible for more than half of all overdose deaths in Spokane County.



There are multiple retail outlets in the city of Spokane that sell smoking paraphernalia such as butane torches, pipes, and foils. These businesses are primarily off-premises alcohol outlets, marijuana outlets, or smoke shops. There are five off-premises alcohol outlets selling torches, pipes, and foils within the downtown police precinct area (not including marijuana retailers). While marijuana retailers selling pipes and smoking paraphernalia are regulated by the Washington State Liquor and Cannabis Board and are age restricted to minors¹⁰, off-premises alcohol outlets selling the same smoking paraphernalia are not age restricted.

¹⁰ RCW 69.50.357

Foils are also sold at many off-premises alcohol outlets downtown. New studies suggest that the re-use of foil for smoking may increase the risk of overdose (Ciccarone, et al., 2024). Burned foil is also a significant source of litter in downtown Spokane. Littered foils with drug residue are dangerous for animals and have led to multiple incidents involving pets who required overdose reversal medication after consuming littered foils (Sanford, It's not just humans — dogs in Spokane are also overdosing on drugs, 2024).



It is a Class 1 civil infraction under Washington state law to sell drug paraphernalia.¹¹ Washington’s drug paraphernalia law provides that “[In determining whether an object is drug paraphernalia under this section, a court or other authority should consider, in addition to all other logically relevant factors, the following:] (6)[(f)] *Direct or circumstantial evidence of the intent of an owner, or of anyone in control of the object, to deliver it to persons whom he or she knows, or should reasonably know, intend to use the object to facilitate a violation of this chapter; the innocence of an owner, or of anyone in control of the object, as to a direct violation of this chapter shall not prevent a finding that the object is intended or designed for use as drug paraphernalia.*” Simply, these outlets are either breaking state law and subject to a Class 1 civil infraction, or they are selling products that may be subject to regulation by local governments utilizing their policing power (Spitzer, 2000).

The outlets selling pipes, torches, foils, and other smoking supplies market the paraphernalia for legal use only despite common sense and acknowledgement by local (Lawrence-Turner, 2008) and federal law enforcement (Drug Enforcement Agency, 2023) that these products are generally used for consuming illicit substances. Historically, some major gas companies have ended their

¹¹ RCW 69.50.4121



relationship with Washington state convenience stores over the sale of drug paraphernalia (Schiffner, 2008).



Downtown Quick Stop 2 Window Display (Riverside Avenue – Riverside Neighborhood)

Although the State of Washington has preempted the entire field of drug paraphernalia, cities may enact ordinances relating to the establishment or regulation of harm reduction services concerning drug paraphernalia.¹² Tobacco products¹³ and vapor products¹⁴ are regulated exclusively by the Washington State Liquor and Cannabis Board. Cities like Vancouver have attempted to tackle the prevalence of smoking paraphernalia by prohibiting its display to minors (City of Vancouver Washington, 2014) – an ordinance that was modeled after the City of Spokane’s Ordinance C34213 adopted in 2008 and subsequently repealed by the Council in 2022 through the adoption of RCW criminal statutes by reference in Ordinance C36289. Other communities like Boise (Idaho Press, 2024) and Philadelphia (City of Philadelphia Licenses and Inspections, 2023) have used a mix of law enforcement and zoning to address the proliferation of stores selling smoking paraphernalia.

Naloxone Distribution

Public health leaders advocate “saturating” a community with naloxone. The goal of saturation is to eliminate lack of access to naloxone as a reason for overdose deaths (Bennett & Elliott, 2021).

¹² RCW 69.50.612

¹³ RCW 82.26.010(21)

¹⁴ RCW 70.345.010.

Naloxone, also commonly known as NARCAN, is a medication that saves lives by reversing the effects of an opioid overdose. The Washington State Department of Health recommends that people who use drugs, friends and family of people who use drugs, and those who interact with people who use drugs carry naloxone (Washington State Department of Health, n.d.). The City of Spokane's first responders carry naloxone.



Despite some access to naloxone within the city of Spokane, it is clear from the local EMS data that we are nowhere near naloxone saturation. Stigma and an inability to reach those most at risk are barriers to naloxone distribution. The reduction in injection/intravenous drug use also creates a gap in harm reduction distribution in Spokane, which has traditionally been carried out by syringe service programs (Wohlfeil, 2022). Spokane Regional Health District's syringe service program currently does not provide injective alternatives such as glass, pipes, and foils.

Naloxone is available for free at the Spokane Regional Health District Syringe Service Program and a handful of community-based organizations¹⁵ within in the city of Spokane (stopoverdose.org, n.d.). Naloxone is covered by Medicaid and may be dispensed in Washington state with or without a prescription due to a statewide standing order (Washington State Department of Health, 2024). There is no certification or training required to use naloxone and individuals are generally protected under Washington's Good Samaritan Law from civil liabilities as well as charge and prosecution for possession of a controlled substance (stopoverdose.org, 2024). Stopoverdose.org has free materials such as posters and wallet cards that could be used to distribute information about the Good Samaritan Law.

NARCAN (naloxone) can be bought online through Amazon.com, NACARAN.com, and other online retailers. The City maintains an online list of NARCAN providers on the Emergency Management webpage on the City of Spokane website along with training videos (City of Spokane, n.d.). NARCAN also available for purchase at retailers within the city of Spokane (Emergent Devices Inc. , n.d.).

¹⁵ Peer Spokane; Compassionate Addiction Treatment; M.H.A. Speakout Speakup; West Spokane Wellness Partnership



Online NARCAN (naloxone) Retailers
CVS.com
Instacart.com
Kroger.com
Riteaid.com
Target.com
Walgreens.com
Walmart.com
Wegmans.com

NARCAN (naloxone) Retailers	Address	Phone	Neighborhood
CVS Pharmacy	4915 S Regal Street	509-822-3275	Southgate
CVS Pharmacy	9770 N Newport Highway	509-466-7226	Shiloh Hills
Rite Aid	810 E 29 th Avenue	509-838-3508	Comstock
Rite Aid	2215A W Wellesley Avenue	509-328-7887	Audubon/Downriver
Rite Aid	2929 E 29 th Avenue	509-535-9056	Lincoln Heights
Target	4915 S Regal Street	509-822-3290	Southgate
Target	9770 N Newport Highway	509-466-3006	Shiloh Hills
The Medicine Shoppe Pharmacy	902 W Indiana Avenue	509-327-1504	Emerson/Garfield
Walgreens	1708 W Northwest Boulevard	509-323-0309	Emerson/Garfield
Walgreens	2830 S Grand Boulevard	509-455-3736	Manito/Cannon Hill
Walgreens	327 W 3 rd Avenue	509-838-0175	Riverside
Walmart	2301 W Wellesley Avenue	509-327-0404	Audubon/Downriver
Walmart	9212 N Colton Street	509-464-2173	Shiloh Hills

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Agenda Sheet for City Council:

Committee: PIES **Date:** 12/16/2024

Committee Agenda type: Consent

Date Rec'd

11/26/2024

Clerk's File #

ORD C36632

Cross Ref #

Project #

2024071

Council Meeting Date: 01/13/2025

Submitting Dept

ENGINEERING SERVICES

Contact Name/Phone

DAN BULLER 625-6391

Contact E-Mail

DBULLER@SPOKANECITY.ORG

Agenda Item Type

First Reading Ordinance

Council Sponsor(s)

BWILKERSON JBINGLE KKLITZKE

Agenda Item Name

0370 - CONDEMNATION ORDINANCE FOR SHAWNEE BOOSTER STATION SITE

Agenda Wording

Condemnation Ordinance for the acquisition of 4500 square feet of land, a portion of parcel 26143.0513 for the Shawnee Booster Station site.

Summary (Background)

The City and the private property owner have agreed on the purchase of approximately 4500 SF of land for a booster station site. There is a greenbelt easement that is part of the drainage way and is a restrictive covenant on the Plat. The only practical way to remove this easement is by condemning the property, due to the fact that the easement is a covenant in the plat where the property is situated, and agreement of all homeowners subject to the plat for a plat alteration is likely impossible.

Lease? NO

Grant related? NO

Public Works? NO

Fiscal Impact

Approved in Current Year Budget? YES

Total Cost

\$

Current Year Cost

\$

Subsequent Year(s) Cost

\$

Narrative

Amount

Budget Account

Select

\$

#

Select

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#

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Continuation of Wording, Summary, Approvals, and Distribution

Agenda Wording

Summary (Background)

[illegible]

Committee Agenda Sheet

Public Infrastructure, Environment & Sustainability Committee

Committee Date	12-16-24
Submitting Department	Engineering Services
Contact Name	Dan Buller
Contact Email & Phone	dbuller@spokanecity.org , 625-6391
Council Sponsor(s)	Wilkerson, Bingle, Klitzke
Select Agenda Item Type	<input checked="" type="checkbox"/> Consent <input type="checkbox"/> Discussion Time Requested:
Agenda Item Name	Shawnee Booster Station Site Acquisition – Condemnation
Proposed Council Action	<input checked="" type="checkbox"/> Approval to proceed to Legislative Agenda <input type="checkbox"/> Information Only
Summary (Background) *use the Fiscal Impact box below for relevant financial information	<ul style="list-style-type: none"> The city and the private property owner have agreed on the purchase of approx. 4500 SF of land for a booster station site for the price of \$70,000. The location can be seen on the attached exhibit. There are two obstacles to use the property for a booster station. The first obstacle is that this area serves as a stormwater drainage way. This obstacle is not complicated and can be addressed by proper engineering. The second obstacle is that a greenbelt easement is part of the drainage way, and is a restrictive covenant on the Plat. The only practical way to remove this easement is by condemning the property, due to the fact that as the easement is a covenant in the plat where the property is situated, and agreement of all homeowners subject to the plat for a plat alteration is likely impossible. Condemnation is a process typically utilized to acquire property from an unwilling property owner. But in this case, the property owner is entirely willing to sell the city the parcel for the agreed upon \$70,000. The property owner agrees with this “friendly” condemnation process as the only practical way to address the greenbelt easement. The other owners of the plat will receive notice of the lawsuit in one manner or another, which is still to be determined, and would have the right to object. Since the purpose of the easement is to channel water, as set forth in the covenant and the plat, we do not believe any potential claims are apparent at this time from any other plat parcels, approximately 44, or would be very minimal, if any, as long as the City preserves the drainage/culvert, or improves it. Engineering Services is requesting council approval of a condemnation ordinance in order to move ahead with the acquisition of this property.
Fiscal Impact Approved in current year budget? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A Total Cost: <u>\$74,000</u> Current year cost: \$74,000 Subsequent year(s) cost: None	
Narrative: Please provide financial due diligence review, as applicable, such as number and type of positions, grant match requirements, summary type details (personnel, maintenance and supplies, capital, revenue), impact on rates, fees, or future shared revenue	

Funding Source ☐ One-time ☐ Recurring ☒ N/A

Specify funding source: Select Funding Source*

Is this funding source sustainable for future years, months, etc? [Click or tap here to enter text.](#)

Expense Occurrence ☐ One-time ☐ Recurring ☒ N/A

Other budget impacts: (revenue generating, match requirements, etc.)

Operations Impacts (If N/A, please give a brief description as to why)

- What impacts would the proposal have on historically excluded communities?
Public works services and projects are designed to serve all citizens and businesses. We strive to offer a consistent level of service to all, to distribute public investment throughout the community and to respond to gaps in services identified in various City plans.
- How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?
N/A
- How will data be collected regarding the effectiveness of this program, policy, or product to ensure it is the right solution?
Public Works follows the City's established procurement and public works bidding regulations and policies to bring items forward, and then uses contract management best practices to ensure desired outcomes and regulatory compliance.
- Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?
This work is consistent with annual budget strategies to limit costs and approved projects in the 6-year CIP.

Council Subcommittee Review

- Please provide a summary of council subcommittee review. If not reviewed by a council subcommittee, please explain why not.



ORDINANCE NO. C36632

AN ORDINANCE PROVIDING FOR THE ACQUISITION BY EMINENT DOMAIN OF CERTAIN LANDS NECESSARY FOR WATER BOOSTER PUMP STATION IN THE VICINITY OF N. WIEBER DRIVE AND W. SHAWNEE LANE, LOCATED IN THE CITY AND COUNTY OF SPOKANE, STATE OF WASHINGTON.

RECITALS

1. The City of Spokane, Washington (the “City”) is a first class charter city duly organized and existing under and by virtue of the constitution and laws of the State of Washington, and Charter of the City.

2. The laws of the State of Washington, RCW 35.92.010, provide that the City may operate waterworks and perform acts relating thereto, including specifically the power of condemnation of private property for public use as may needed therefore.

3. The Constitution of the State of Washington, Article I Section 16 and the laws of the State of Washington RCW 35.22.280(6) allow the City to purchase or appropriate private property for public use upon making just compensation to the owners pursuant to RCW Chapter 8.12.

4. The City Department of Water & Hydro-electric has determined that it requires certain private property to situate a water booster pump station in the vicinity of N. Wieber Drive and W. Shawnee Lane and must construct necessary improvements to result in providing an adequate and necessary flow of water at required pressure in the surrounding water distribution system.

5. The City Department of Public Works has negotiated in good faith for the acquisition of the property identified in Exhibit A, and the parties have agreed upon the purchase price and the owner has participated in negotiations for acquisition of the premises.

6. The Property on Exhibit “A” is subject to an easement identified on the Plat and elimination of the easement is necessary to complete the project, and condemnation is necessary for that purpose.

7. Pursuant to RCW 8.25.290, the City has caused notice to be mailed to each and every property owner of record, as indicated on the tax rolls of Spokane County according to such addresses shown on such rolls, at least fifteen (15) days prior to the City Council taking final action on this ordinance, including publication of notice of this ordinance in the Spokesman Review for two (2) consecutive weeks before final action by the City Council.

NOW, THEREFORE, The City of Spokane does ordain:

Section 1. The public use and necessity requires the acquisition by the City of Spokane, a Washington municipal corporation, of the land and property described on Exhibit A for public

purposes to situate a water booster pump station for the municipal waterworks, together with such temporary construction easements as are deemed necessary by City staff, for public purposes in order to complete the Water Booster, all as set forth in Public Works file number _____.

Section 2. The City Attorney is hereby authorized and directed to commence an action or actions in the Superior Court of Spokane County, State of Washington, in the name of the City of Spokane, to acquire and take by eminent domain the lands necessary to be acquired for the purposes set forth herein, the lands to be so taken situate in the City of Spokane, County of Spokane, all in the State of Washington, and more specifically described in Exhibit A attached hereto and by this reference made a part hereof, together with such amendments thereto and such additional temporary construction easements as are deemed necessary by City staff to complete the project.

Section 3. That compensation for the land and property described on Exhibit A order to be taken shall be payable from the City of Spokane fund account number _____, of the City of Spokane and funds which are allocated for waterworks needs by the City of Spokane Department of Water & Hydro-electric.

PASSED by the Spokane City Council this _____ day of _____, 2025.

COUNCIL PRESIDENT

Attest:

City Clerk

Approved as to form:

Assistant City Attorney

Attachment: Exhibit A

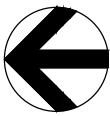
EXHIBIT A

LEGAL DESCRIPTION OF TAKE AREA

Acquisition (Portion of Assessor's Parcel No. 26143.0513)

ACQUISITION EXHIBIT

BEING A PORTION OF THE SW 1/4, S.14, T.26N., R.42E., W.M.,
CITY OF SPOKANE, SPOKANE COUNTY, WA



GRID NORTH

To Remain Description

Lots 9 and 10, Block 12, Sunset Trails Second Addition, according to the plat thereof recorded in Volume 14 of plats, page(s)15, records of Spokane County, Washington. Together with: the north half of vacated Shawnee Avenue. And together with: that portion of the Southwest Quarter of Section 14, Township 26 North, Range 42 East of the Willamette Meridian, more particularly Described as follows: Beginning at the most Easterly point of Lot 10, Block 12, Sunset Trails Second Addition, as per plat recorded in Volume 14, Page 15, records of Spokane County, Thence Northwesterly along the Northeasterly line to the most Northerly Corner of said lot 10; Thence East a distance of 99.96 feet to the East line of the West half of the Southwest quarter of the Southwest Quarter of said section 14; Thence South 0°08'20" West along the said west line 147.83 feet to the Point of Beginning.

Together with: That portion of the South 1810.00 feet of the Southwest Quarter of the Southwest Quarter of Section 14, Township 26 North, Range 42 East, W.M., in the City of Spokane, Spokane County, Washington described as follows: Beginning at the most Northerly corner of Lot 10, Block 12 of Sunset Trails Second Addition according to the plat thereof recorded in Book 14 of Plats, Page 15, records of Spokane County; Thence North 58° 44' 08" West along the northerly boundary of said Block 12, a distance of 321.86 feet to the Northwest corner of Lot 7, Block 12 of said Plat thence North 29° 34' East a distance of 170.58 feet; Thence North 89° 49'57: East a distance of 291.03 feet to its intersection with the East line of the West Quarter of the Southwest Quarter of said section 14; Thence South 00° 10' 03" East along said East line, a distance of 168.97 feet to the Northwest corner of Lot 1, Block 2 of Shawnee Canyon Estates recorded in book 29 of Plats, pages 44 and 45, records of Spokane County; Thence continue South 00° 10' 03" East along the Westerly boundary of said Lot 1, a distance of 145.56 feet; Thence South 89° 59' 48" West a distance of 99.25 feet to the point of beginning. Record of Survey recording number 5986837 in book 144 of surveys at page 12. Situate in the City of Spokane, County of Spokane, State of Washington.

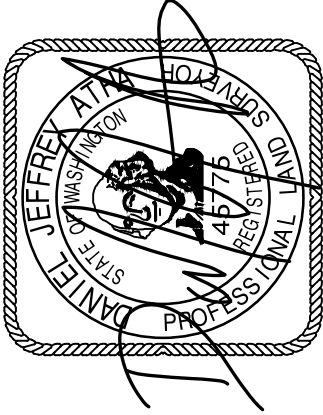
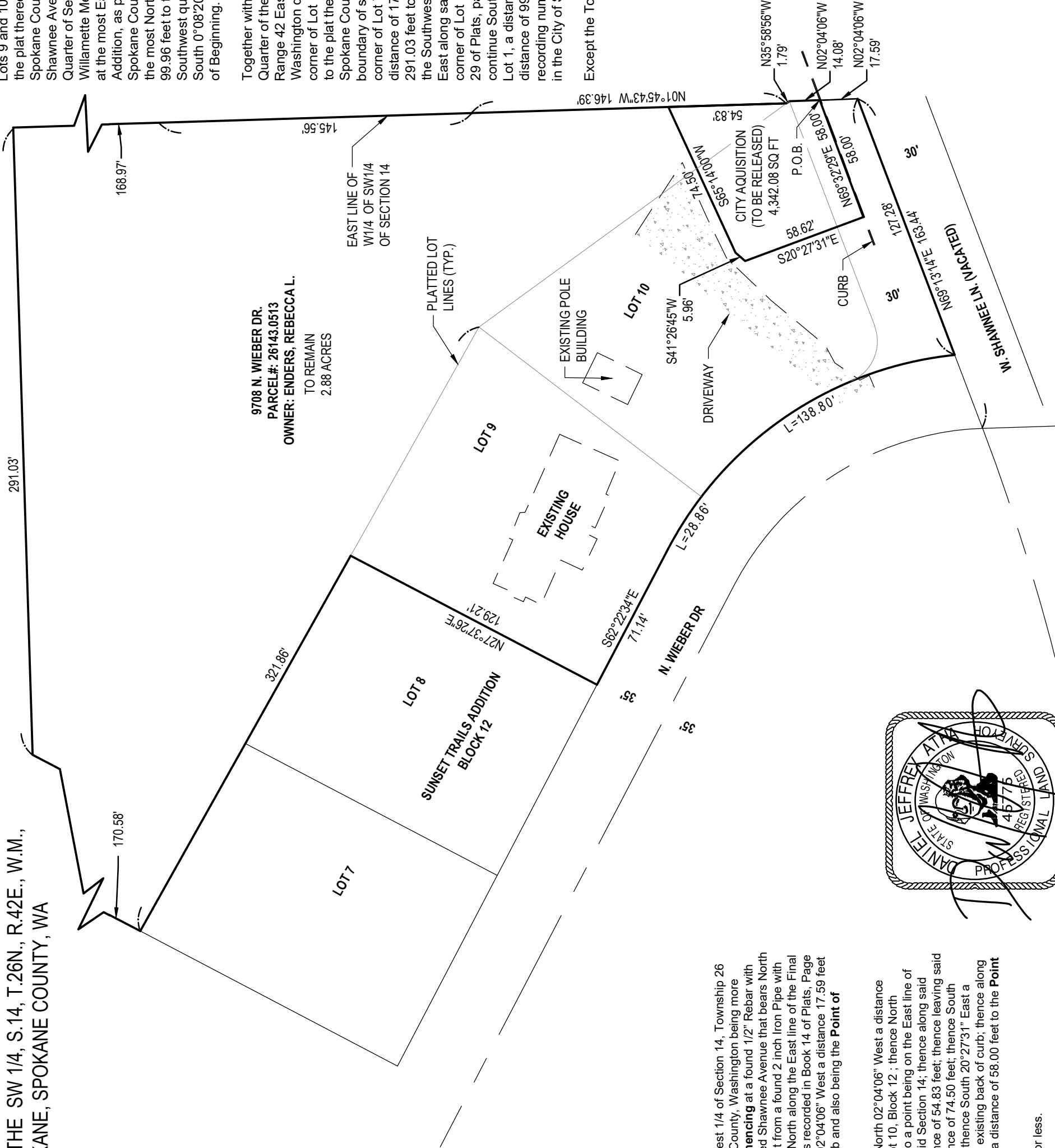
Except the To Be Released Description.


To Be Released Description

A portion of land situated in the Southwest 1/4 of Section 14, Township 26 North, Range 42 East, W.M., Spokane County, Washington being more particularly described as follows; **Commencing** at a found 1/2" Rebar with no cap marking the Centerline of vacated Shawnee Avenue that bears North 69°13'14" East a distance of 163.44 feet from a found 2 inch Iron Pipe with Brass Wire in Monument Case; thence North along the East line of the Final Plat of Sunset Trails Second Addition as recorded in Book 14 of Plats, Page 15, records of Spokane County; North 02°04'06" West a distance 17.59 feet to a point on the back of an existing curb and also being the **Point of Beginning**;

thence continuing along said East line North 02°04'06" West a distance 14.08 feet to the Southeast corner of Lot 10, Block 12 ; thence North 35°58'56" West a distance of 1.79 feet to a point being on the East line of the West 1/4 of the Southwest 1/4 of said Section 14; thence along said East line, North 01°45'43" West a distance of 54.83 feet; thence leaving said East line, South 65°14'00" West a distance of 74.50 feet; thence South 41°26'45" West a distance of 5.96 feet; thence South 20°27'31" East a distance of 58.62 feet to a point on said existing back of curb; thence along said back of curb North 69°32'29" East a distance of 58.00 feet to the **Point of Beginning**;

Containing 4,342.08 S.F. of land more or less.



LOCATION:	SPOKANE, WA		
CLIENT:	CITY OF SPOKANE		
PROJECT NO.	232620	DATE:	10/30/2024
		SHEET NO:	X OF X
<div>COFFMAN ENGINEERS</div> <div>221 N. Wall Street, Suite 500 Spokane, WA 99201 ph 509.328.2994 www.coffman.com</div>			



Agenda Sheet for City Council:

Committee: Urban Experience **Date:** 12/09/2024

Committee Agenda type: Discussion

Date Rec'd

11/26/2024

Clerk's File #

ORD C36629

Cross Ref #

Project #

Council Meeting Date: 01/13/2025

Submitting Dept

PLANNING & ECONOMIC

Bid #

Contact Name/Phone

RYAN SHEA 509-625-6087

Requisition #

Contact E-Mail

RSHEA@SPOKANECITY.ORG

Agenda Item Type

First Reading Ordinance

Council Sponsor(s)

JBINGLE ZZAPPONE KKLITZKE

Agenda Item Name

0650 BUILDING OPPORTUNITY FOR HOUSING (BOH) TEXT AMENDMENTS

Agenda Wording

Corrections to the Spokane Unified Development Code intended to fix errors, clarify, and create more flexibility.

Summary (Background)

The proposal amends 17A.020.060 "F" Definitions, 17C.111.205 Development Standards Tables, 17C.111.210 Density, 17C.111.220 Building Coverage and Impervious Coverage, 17C.111.235 Setbacks, 17C.111.310 Open Space, 17C.111.315 Entrances, 17C.111.320 Windows, 17C.111.325 Building Articulation, 17C.111.335 Parking Facilities, 17C.111.420 Open Spaces, 17C.111.450 Pitched Roofs, 17C.230.020 Vehicle Parking Summary Table, 17C.230.100 General Standards, 17C.230.110 Minimum Required Parking Spaces,

Lease? NO

Grant related? NO

Public Works? NO

Fiscal Impact

Approved in Current Year Budget? N/A

Total Cost

\$

Current Year Cost

\$

Subsequent Year(s) Cost

\$

Narrative

N/A

Amount

Budget Account

Neutral

\$

#

Select

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Continuation of Wording, Summary, Approvals, and Distribution

Agenda Wording

Summary (Background)

17C.230.120 Maximum Required Parking Spaces, 17C.230.130 Parking Exceptions, 17C.230.140 Development Standards, 17G.080.040 Short Subdivisions, and 17G.080.065 Unit Lot Subdivisions.

Approvals

Dept Head

BLACK, TIRRELL

Division Director

BLACK, TIRRELL

Accounting Manager

MURRAY, MICHELLE

Legal

SCHOEDEL, ELIZABETH

For the Mayor

SCOTT, ALEXANDER

Additional Approvals

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Committee Agenda Sheet

Urban Experience Committee

Submitting Department	Planning Services & Economic Development
Contact Name	Ryan Shea
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Council Sponsor(s)	
Select Agenda Item Type	<input type="checkbox"/> Consent <input checked="" type="checkbox"/> Discussion Time Requested: 15 min
Agenda Item Name	Building Opportunity for Housing (BOH) Code Fixes
Summary (Background) *use the Fiscal Impact box below for relevant financial information	<p>In November of 2023 the City of Spokane adopted new zoning regulations for lower-intensity residential zones. These changes, referred to as “Building Opportunity for Housing” (BOH) were intended to permanently implement the temporary changes put in place by the Building Opportunities and Choices for All program (BOCA).</p> <p>BOH was a major change to The City’s zoning regulations. As staff have worked with developers and property owners to implement the new regulations, some areas have been identified that need clarification or further refinement. This is an expected aspect of adopting major changes to the development code.</p> <p>These corrections are intended to fix errors, clarify, and create more flexibility within the Spokane Unified Development Code (Title 17).</p> <p>The proposal amends 17A.020.060 "F" Definitions, 17C.111.205 Development Standards Tables, 17C.111.210 Density, 17C.111.220 Building Coverage and Impervious Coverage, 17C.111.235 Setbacks, 17C.111.310 Open Space, 17C.111.315 Entrances, 17C.111.320 Windows, 17C.111.325 Building Articulation, 17C.111.335 Parking Facilities, 17C.111.420 Open Spaces, 17C.111.450 Pitched Roofs, 17C.230.020 Vehicle Parking Summary Table, 17C.230.100 General Standards, 17C.230.110 Minimum Required Parking Spaces, 17C.230.120 Maximum Required Parking Spaces, 17C.230.130 Parking Exceptions, 17C.230.140 Development Standards, 17G.080.040 Short Subdivisions, and 17G.080.065 Unit Lot Subdivisions.</p>
Proposed Council Action	Approval
Fiscal Impact Total Cost: Click or tap here to enter text. Approved in current year budget? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A Funding Source <input type="checkbox"/> One-time <input type="checkbox"/> Recurring Specify funding source: N/A Expense Occurrence <input type="checkbox"/> One-time <input type="checkbox"/> Recurring Other budget impacts: (revenue generating, match requirements, etc.)	
Operations Impacts (If N/A, please give a brief description as to why)	

What impacts would the proposal have on historically excluded communities?

N/A- these changes are minor in nature and only seek to improve clarity of code language.

How will data be collected, analyzed, and reported concerning the effect of the program/policy by racial, ethnic, gender identity, national origin, income level, disability, sexual orientation, or other existing disparities?

N/A- no data will be collected as a result of these minor text amendments.

How will data be collected regarding the effectiveness of this program, policy or product to ensure it is the right solution?

We are continually monitoring and assessing the effectiveness of the City's development code. We regularly interact with Development Services staff as they implement code to identify problems and areas for refinement.

Describe how this proposal aligns with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, and others?

These text amendments do not change the application or outcome related to the enforcement of the UDC. Proposed text amendments are refinements and do not affect alignment with current City Policies, including the Comprehensive Plan, Sustainability Action Plan, Capital Improvement Program, Neighborhood Master Plans, Council Resolutions, etc.

Code section	Description of Changes
17A.020.060 "F" Definitions	- Add definitions for Front Facade and Street Side Facade.
17C.111.205 Development Standards Tables	<ul style="list-style-type: none"> - Clarify that single-family and duplex construction within RMF and RHD should use the impervious coverage requirements of the R1 zone. - Fix footnote references. - Consolidate minimum lot width to 15 ft regardless of driveway approach (include footnote that other limitations on driveways may prevent a property owner from achieving the minimum).
17C.111.210 Density	<ul style="list-style-type: none"> - Reorganize section to improve clarity. - Change density calculation to gross area rather than net area. - Specify that for subdivisions in R1 and R2 zones, one lot is counted as one dwelling unit. - Ensure that no matter what a density calculation says, a property is allowed to have a minimum of six units (ensures compliance with HB 1110) - Clarify that minimum density does not apply when new construction occurs on an existing lot - Provide guidance for how to apply minimum density for subdivisions on a property with an existing structure - Small changes describing how to calculate density, including examples - Ensure critical areas "may" be deducted from density calculations, consistent with prior practice
17C.111.220 Building Coverage and Impervious Coverage	- Remove outdated references to FAR
17C.111.235 Setbacks	- Reinstate allowance for covered front porch to extend into front setback up to six feet. (was mistakenly removed)
17C.111.310 Open Space	<ul style="list-style-type: none"> - Rename from "Outdoor Areas" to "Open Space" - Rename "common outdoor area" to "courtyard outdoor area" - Clarify that private open space must be met in whole. It can't be partially met with the remainder going to courtyard open space. - Clarify how units whose open space is provided via a courtyard are identified. - Clarify how to count open space when multiple courtyards are provided.
17C.111.315 Entrances	<ul style="list-style-type: none"> - Clarify that houses adjacent to a courtyard can front onto the courtyard and are not required to face the street. - Clarify that a door may face the side yard on a recessed entrance as long as there is a direct pedestrian connection to the street and the entrance is recognizable as a building entryway.
17C.111.320 Windows	<ul style="list-style-type: none"> - Clarify that for living units with attached garages, the window requirement is only applicable to the part of the facade related to living unit (such as an ADU above a garage). - Clarify that window requirements don't apply to facades that are not visible from the street or 60' away from a street lot line.
17C.111.325 Building Articulation	<ul style="list-style-type: none"> - Clarify that attached houses are treated as a single building for this section - Clarify exceptions for ADUs above a garage and for facades not visible from the street or 60' away from a street lot line. - Adjust building modulation rules to be more flexible by: <ul style="list-style-type: none"> * increasing the width at which modulation is required (increase from 30' to 40') * allowing for bay windows or bump-outs to meet the requirement *- allowing for a covered porch to meet the requirement - Adjust requirements for design features on long facades to be more flexible as follows: <ul style="list-style-type: none"> * Clarify that the building modulation requirement can count towards the required design features - Provide specific examples to make requirements clearer

17C.111.335 Parking Facilities	<ul style="list-style-type: none"> - Add definition for Primary Street-Facing Facade - Exempt garages that are not visible from the street or are at least 60' from a lot line - Allow a single-car garage to cover more than 50% of the front facade in certain situations with narrow houses - Clarify application of garage width limitations to Front Facade only (do not apply on side street facades on corner lots) - Allow a single-car garage to be even with the house instead of stepped back - Allow a covered porch to count towards the step-back requirement for a garage - Exempt garages that are turned to face the side lot line as long as the facade meets other design standards (e.g. windows) - Provide for waivers of garage step-back requirement in limited conditions, including additions to existing structures - Clarify that detached garages should not be located between the primary structure and the street, with exceptions provided for limited situations - Provide limited exceptions to the 36' driveway approach requirement.
17C.111.420 Open Spaces	<ul style="list-style-type: none"> - Fix inconsistency in how to measure distance to a park. The measurement should occur from the property boundary.
17C.111.450 Pitched Roofs	<ul style="list-style-type: none"> - Repeal as it doesn't make sense to have this requirement be more burdensome on RMF/RHD development than what is allowed in R1/R2
17C.230.020 Vehicle Parking Summary Table	<ul style="list-style-type: none"> - New table summarizing required/allowed parking amounts
17C.230.100 General Standards	<ul style="list-style-type: none"> - Remove elements related to parking minimums per recent Council action to remove minimums - Minor wording changes
17C.230.110 Minimum Required Parking Spaces	<ul style="list-style-type: none"> - Remove current language and state no minimum spaces are required
17C.230.120 Maximum Required Parking Spaces	<ul style="list-style-type: none"> - Remove Table 17C.230.120-1 and relocate information to 17C.230.020
17C.230.130 Parking Exceptions	<ul style="list-style-type: none"> - Remove Table 17C.230.130-1 and relocate information to 17C.230.020 - Remove elements related to parking minimums
17C.230.140 Development Standards	<ul style="list-style-type: none"> - Remove language referring to City applying surfacing requirements retroactively - Remove Table 17C.230.140-1 and apply same dimensional requirements across all zones - Clarify curbing requirements to only apply adjacent to parking stalls and parking aisles - Extend exceptions for marked parking for detached homes to apply to Middle Housing as well (per HB 1110 requirement to treat them equally)
17G.080.040 Short Subdivisions	<ul style="list-style-type: none"> - Clarifications to submittal requirements regarding electronic submittals - Wording clarifications
17G.080.065 Unit Lot Subdivisions	<ul style="list-style-type: none"> - Clarify parent site requirements. - Clarify that common space may be owned by an HOA that is larger than the Unit Lot portion of a development. - Clarify that an ADU lot may be created whether it is existing or planned. - Add section with requirements for combining a Unit Lot Subdivision with a regular long plat or short plat. - Clarify that parent sites within a larger plat are limited to 2 acres total. - Remove requirement for utility lines to branch from a common line.

ORDINANCE NO. C36629

AN ORDINANCE relating to Building Opportunity for Housing (BOH) follow up code fixes making changes to the Unified Development Code that are intended to fix errors, clarify, and create more flexibility within the Spokane Municipal Code, amending Spokane Municipal Code (SMC) sections 17A.020.060 "F" Definitions, 17C.111.205 Development Standards Tables, 17C.111.210 Density, 17C.111.220 Building Coverage and Impervious Coverage, 17C.111.235 Setbacks, 17C.111.310 Open Space, 17C.111.315 Entrances, 17C.111.320 Windows, 17C.111.325 Building Articulation, 17C.111.335 Parking Facilities, 17C.111.420 Open Spaces, 17C.230.100 General Standards, 17C.230.110 Minimum Required Parking Spaces, 17C.230.120 Maximum Required Parking Spaces, 17C.230.130 Parking Exceptions, 17C.230.140 Development Standards, 17G.080.040 Short Subdivisions, 17G.080.065 Unit Lot Subdivisions, adopting a new section 17C.230.020 Vehicle Parking Summary Table, and repealing 17C.111.450 Pitched Roofs.

WHEREAS, the maintenance of the Unified Development Code (UDC) and in general the Spokane Municipal Code (SMC) has been a periodic, recurring project of Planning Services as well as other City departments to improve clarity and consistency with local policy and State and Federal laws; and,

WHEREAS, as part of its regular review and assessment of the Unified Development Code, Planning Services has identified multiple sections of the SMC requiring corrections, clarification, and adjustments to enable more flexibility in response to development applications; and,

WHEREAS, in the City of Spokane Comprehensive Plan Chapter 3 Land Use, Policy 7.2 Continuing Review Process, calls out a process to periodically review and correct the SMC; and,

WHEREAS, by the public process outlined in the Plan Commission Findings of Fact, Conclusions, and Recommendations (Exhibit A), and the Planning Services Staff Report (Exhibit B), interested agencies and the public have had opportunities to participate throughout the process and all persons wishing to comment on the amendment were given an opportunity to be heard; and,

WHEREAS, the proposed text amendments were drafted and reviewed consistent with the requirements of RCW 36.70A.370 to assure protection of private property rights; and,

WHEREAS, on September 11, 2024, the Washington State Department of Commerce and appropriate state agencies were given the required 60-day notice before the adoption of proposed changes to the Unified Development Code according to RCW 36.70A.106; and,

WHEREAS, on October 16, 2024 a notice of intent to adopt was issued through the City of Spokane Gazette according to SMC 17G.025.010; and,

WHEREAS, a legal notice of a SEPA Determination of Nonsignificance was issued by the director of Planning Services on October 29, 2024 and published in the *Spokesman Review* on October 30 and November 6, 2024, for the amendment related to the proposed code text amendments. No comments were received; and,

WHEREAS, before the Plan Commission public hearing a legal notice was published in the *Spokesman-Review* on October 30 and November 6, 2024; and,

WHEREAS, on November 13, 2024, the Plan Commission held a public hearing on the proposed amendments. No testimony was heard; and,

WHEREAS, on November 13, 2024, the Plan Commission voted to recommend the City Council adopt the proposed amendments (see Exhibit A); and,

WHEREAS, the proposed actions are consistent with and supported by the Spokane Comprehensive Plan as outlined in the Plan Commission Findings of Fact, Conclusions, and Recommendations (Exhibit A); and,

WHEREAS, the City Council adopts the recitals set forth herein as its findings and conclusions in support of the adoption of this ordinance and further adopts the findings, conclusions, and recommendations from the Planning Services Staff Report (Exhibit B) and the City of Spokane Plan Commission Findings of Fact, Conclusions, and Recommendations (Exhibit A) for the same purposes.

NOW, THEREFORE, the City of Spokane Does ordain:

Section 1. That Section 17A.020.060 SMC is amended to read as follows:

Section 17A.020.060 “F” Definitions

A. Facade.

All the wall planes of a structure as seen from one side or view. ~~((For example, the front facade of a building would include all of the wall area that would be shown on the front elevation of the building plans.))~~

1. Front Facade.

The facade facing the Front Lot Line as defined in SMC 17A.020.120(T). For example, the Front Facade of a building would include all of the wall area that would be shown on the front elevation of the building plans.

2. Side Street Facade.

The facade facing a Side Street Lot Line as defined in SMC
17A.020.120(T).

B. Facade Easement.

A use interest, as opposed to an ownership interest, in the property of another. The easement is granted by the owner to the City or County and restricts the owner's exercise of the general and natural rights of the property on which the easement lies. The purpose of the easement is the continued preservation of significant exterior features of a structure.

C. Facility and Service Provider.

The department, district, or agency responsible for providing the specific concurrency facility.

D. Factory-built Structure.

1. "Factory-built housing" is any structure designed primarily for human occupancy, other than a mobile home, the structure or any room of which is either entirely or substantially prefabricated or assembled at a place other than a building site.
2. "Factory-built commercial structure" is a structure designed or used for human habitation or human occupancy for industrial, educational, assembly, professional, or commercial purposes, the structure or any room of which is either entirely or substantially prefabricated or assembled at a place other than a building site.

E. Fair Market Value.

The open market bid price for conducting the work, using the equipment and facilities, and purchase of the goods, services, and materials necessary to accomplish the development. This would normally equate to the cost of hiring a contractor to undertake the development from start to finish, including the cost of labor, materials, equipment and facility usage, transportation and contractor overhead, and profit. The fair market value of the development shall include the fair market value of any donated, contributed, or found labor, equipment, or materials.

F. Fascia Sign.

See SMC 17C.240.015.

G. Feasible (Shoreline Master Program).

1. For the purpose of the shoreline master program, means that an action, such as a development project, mitigation, or preservation requirement, meets all of the following conditions:
 - a. The action can be accomplished with technologies and methods that have been used in the past in similar circumstances, or studies or tests have demonstrated in similar circumstances that such approaches are currently available and likely to achieve the intended results;
 - b. The action provides a reasonable likelihood of achieving its intended purpose; and
 - c. The action does not physically preclude achieving the project's primary intended legal use.
2. In cases where these guidelines require certain actions, unless they are infeasible, the burden of proving infeasibility is on the applicant.
3. In determining an action's infeasibility, the reviewing agency may weigh the action's relative public costs and public benefits, considered in the short- and long-term time frames.

H. Feature.

To give special prominence to.

I. Feeder Bluff.

Or "erosional bluff" means any bluff (or cliff) experiencing periodic erosion from waves, sliding, or slumping, and/or whose eroded sand or gravel material is naturally transported (littoral drift) via a driftway to an accretion shoreform; these natural sources of beach material are limited and vital for the long-term stability of driftways and accretion shoreforms.

J. Fill.

The addition of soil, sand, rock, gravel, sediment, earth retaining structure, or other material to an area waterward of the ordinary high-water mark in wetlands, or on shorelands in a manner that raises the elevation or creates dry land.

K. Financial Guarantee.

A secure method, in a form and in an amount both of which are acceptable to the city attorney, providing for and securing to the City the actual construction and installation of any improvements required in connection with plat and/or building permit approval within a period specified by the City, and/or securing to the City the successful operation of the improvements for two years after the City's final inspection and acceptance of such improvements. There are two types of financial guarantees under chapter 17D.020 SMC, Financial Guarantees: Performance guarantee and performance/warranty retainer.

L. Fish Habitat.

A complex of physical, chemical, and biological conditions that provide the life-supporting and reproductive needs of a species or life stage of fish. Although the habitat requirements of a species depend on its age and activity, the basic components of fish habitat in rivers, streams, ponds, lakes, estuaries, marine waters, and near-shore areas include, but are not limited to, the following:

1. Clean water and appropriate temperatures for spawning, rearing, and holding.
2. Adequate water depth and velocity for migrating, spawning, rearing, and holding, including off-channel habitat.
3. Abundance of bank and in-stream structures to provide hiding and resting areas and stabilize stream banks and beds.
4. Appropriate substrates for spawning and embryonic development. For stream- and lake-dwelling fishes, substrates range from sands and gravel to rooted vegetation or submerged rocks and logs. Generally, substrates must be relatively stable and free of silts or fine sand.
5. Presence of riparian vegetation as defined in this program. Riparian vegetation creates a transition zone, which provides shade and food sources of aquatic and terrestrial insects for fish.
6. Unimpeded passage (i.e., due to suitable gradient and lack of barriers) for upstream and downstream migrating juveniles and adults.

M. Fiveplex.

A building that contains five dwelling units on the same lot that share a common wall or common floor/ceiling.

N. Flag.

See SMC 17C.240.015.

O. Float.

A floating platform similar to a dock that is anchored or attached to pilings.

P. Flood Insurance Rate Map or FIRM.

The official map on which the Federal Insurance Administration has delineated both the areas of special flood hazards and the risk premium zones applicable to the City.

Q. Flood Insurance Study (FIS).

The official report provided by the Federal Insurance Administration that includes flood profiles, the Flood Boundary-Floodway Map, and the water surface elevation of the base flood.

R. Flood or Flooding.

1. A general and temporary condition of partial or complete inundation of normally dry land areas from:
 - a. The overflow of inland waters;
 - b. The unusual and rapid accumulation of runoff of surface waters from any source; or
 - c. Mudslides or mudflows, which are proximately caused by flooding as defined in section (1)(b) of this definition and are akin to a river of liquid and flowing mud on the surfaces of normally dry land areas, as when earth is carried by a current of water and deposited along the path of the current.
2. The collapse or subsidence of land along the shore of a lake or other body of water as a result of erosion or undermining caused by waves or currents of water exceeding anticipated cyclical levels or suddenly caused by an unusually high water level in a natural body of water, accompanied by a severe storm, or by an unanticipated force of nature, such as flash flood or an abnormal tidal surge, or by some similarly unusual and unforeseeable event which results in flooding as defined in section (1)(a) of this definition.

S. Flood Elevation Study.

An examination, evaluation and determination of flood hazards and, if appropriate, corresponding water surface elevations, or an examination,

evaluation and determination of mudslide or mudflow, and/or flood-related erosion hazards. Also known as a Flood Insurance Study (FIS).

T. Flood Insurance Rate Map (FIRM).

The official map of a community, on which the Federal Insurance Administrator has delineated both the special hazard areas and the risk premium zones applicable to the community. A FIRM that has been made available digitally is called a Digital Flood Insurance Rate Map (DFIRM).

U. Floodplain or Flood Prone Area.

Any land area susceptible to being inundated by water from any source. See "Flood or Flooding."

V. Floodplain administrator.

The community official designated by title to administer and enforce the floodplain management regulations.

W. Floodway.

1. As identified in the Shoreline Master Program: ~~((, the area that either))~~

a. The floodway is the area that either

- i. has been established in federal emergency management agency flood insurance rate maps or floodway maps; or
- ii. consists of those portions of a river valley lying streamward from the outer limits of a watercourse upon which flood waters are carried during periods of flooding that occur with reasonable regularity, although not necessarily annually, said floodway being identified, under normal condition, by changes in surface soil conditions or changes in types or quality of vegetative ground cover condition, topography, or other indicators of flooding that occurs with reasonable regularity, although not necessarily annually.

b. Regardless of the method used to identify the floodway, the floodway shall not include those lands that can reasonably be expected to be protected from flood waters by flood control devices maintained by or maintained under license from the federal government, the state, or a political subdivision of the state.

2. For floodplain management purposes, the floodway is the channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation more than a designated height. Also referred to as "Regulatory Floodway."

X. Floor Area.

The total floor area of the portion of a building that is above ground. Floor area is measured from the exterior faces of a building or structure. Floor area does not include the following:

1. Areas where the elevation of the floor is four feet or more below the lowest elevation of an adjacent right-of way.
2. Roof area, including roof top parking.
3. Roof top mechanical equipment.
4. Attic area with a ceiling height less than six feet nine inches.
5. Porches, exterior balconies, or other similar areas, unless they are enclosed by walls that are more than forty-two inches in height, for fifty percent or more of their perimeter; and
6. In residential zones, FAR does not include mechanical structures, uncovered horizontal structures, covered accessory structures, attached accessory structures (without living space), detached accessory structures (without living space).

Y. Flood Proofing.

Any combination of structural and nonstructural additions, changes, or adjustments to structures which reduce or eliminate risk of flood damage to real estate or improved real property, water and sanitary facilities, structures, and their contents. Flood proofed structures are those that have the structural integrity and design to be impervious to floodwater below the Base Flood Elevation.

Z. Floor Area Ratio (FAR).

The amount of floor area in relation to the amount of site area, expressed in square feet. For example, a floor area ratio of two to one means two square feet of floor area for every one square foot of site area.

AA. Focused Growth Area.

Includes mixed-use district centers, neighborhood centers, and employment centers.

AB. Fourplex.

A building that contains four dwelling units on the same lot that share a common wall or common floor/ceiling.

AC. Frame Effect.

A visual effect on an electronic message sign applied to a single frame to transition from one message to the next. This term shall include, but not be limited to scrolling, fade, and dissolve. This term shall not include flashing.

AD. Freestanding Sign.

See SMC 17C.240.015.

AE. Frontage.

The full length of a plot of land or a building measured alongside the road on to which the plot or building fronts. In the case of contiguous buildings individual frontages are usually measured to the middle of any party wall.

AF. Functionally Dependent Water-Use.

A use that cannot perform its intended purpose unless it is located or carried out in close proximity to water. The term includes only docking facilities, port facilities that are necessary for the loading and unloading of cargo or passengers, and ship building and ship repair facilities, and does not include long term storage or related manufacturing facilities.

Section 2. That Section 17C.111.205 SMC is amended to read as follows:

Section 17C.111.205 Development Standards Tables

Development standards that apply within the residential zones are provided in Tables 17C.111.205-1 through 17C.111.205-3.

TABLE 17C.111.205-1 LOT DEVELOPMENT STANDARDS [1]					
	RA	R1	R2	RMF	RHD
DENSITY STANDARDS					

Maximum density on sites 2 acres or less [2][3]	No maximum	No maximum	No maximum	No maximum	No maximum
Maximum density on sites larger than 2 acres [2]	10 units/acre	10 units/acre	20 units/acre	No maximum	No maximum
Minimum density [2]	4 units/acre	4 units/acre	10 units/acre	15 units/acre	15 units/acre
LOT DIMENSIONS FOR SUBDIVISIONS AND SHORT SUBDIVISIONS					
Minimum lot area	7,200 sq. ft.	1,200 sq. ft.	1,200 sq. ft.	1,200 sq. ft.	1,200 sq. ft.
Minimum lot width ((with no driveway approach)) [4]	40 ft.	15 ft.	15 ft.	15 ft.	15 ft.
((Minimum lot width with driveway approach [4]))	((40 ft.))	((36 ft.))	((36 ft.))	((25 ft.))	((25 ft.))
Minimum lot width within Airfield Overlay Zone	40 ft.	40 ft.	36 ft.	25 ft.	25 ft.
Minimum lot depth	80 ft.	80 ft.	40 ft.	N/A	N/A
Minimum lot frontage	40 ft.	Same as minimum lot width	Same as minimum lot width	Same as minimum lot width	Same as minimum lot width
MINIMUM LOT DIMENSIONS FOR UNIT LOT SUBDIVISIONS					
Minimum parent lot area	No minimum	No minimum	No minimum	No minimum	No minimum
Maximum parent lot area	2 acres	2 acres	2 acres	2 acres	2 acres
Minimum child lot area	No minimum	No minimum	No minimum	No minimum	No minimum
Minimum child lot depth	No minimum	No minimum	No minimum	No minimum	No minimum
LOT COVERAGE					
Maximum total building coverage [5][6][7]	50%	65%	80%	100%	100%
Maximum lot impervious coverage without engineer's stormwater drainage plan - not in ADC [5][8][9]	50%	60%	60%	N/A	N/A
Maximum lot impervious coverage without engineer's	40%	40%	40%	N/A	N/A

stormwater drainage plan - inside ADC [5][8][9]					
<p>Notes:</p> <p>[1] Plan district, overlay zone, or other development standards contained in Title 17C SMC may supersede these standards.</p> <p>[2] See SMC 17C.111.210 for applicability of minimum and maximum density standards in the residential zones.</p> <p>[3] Development within Airfield Overlay Zones is further regulated as described in SMC 17C.180.090, Limited Use Standards.</p> <p>[4] ((Lots with vehicle access only from an alley are not considered to have a “driveway approach” for the purposes of this standard.)) <u>Requirements for driveway approaches may prevent narrow lots with a driveway approach from achieving the minimum.</u></p> <p>[5] Lot and building coverage calculation includes all primary and accessory structures.</p> <p>[6] Building coverage for attached housing is calculated based on the overall development site, rather than individual lots.</p> <p>[7] Developments meeting certain criteria relating to transit, Centers & Corridors, or housing affordability are given a bonus for building coverage. See SMC 17C.111.225 for detailed eligibility criteria.</p> <p>[8] Projects may exceed impervious coverage requirements by including an engineer’s drainage plan in submittals, subject to review by the City Engineer as described in SMC 17D.060.135. “ADC” means Area of Drainage Concern.</p> <p>[9] <u>Projects in the RMF and RHD zones that are exempted from review under the Spokane Regional Stormwater Manual shall follow the impervious coverage requirements of the R1 zone.</u></p>					

TABLE 17C.111.205-2 BUILDING AND SITING STANDARDS [1]					
	RA	R1	R2	RMF	RHD
PRIMARY BUILDINGS					
Floor area ratio	N/A	N/A	N/A	N/A	N/A
Maximum building footprint per primary building - lot area 7,000 sq. ft. or less	N/A	2,450 sq. ft.	2,450 sq. ft.	N/A	N/A
Maximum building footprint per primary building - lot area more than 7,000 sq. ft.	N/A	35%	35%	N/A	N/A
Maximum building height [2]	35 ft.	40 ft.	40 ft.	55 ft.	75 ft.
Minimum Setbacks					
Front [3]	15 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Interior side lot line - lot width 40 ft or less ([3])	3 ft.	3 ft.	3 ft.	3 ft.	3 ft.

Interior side lot line - lot width more than 40 ft [4] [5]	5 ft.	5 ft.	5 ft.	5 ft.	5 ft.
Street side lot line – all lot widths	5 ft.	5 ft.	5 ft.	5 ft.	5 ft.
Attached garage or carport entrance from street	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.
Rear	25 ft.	15 ft.	15 ft.	10 ft.	10 ft.
ACCESSORY DWELLING UNITS					
Maximum building footprint for accessory dwelling unit - lot area 5,500 sq. ft. or less	1,100 sq. ft.	1,100 sq. ft.	1,100 sq. ft.	1,100 sq. ft.	1,100 sq. ft.
Maximum building footprint for accessory dwelling unit - lots larger than 5,500 sq. ft.	15%	15%	15%	15%	15%
Maximum building height	25 ft.	25 ft.	25 ft.	25 ft.	25 ft.
Minimum side lot line setbacks [5] [6]	Same as Primary Structure				
Minimum rear setback with alley [4] [5] [6]	0 ft.	0 ft.	0 ft.	0 ft.	0 ft.
Minimum rear setback no alley	5 ft.	5 ft.	5 ft.	5 ft.	5 ft.
OTHER ACCESSORY STRUCTURES					
Maximum lot coverage for accessory structures – lots 5,500 sq. ft. or less	20%	20%	20%	See Primary Structure	See Primary Structure
Maximum lot coverage for accessory structures – lots larger than 5,500 sq. ft.	20%	15%	15%	See Primary Structure	See Primary Structure
Maximum building height	30 ft.	20 ft.	20 ft.	35 ft.	35 ft.
Minimum side lot line setbacks [4] [5] [6]	Same as Primary Structure				
Minimum rear setback with alley	0 ft.	0 ft.	0 ft.	0 ft.	0 ft.
Minimum rear setback no alley	5 ft.	5 ft.	5 ft.	5 ft.	5 ft.
OPEN SPACE [7]					
Minimum open space per unit [8]	250 sq. ft.	250 sq. ft.	250 sq. ft.	Studio: 48 sq. ft. per unit 1-bedroom: 75 sq. ft. per unit	Studio: 48 sq. ft. per unit 1-bedroom: 75 sq. ft. per unit

				2+ bedroo ms: 150 sq. ft. per unit	2+ bedroo ms: 100 sq. ft. per unit Sites 20,000 sq. ft. or less: 36 sq. ft. per unit
Minimum common open space per unit as a substitute for private area - first six units	200 sq. ft.	200 sq. ft.	200 sq. ft.	Studio: 48 sq. ft. per unit 1- bedroo m: 75 sq. ft. per unit 2+ bedroo ms: 150 sq. ft. per unit	Studio: 48 sq. ft. per unit 1- bedroo m: 75 sq. ft. per unit 2+ bedroo ms: 100 sq. ft. per unit Sites 20,000 sq. ft. or less: 36 sq. ft. per unit
Minimum common open space per unit as a substitute for private area - all units after six	150 sq. ft.	150 sq. ft.	150 sq. ft.	Studio: 36 sq. ft. per unit 1- bedroo m: 48 sq. ft. per unit	Studio: 36 sq. ft. per unit 1- bedroo m: 48 sq. ft. per unit

				2+ bedroo ms: 48 sq. ft. per unit	2+ bedroo ms: 48 sq. ft. per unit Sites 20,000 sq. ft. or less: 25 sq. ft. per unit
<p>Notes:</p> <p>[1] Plan district, overlay zone, or other development standards contained in Title 17C SMC may supersede these standards.</p> <p>[2] Base zone height may be modified according to SMC 17C.111.230, Height.</p> <p>[3] Certain elements such as covered porches may extend into the front setback. See SMC 17C.111.235, Setbacks.</p> <p>[4] There is an additional angled setback from the interior side lot line. Refer to SMC 17C.111.230(C) and 17C.111.235(E) for more detail.</p> <p>[5] Setbacks for a detached accessory structure and a covered accessory structure may be reduced to zero feet with a signed waiver from the neighboring property owner as specified in SMC 17C.111.240(C).</p> <p>[6] Accessory structures may be subject to an additional side setback adjacent to streets as specified in 17C.111.240(C)(5).</p> <p>[7] Residential units with a continuous pedestrian route as defined in SMC Section 17C.111.420(B) from the property boundary to a public park within 800 feet shall have a minimum of not more than 36 square feet of open space per unit.</p> <p>[8] Common open space may be substituted for private outdoor area according to SMC 17C.111.310.</p>					

TABLE 17C.111.205-3 DEVELOPMENT STANDARDS FOR PROPERTIES QUALIFYING FOR DEVELOPMENT BONUS [1] [2]					
	RA	R1	R2	RMF	RHD
LOT COVERAGE					
Maximum total building coverage	N/A	80%	90%	100%	100%
PRIMARY BUILDINGS					
Floor area ratio	N/A	N/A	N/A	N/A	N/A
Maximum building footprint per primary building - lot area 7,000 sq. ft. or less	N/A	2,450 sq. ft.	2,450 sq. ft.	N/A	N/A

Maximum building footprint per primary building - lot area more than 7,000 sq. ft.	N/A	35%	35%	N/A	N/A
Notes: [1] Standards not addressed in this table are consistent with the general standards in Tables 17C.111.205-1 and 17C.111.205-2. [2] Criteria to qualify for Development Bonuses is outlined in SMC 17C.111.225.					

Section 3. That Section 17C.111.210 SMC is amended to read as follows:

Section 17C.111.210 Density

A. Purpose.

The number of dwellings per unit of land, the density, is controlled so that housing can match the availability of public services. The use of density minimums ensures that in areas with the highest level of public services, ~~((that))~~ the service capacity is not wasted and that the City's housing goals are met.

B. Unless specifically exempted, all residential development shall meet the minimum and maximum densities provided in Table 17C.111.205-1.

~~((B))~~C.~~((Calculating))~~ Gross Density Used.

The calculation of density for a subdivision or residential development is ~~((net area and is))~~ based on the total (gross) area of the subject property~~((, less the area set aside for right-of-way and tracts of land dedicated for stormwater facilities. Land within a critical area (see definitions under chapter 17A.020 SMC) may be subtracted from the calculation of density. When the calculation of density results in a fraction, the density allowed is rounded up to the next whole number. For example, a calculation in which lot area, divided by minimum unit area equals 4.35 units, the number is rounded up to five units))~~.

~~((C. — Maximum Density Applicability and Calculation.~~

- ~~1. — The maximum density standards in Table 17C.111.205-1 shall be met only when the development site exceeds 2 acres in area. In such cases, the following apply:~~
 - ~~a. — If a land division is proposed, the applicant must demonstrate how the proposed lots can meet maximum density once construction is completed.~~

- b. ~~If no land division is proposed, maximum density must be met at the time of development.~~
 - c. ~~Maximum density is based on the zone and size of the site. The following formula is used to determine the maximum number of units allowed on the site:
Square footage of site, less the area set aside for right-of-way and tracts of land dedicated for stormwater facilities;
Divided by maximum density from Table 17C.111.205-1;
Equals maximum number of units allowed. If this formula results in a decimal fraction, the resulting maximum number of units allowed is rounded up to the next whole number. Decimal fractions of five tenths or greater are rounded up. Fractions less than five tenths are rounded down.~~
- 2. ~~If the development site is 2 acres or less in area, the maximum density standards do not apply.~~
 - 3. ~~The number of units allowed on a site is based on the presumption that all site development standards will be met.~~

~~D. Minimum Density Applicability and Calculation.~~

- 1. ~~The minimum density standards in Table 17C.111.205-1 shall be met under the following circumstances:
 - a. ~~A land division is proposed.~~
 - b. ~~In such cases, the applicant must demonstrate how the proposed lots can meet minimum density once construction is completed.~~
 - c. ~~Minimum density standards can be modified by a PUD under SMG 17G.070.030(B)(2).~~
 - d. ~~Development is proposed in the RMF or RHD zones. In such cases, minimum density must be met at the time of development.~~~~
- 2. ~~Except as provided in subsection (3), when development is proposed on an existing legal lot in the RA, R1, or R2 zones, minimum density standards do not apply.~~
- 3. ~~A site with pre-existing development may not move out of conformance or further out of conformance with the minimum density standard, including sites in the RA, R1, and R2 zones (regardless of whether a land division is proposed).~~
- 4. ~~Minimum density is based on the zone and size of the site, and whether there are critical areas (see definitions under chapter 17A.020 SMC). Land within a critical area may be subtracted from the calculation of density.~~

~~The following formula is used to determine the minimum number of lots required on the site.~~

~~Square footage of site, less the area set aside for right-of-way and tracts of land dedicated for stormwater facilities;~~

~~Divided by minimum density from Table 17C.111.205-1;~~

~~Equals minimum number of units required.~~

E. ~~Transfer of Density.~~

~~Density may be transferred from one site to another subject to the provisions of chapter 17G.070 SMC, Planned Unit Developments.)~~

D. ~~Critical Areas May Be Subtracted.~~

Land within a critical area (see definitions under chapter 17A.020 SMC) may be, but is not required to be, subtracted from the calculation of density.

E. ~~Right-of-Way May Be Subtracted.~~

Land dedicated as Right-of-Way may be, but is not required to be, subtracted from a calculation of density.

F. ~~Numbers Rounded Up.~~

When the calculation of density results in a fraction, the density allowed or required is rounded up to the next whole number. For example, when a calculation results in 4.35 units, the number is rounded up to five units.

G. ~~Formula.~~

The following formula is used to determine the maximum number of units allowed or the minimum number of units required on the site:

Square footage of site, less any land within a critical area or dedicated to right-of-way, divided by the square footage of one acre (43,560 square feet), multiplied by the density number from Table 17C.111.205-1 equals maximum number of units allowed or minimum number of units required.

Example of determining the minimum number of units with a minimum density of 4 units/acre on a 135,036 square foot (3.1 acre) site:
(135,036 square ft / 43,560 square ft/acre) * 4 units/acre = 12.4 units
(rounded up to 13 units)

Example of determining the maximum number of units with a maximum density of 20 units/acre on a 112,400 square foot (2.58 acre) site encumbered by 21,780 square feet (0.5 acre) of Critical Areas (see Title 17E):

$((112,400 \text{ square feet} - 21,780 \text{ square feet}) / 43,560 \text{ square ft/acre}) * 20 \text{ units/acre} = 41.6 \text{ units (rounded up to 42 units)}$

If this formula results in a decimal fraction, the resulting number of units allowed is rounded up to the next whole number.

H. Land Division in R1 or R2 Zones.

If a land division is proposed in an R1 or R2 zone, the calculation of density shall count one lot as one dwelling unit.

I. Exceptions to Maximum Density Limits.

1. Development Less Than Two (2) Acres.

If the development site excluding any land within a critical area is two (2) acres or less in area, the maximum density standards shall not apply. Proposed new Right-of-Way may also be subtracted from the development site.

2. Middle Housing Allowance.

Notwithstanding any density maximum resulting from a density calculation, any combination of Middle Housing types identified under SMC 17A.020.130(J) shall be allowed on a lot up to six total units, including Accessory Dwelling Units. Such development shall still be subject to other site development standards which may limit the total amount of achievable development on the site.

J. Exceptions to Minimum Density Requirements.

1. Construction on Existing Legal Lots.

Except as provided in subsection (K), when renovation or new construction is proposed on an existing legal lot in the RA, R1, or R2 zones, minimum density shall not apply.

2. Land Divisions with Existing Structures.

When a land division is proposed on a lot below the minimum density and with an existing dwelling unit, any new lots created shall meet these density requirements. A lot which retains an existing primary structure may continue its nonconforming density.

K. Nonconforming Situations.

A site with pre-existing development may not move out of conformance or further out of conformance with the density standards, including sites in the RA, R1, and R2 zones (regardless of whether a land division is proposed).

((E))L. Transfer of Density.

Density may be transferred from one site to another subject to the provisions of chapter 17G.070 SMC, Planned Unit Developments.

M. Other Standards Apply.

The number of units allowed or required on a site is based on the presumption that all site development standards will be met. A calculation of maximum allowable density does not ensure the maximum number is achievable under other standards and regulations that govern site development.

Section 4. That Section 17C.111.220 SMC is amended to read as follows:

Section 17C.111.220 Building Coverage and Impervious Coverage

A. Purpose.

The building coverage standards, together with ~~((the floor area ratio (FAR),))~~ height and setback standards control the overall bulk of structures. They are intended to assure that taller buildings will not have such a large footprint that their total bulk will overwhelm adjacent houses. The standards also help define the form of the different zones by limiting the amount of building area allowed on a site. Additionally, the impervious coverage standards ensure that there is adequate space on a site for stormwater infiltration.

B. Building Coverage and Impervious Coverage Standards.

The maximum combined building coverage allowed on a site for all covered structures is stated in Table 17C.111.205-1.

1. "Impervious surface" is defined in SMC 17A.020.090.
2. For development applications that submit an engineer's stormwater drainage plan pursuant to SMC 17D.060.140, total impervious coverage on a lot is not limited by this chapter, and the building coverage standards control.
3. For development applications that do not submit an engineer's stormwater drainage plan, the maximum impervious coverage standards in Table 17C.111.205-1 must be met. The impervious coverage standards vary depending on whether or not the subject site is located in an Area of Drainage Concern pursuant to SMC 17D.060.135.

~~((C. How to Use FAR with Building Coverage.~~

~~The FAR determines the total amount of living space within a residential structure while the maximum building site coverage determines the maximum building footprint for all structures, including garages and the primary residence(s). The FAR is defined under chapter 17A.020 SMC, Definitions. FAR does not apply to Residentially zoned areas.))~~

Section 5. That Section 17C.111.235 SMC is amended to read as follows:

Section 17C.111.235 Setbacks

A. Purpose.

The setback standards for primary and accessory structures serve several purposes. They maintain light, air, separation for fire protection, and access for fire fighting. They reflect the general building scale and placement of houses in the City's neighborhoods. They promote options for privacy for neighboring properties. They provide adequate flexibility to site a building so that it may be complementary to the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity. They provide room for a car to park in front of a garage door without overhanging the street or sidewalk, and they enhance driver visibility when backing onto the street.

B. Applicability.

1. Setbacks are applied to all primary and accessory structures, including Accessory Dwelling Units. Setbacks for structures are applied relative to property lines. Separation between multiple structures on a lot is governed by the requirements of Title 17F SMC. Child lots created via Unit Lot

Subdivision under Section 17G.080.065 SMC are only subject to the standards of this section inasmuch as they are applied to the parent lot.

2. Additional setback requirements may be applied through other sections of Title 17C SMC, including but not limited to:

- a. Parking areas under Chapter 17C.230 SMC
- b. Fences under Section 17C.111.230 SMC
- c. Signs under Chapter 17C.240 SMC

C. Front, Side, and Rear Setbacks.

The required Front, Side, and Rear Setbacks for primary and accessory structures are stated in Table 17C.111.205-2. Angled setback standards are described in SMC 17C.111.235(E) and listed in Table 17C.111.235-1.

1. Extensions into Front, Side, and Rear Building Setbacks.

- a. Minor features of a structure such as eaves, awnings, chimneys, fire escapes, bay windows and uncovered balconies may extend into a Front, Side, Rear Setback up to twenty-four (24) inches.
- b. Bays, bay windows, and uncovered balconies may extend into the Front, Side, and Rear Setback up to twenty-four (24) inches, subject to the following requirements:
 - i. Each bay, bay window, and uncovered balcony may be up to twelve (12) feet long.
 - ii. The total area of all bays and bay windows on a building facade shall not be more than thirty percent (30%) of the area of the facade.
 - iii. Bays and bay windows that project into the setback must cantilever beyond the foundation of the building; and
 - iv. The bay shall not include any doors.
- c. A covered porch without Floor Area above may extend into the front setback up to six feet (6').

D. Exceptions to the Front, Side, and Rear Setbacks.

1. The rear yard of a lot established as of May 27, 1929, may be reduced to provide a building depth of thirty (30) feet.

E. Angled Setbacks.

1. Purpose.

To help new development respond to the scale and form of existing residential areas and to limit the perceived bulk and scale of buildings from adjoining properties.

2. Applicability.

Angled setbacks apply in the R1 and R2 zones.

3. Angled Setback Implementation.

Buildings are subject to an angled setback plane as follows:

- a. Starting at a height of 25 feet, the setback plane increases along a slope of 2:1 (a rate of 2 feet vertically for every 1 foot horizontally) away from the interior side setback, up to the maximum building height in Table 17C.111.205-2. The minimum setbacks that are paired with each height measurement are provided in Table 17C.111.235-1. See Figure 17C.111.235-A for examples.
- b. No portion of the building shall project beyond the Angled Setback plane described in this subsection, except as follows:
 - i. Minor extensions allowed by SMC 17C.111.235(C)(1) may project into the Angled Setback.
 - ii. Elements of the roof structure such as joists, rafters, flashing, and shingles may project into the Angled Setback.
 - iii. Dormer windows may project into the Angled Setback if the cumulative length of dormer windows is no more than fifty percent (50%) of the length of the roof line.

Figure 17C.111.235-A. Angled Setback Plane Examples

FIGURE 17C.110.235-A: Angled Setback Plane

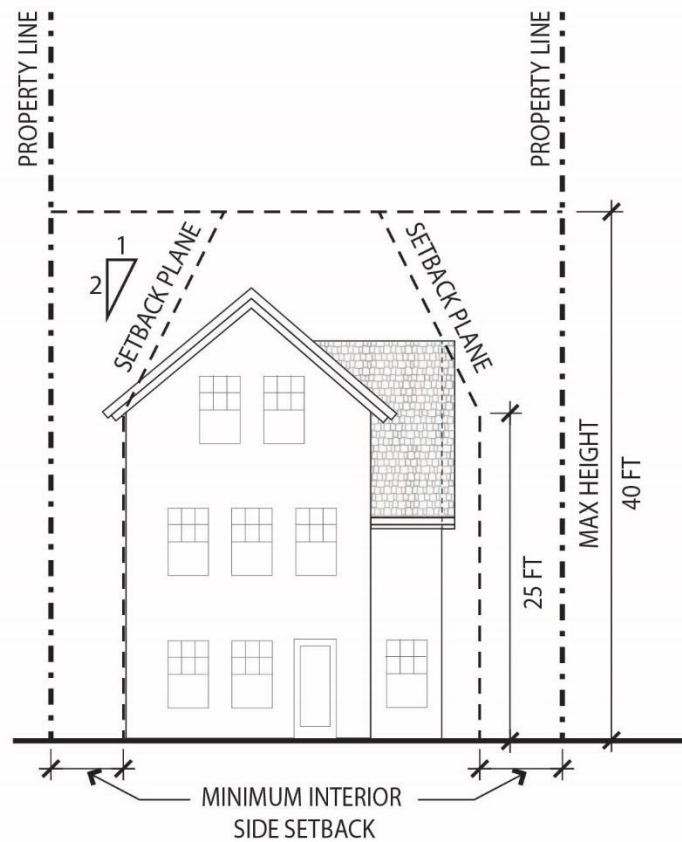


TABLE 17C.111.235-1	
ROOF SETBACK FROM SIDE LOT LINE ON LOTS IN R1 and R2 ZONES	
LOT WIDTHS 40 FT. OR LESS	
Height	Setback
25 ft.	3 ft.
27 ft.	4 ft.
29 ft.	5 ft.
31 ft.	6 ft.
33 ft.	7 ft.
35 ft.	8 ft.
40 ft.	10.5 ft.
LOT WIDTHS MORE THAN 40 FT.	
Height	Setback

25 ft.	5 ft.
27 ft.	6 ft.
29 ft.	7 ft.
31 ft.	8 ft.
33 ft.	9 ft.
35 ft.	10 ft.
40 ft.	12.5 ft.

Section 6. That Section 17C.111.310 SMC is amended to read as follows:

Section 17C.111.310 ~~((Outdoor Areas))~~ Open Space

A. Purpose.

To create usable areas through the use of engaging ~~((outdoor))~~ recreational spaces for the enjoyment and health of the residents.

B. ~~((Outdoor Areas))~~ Open Space Implementation.

1. Developments shall provide ~~((outdoor areas))~~ open space in the quantity required by Table 17C.111.205-2. (R)
2. The ~~((outdoor area))~~ open space may be configured as either:
 - a. A private outdoor area, such as a balcony ~~((or))~~, patio, or private yard directly accessible from the unit;
 - b. ~~((A common))~~ One or multiple ((outdoor area)) common open spaces, such as courtyards or common greens. ~~((accessible by all units in the building.))~~
3. Developments may provide a mix of private and common open space. In developments with a mix of private and common open space, each unit shall meet the full requirements for at least one type of open space. Those units making use of common open space shall meet all the standards for a common open space. Those units making use of private open space shall meet all the standards for private open space. (R)
- ~~((3))~~4. If a common ((outdoor area)) open space, such as a courtyard or common green is provided, it shall meet the following:
 - a. Each courtyard, common green, or other form of common open space shall be associated with housing units for which it is providing open space. The association shall be clearly identified in

submitted plans. The association shall be established through a direct pedestrian connection from the unit to the open space.

~~((a))~~b. ~~((Connected))~~ Each courtyard, common green, or other form of common open space shall be connected to each associated unit by a pedestrian ~~((paths))~~ path. A pedestrian connection from a unit to an associated common open space shall not cross a parking area and shall not require walking in the opposite direction of the open space to gain access. (R)

~~((b))~~c. At least 50 percent of units associated with a courtyard, common green, or other form of common open space shall have windows that face directly onto the space or doors that ~~((face))~~ provide direct access from the unit to the common ~~((outdoor))~~ area. (R)

d. In a development with multiple common open spaces, the calculation of square footage shall occur separately for each common open space based on the number of units associated with it. The reduction of square footage after six (6) units shall only apply if that common open space has more than six (6) associated units. (R)

~~((e))~~d. ~~((Common))~~ Each common ~~((outdoor areas))~~ open space shall provide at least three of the following amenities to accommodate a variety of ages and activities. Amenities may include, but are not limited to: (P)

- i. Site furnishings (benches, tables, bike racks when not required for the development type, etc.);
- ii. Picnic areas;
- iii. Patios~~((,))~~ or plazas ~~((or courtyards))~~;
- iv. Shaded playgrounds;
- v. Rooftop gardens, planter boxes, or garden plots; ~~((or))~~
- vi. Fenced pet area~~((,))~~; or
- vii. Grass or other living ground cover suitable for recreational use.

4. ~~((Outdoor))~~ Open spaces shall not be located adjacent to dumpster enclosures, loading/service, areas or other incompatible uses that are known to cause smell or noise nuisances. ~~((P))~~ (R)

Section 7. That Section 17C.111.315 SMC is amended to read as follows:

Section 17C.111.315 Entrances

A. Purpose.

To ensure that entrances are easily identifiable, clearly visible, and accessible from streets, sidewalks, and common areas, to encourage pedestrian activity and enliven the street.

B. Applicability.

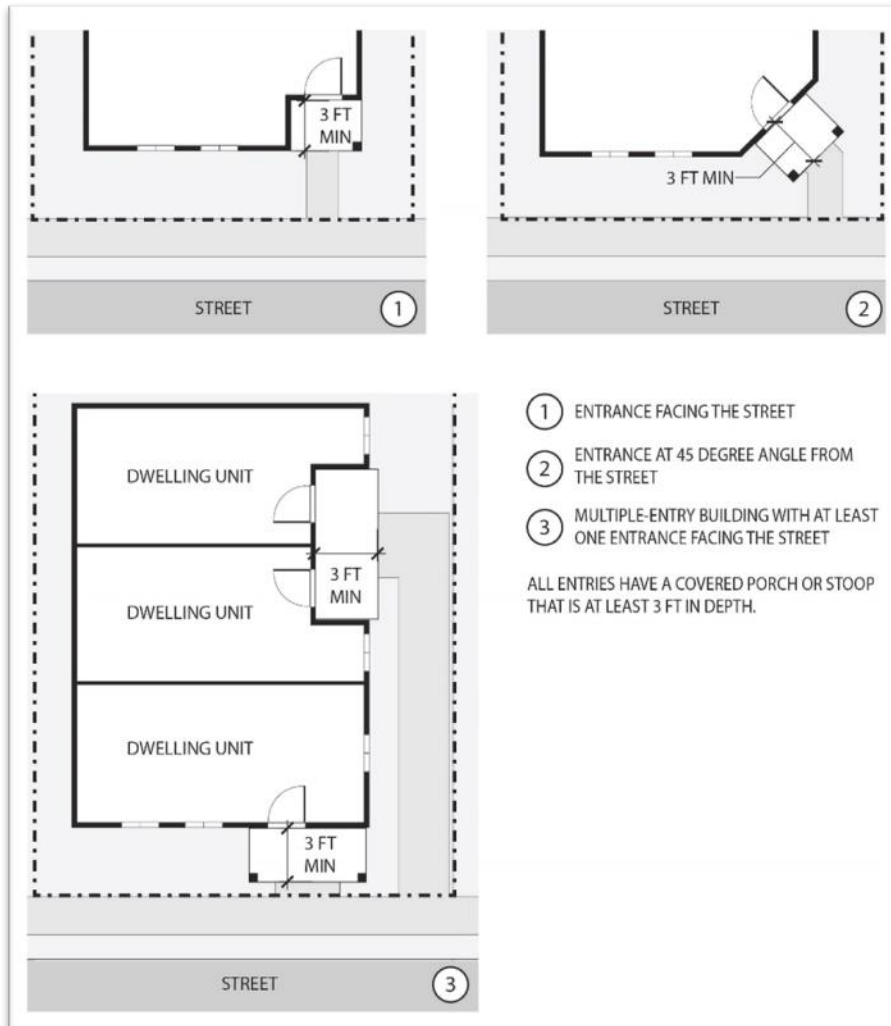
The following standards apply to all building facades that face a public or private street, except those that are separated from the street by another building.

C. Entrances Implementation.

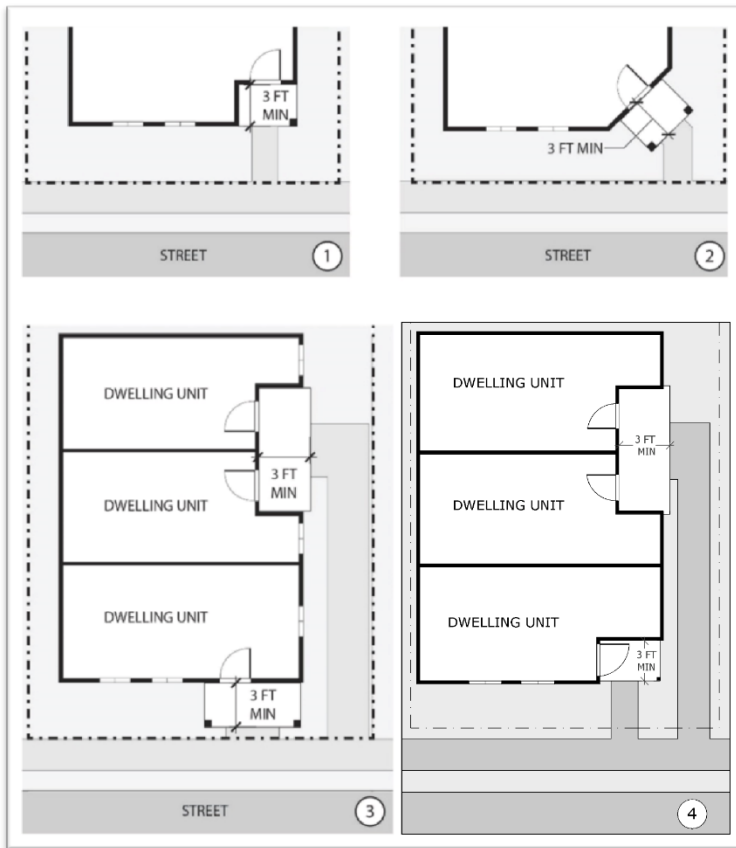
See Figure 17C.111.315-A.

1. ~~((Each))~~ Except as provided in subsection (3), each residential structure fronting a public or private street must have at least one address and main entrance facing or within a 45 degree angle of a street frontage. On a recessed entryway, the door of the entry is not required to face the street so long as the entryway has a pedestrian walkway directly to the street and is recognizable as a building entryway. Buildings with multiple units may have shared entries. (R)
2. Each unit with individual ground-floor entry and all shared entries must have a porch or stoop cover that is at least 3-feet deep. (P)
- ~~((3. On corner lots, buildings with multiple units must have at least one entrance facing or within a 45 degree angle on each street frontage. (C)))~~
3. For a common open space, such as a courtyard or common green, directly abutting a public or private street, residential structures that abut both the common open space and the public or private street may directly face the common open space instead of facing the public or private street. (P)

Figure 17C.111.315-A. Building Entrances



Note: Graphic to be removed and replaced with graphic below.



- ① ENTRANCE FACING THE STREET
- ② ENTRANCE AT 45 DEGREE ANGLE FROM THE STREET
- ③ MULTIPLE-ENTRY BUILDING WITH AT LEAST ONE ENTRANCE FACING THE STREET
- ④ MULTIPLE-ENTRY BUILDING WITH AT LEAST ONE RECOGNIZABLE ENTRYWAY ADDRESSING THE STREET AND WITH THE DOOR FACING THE SIDE YARD.

ALL ENTRIES HAVE A COVERED PORCH OR STOOP THAT IS AT LEAST 3 FT IN DEPTH.

Note: Graphic to be inserted.

Section 8. That Section 17C.111.320 SMC is amended to read as follows:

Section 17C.111.320 Windows

A. Purpose.

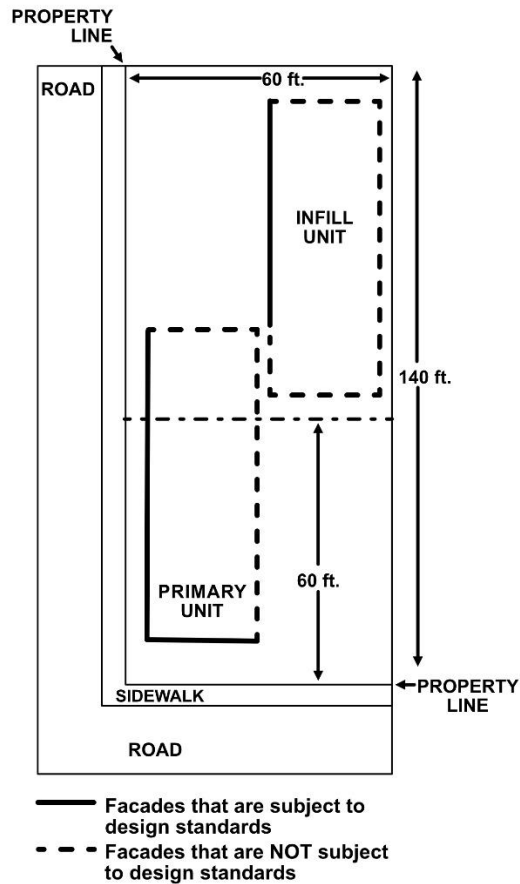
To maintain a lively and active street face while increasing safety and general visibility to the public realm.

B. Applicability.

The following standards apply to all ~~((building facades))~~ facade areas that face a public or private street and enclose floor area, ~~((except those that are separated from the street by another building.))~~ with the following exceptions:

1. When a façade or portion of the façade is not visible from a public or private street or further than 60' away from a street lot line. See Figure 17C.111.320-A.
2. For garages attached to living units, this section does not apply to the portion of the façade associated with the garage.

Figure 17C.111.320-A. Façade Exemption



Note: Graphic to be inserted.

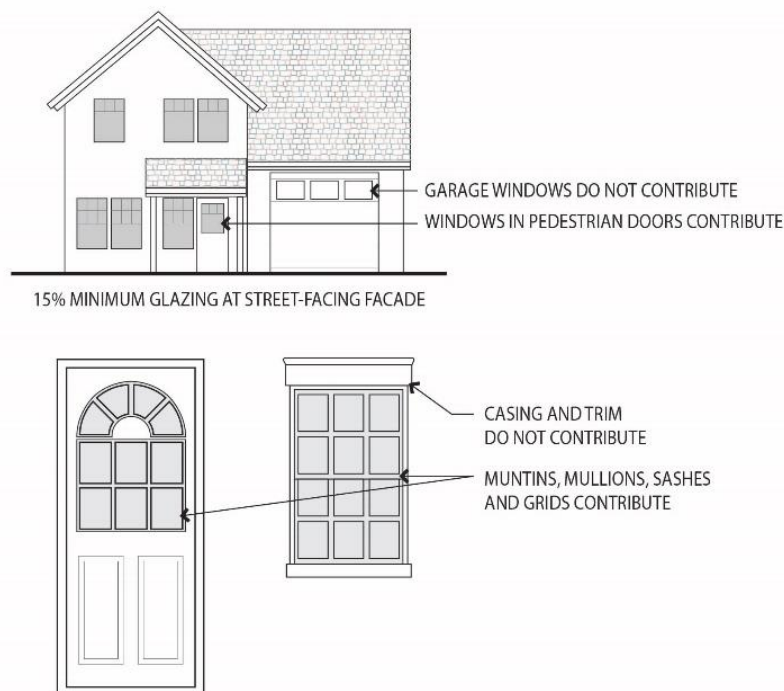
C. Windows Implementation.

See Figure 17C.111.320-((A))B.

1. Windows shall be provided in facades facing public or private streets, comprising at least fifteen percent of the facade area that encloses floor area (R).
2. Window area is considered the entire area within, but not including, the window casing, including any interior window grid.

3. Windows in pedestrian doors may be counted toward this standard. Windows in garage doors may not be counted toward this standard.
4. At least one of the following decorative window features must be included on all of the windows on street facing facades: (P)
 - a. Arched or transom windows.
 - b. Mullions.
 - c. Awnings or bracketed overhangs.
 - d. Flower boxes.
 - e. Shutters.
 - f. Window trim with a minimum width of three inches.
 - g. Pop-outs or recesses greater than three inches.
 - h. Bay windows.
 - i. Dormers.

Figure 17C.111.320-((A))B. Window Coverage



Section 9. That Section 17C.111.325 SMC is amended to read as follows:

Section 17C.111.325 Building Articulation

- A. Purpose.

To ensure that buildings along any public or private street display the greatest amount of visual interest and reinforce the residential scale of the streetscape and neighborhood.

B. Applicability.

~~((The following))~~ These standards apply to all ~~((building))~~ facades that face a public or private street ~~((, except those that are separated from the street by another building. The standards apply to facades of attached housing irrespective of underlying lot lines))~~.

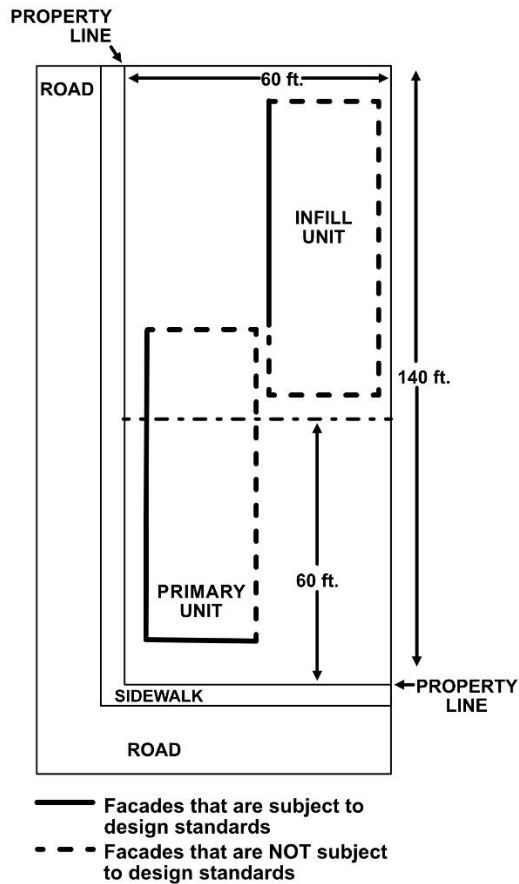
1. Attached Housing.

These standards apply to facades of attached housing. For purposes of this section, a grouping of attached houses shall be considered as a single building.

2. Exceptions.

- a. These standards do not apply when a façade or portion of façade is not visible from a public or private street or further than 60' away from a street lot line. See Figure 17C.111.325-A.
- b. These standards do not apply to a detached Accessory Dwelling Unit above a detached garage.

Figure 17C.111.325-A. Façade Exemption.



Note: Graphic to be inserted.

C. Building Articulation Implementation.

1. ~~((Buildings must))~~ Street-facing Facades shall be modulated along the street at least every ((thirty)) forty feet. ((Building modulations must step the building wall back or forward at least four feet. See Figure 17C.11325-A. (R)) Building modulations may be achieved in any one of the following ways. (R)
 - a. A step back or forward in the building wall of at least four feet. See Figure 17C.111.325-B.
 - b. For facades no more than two stories high, a bay window or cantilevered bump-out at least four feet (4') wide and two feet (2') deep on the ground floor.
 - c. A cantilevered bump-out at least four feet (4') wide and two feet (2') deep that extends vertically the entire height of the facade.
 - d. A covered porch at least ten feet (10') wide and six feet (6') deep.

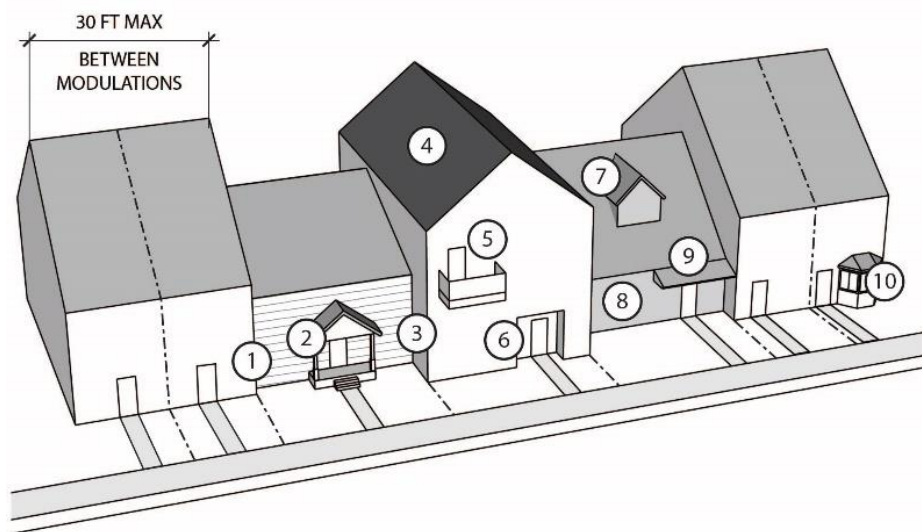
2. The scale of buildings (~~((must))~~) shall be moderated to create a human scale streetscape by including vertical and horizontal delineation as expressed by bays, belt lines, doors, or windows. (P)
3. (~~((Horizontal street-facing facades))~~) In addition to the requirement of subsection (C)(1), street-facing Facades longer than ((thirty)) forty feet (40') ((must)) shall include at least ((four)) one of the ((following)) design features listed below, or a similar treatment, ((per façade. At least one of these features must be used)) every thirty feet (30'). For portions of a facade in excess of an increment of thirty (30), an additional feature shall be required after ten feet (10'). The modulation implemented to meet subsection (C)(1) may be counted in meeting this requirement. (P)

a. Design Features.

- ~~((a. Varied building heights.~~
- ~~b. Use of different materials.~~
- ~~c. Different colors.~~
- ~~d. Offsets.~~
- ~~e. Projecting roofs (minimum of twelve inches).~~
- ~~f. Recesses.~~
- ~~g. Bay windows.~~
- ~~h. Variation in roof materials, color, pitch, or aspect.~~
- ~~i. Balconies~~
- ~~j. Covered porch or patio.~~
- ~~k. Dormers))~~

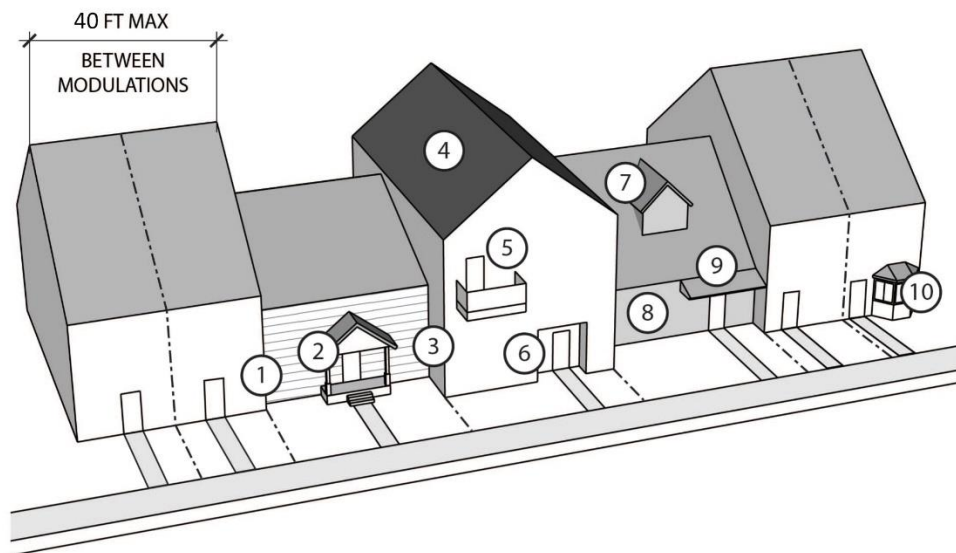
- i. Varied building heights.
- ii. Use of different materials.
- iii. Different colors.
- iv. Offsets.
- v. Projecting roofs (minimum of twelve inches).
- vi. Recesses.
- vii. Bay windows or bump-outs.
- viii. Variation in roof materials, color, pitch, or aspect.
- ix. Balconies
- x. Covered porch or patio.
- xi. Dormers

Figure 17C.111.325-((A))B. Building Articulation for Long Facades



- | | |
|---|----------------------------------|
| ① USE OF DIFFERENT MATERIALS | ⑥ RECESSES |
| ② COVERED PORCH OR PATIO | ⑦ DORMER |
| ③ OFFSETS IN BUILDING FACE | ⑧ DIFFERENT COLORS |
| ④ VARIATION IN ROOF MATERIALS,
COLOR, PITCH, OR ASPECT | ⑨ PROJECTING ROOFS (12 INCH MIN) |
| ⑤ BALCONIES | ⑩ BAY WINDOWS |

Note: Graphic above to be removed (replaced with graphic below).



- | | |
|--|----------------------------------|
| ① USE OF DIFFERENT MATERIALS | ⑥ RECESSES |
| ② COVERED PORCH OR PATIO | ⑦ DORMER |
| ③ OFFSETS IN BUILDING FACE | ⑧ DIFFERENT COLORS |
| ④ VARIATION IN ROOF MATERIALS, COLOR, PITCH, OR ASPECT | ⑨ PROJECTING ROOFS (12 INCH MIN) |
| ⑤ BALCONIES | ⑩ BAY WINDOWS |

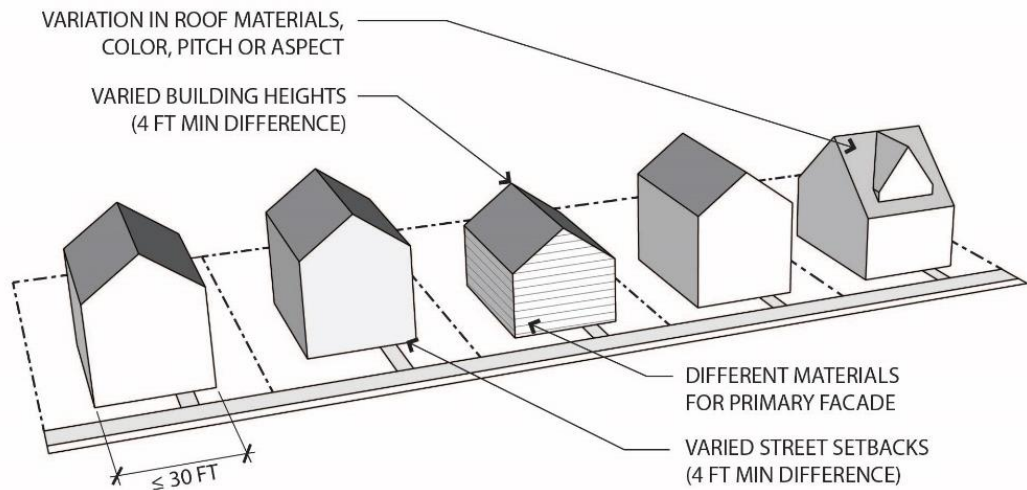
Note: Graphic above to be inserted.

TABLE 17C.111.325-1 BUILDING ARTICULATION EXAMPLES	
<u>Street-Facing Facade Width</u>	<u>Requirements</u>
<u>35 feet</u>	<u>No modulation required</u> <u>No design features required from subsection (3)(a)</u>
<u>40 feet</u>	<u>Modulation required</u> <u>No additional design features required from subsection (3)(a)</u>
<u>45 feet</u>	<u>Modulation required</u> <u>One additional design feature required from subsection (3)(a)</u>
<u>60 feet</u>	<u>Modulation required</u> <u>One additional design feature required from subsection (3)(a)</u>
<u>70 feet</u>	<u>Modulation required</u> <u>Two additional design features required from subsection (3)(a)</u>

~~((4. The following standard applies when detached housing units or individual units of attached housing have street-facing facades that are thirty feet or less in width. Each such unit shall provide variation from adjacent units by using one or more of the following design features (see Figure 17C.111.325-B):~~

- ~~a. Street setbacks that differ by at least four feet.~~
- ~~b. Building heights that differ by at least four feet.~~
- ~~c. Use of different materials for the primary façade.~~
- ~~d. Variation in roof materials, color, pitch, or aspect.~~

~~Figure 17C.111.325-B. Building Variation for Narrow Facades))~~



Note: Graphic to be removed

~~((5. Development should reduce the potential impact of new housing on established and historic neighborhoods by incorporating elements and forms from nearby buildings. This may include reference to architectural details, building massing, proportionality, and use of high-quality materials such as wood, brick, and stone. (C)))~~

D. Consideration for Historic Features.

Development should reduce the potential impact of new housing on established and historic neighborhoods by incorporating elements and forms from nearby buildings. This may include reference to architectural details, building massing, proportionality, and use of high-quality materials such as wood, brick, and stone. (C)

Section 10. That Section 17C.111.335 SMC is amended to read as follows:

Section 17C.111.335 Parking Facilities

A. Purpose.

To integrate parking facilities with the building and surrounding residential context, promote pedestrian-oriented environments along streets, reduce

impervious surfaces, and preserve on-street parking and street tree opportunities.

B. Definitions.

1. Primary Street-Facing Facade.

a. The Primary Street-Facing Facade is the portion of the Front Facade that:

- i. is closest to the front lot line; and
- ii. encloses living space; and
- iii. is situated at ground level.

b. Projections such as bay windows or cantilevered bump-outs shall not be counted as the Primary Street-Facing Facade.

~~((B))~~C. Parking Facilities Implementation.

~~((1. The combined width of all garage doors facing the street may be up to fifty percent of the length of the street-facing building facade. For attached housing, this standard applies to the combined length of the street-facing facades of all units. For all other lots and structures, the standards apply to the street-facing facade of each individual building. See Figure 17C.111.335-A. (R)))~~

1. Garage Opening Width.

a. Width Limited.

Unless otherwise exempted within this subsection, the combined width of all garage door openings on the Front Facade shall not exceed fifty percent of the width of the Front Facade. For attached housing, this standard applies to the combined length of the Front Facades of all units. For all other lots and structures, the standards apply to the Front Facade of each individual building. See Figure 17C.111.335-A. (P)

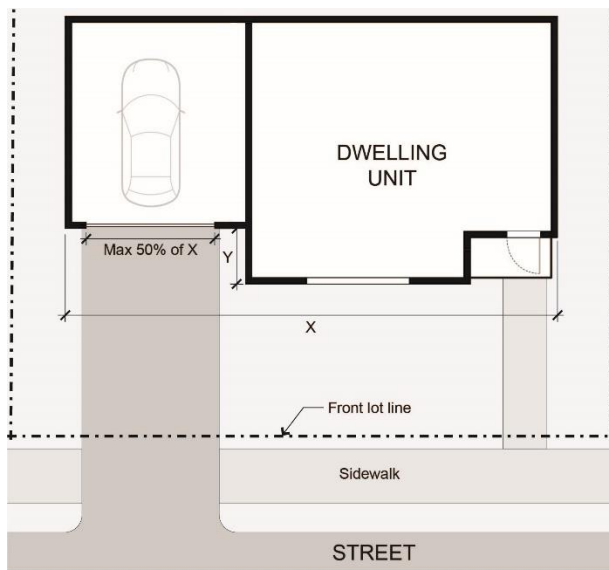
b. Exemptions.

- i. The garage opening width standard does not apply to facades or portions of the facade that are not visible from a

private or public street or further than sixty feet (60') away from a street lot line. See Figure 17C.111.335-B.

- ii. For attached housing units less than twenty feet (20') in width or for detached houses less than twenty feet (20') in width, a single opening of no more than ten feet (10') in width is permitted. Units meeting this exemption shall have enclosed living space above the first floor that is set back no further than the face of the garage and extends the entire width of the width of the unit.

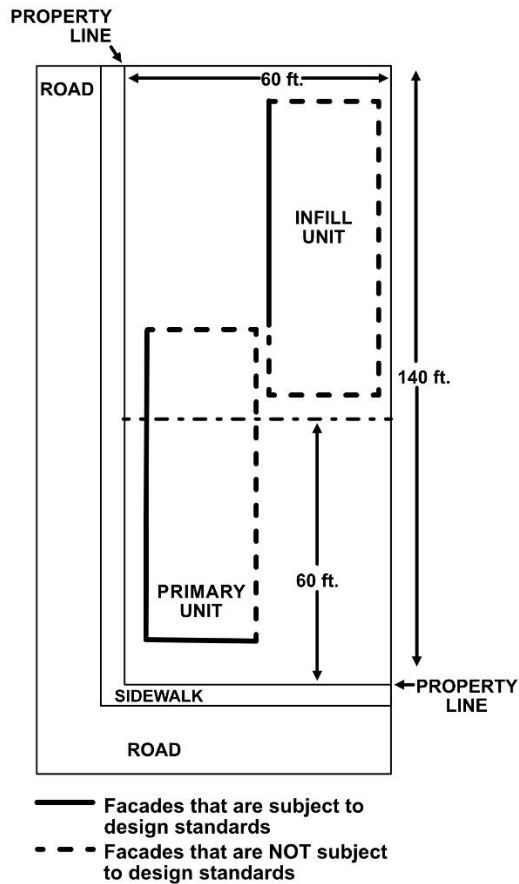
Figure 17C.111.335-A. Garage Door Standard



X = Length of street-facing building façade

Y = 2 ft minimum setback from primary street-facing building façade

Figure 17C.111.335-B. Façade Exemption.



Note: Insert new image above.

~~((2. Street-facing garage walls must be set back at least two feet from the primary street-facing building facade. (R)))~~

2. Garage Wall Step Back.

a. On a Front Facade with garage openings cumulatively totaling more than ten feet (10') in width, all garage openings shall be set back in one of the following ways: (R)

i. at least two feet (2') behind the Primary Street-Facing Facade; or

ii. at least two feet (2') behind the front of a covered porch that is a minimum of six feet (6') in depth and spans at least half of the Front Facade. The covered porch shall have columns, railing, or other vertical elements along the front to visually establish the edge of the porch.

- b. A Front Facade with one street-facing garage opening of ten feet (10') or less in width shall be even with or set back from the Primary Street-Facing Facade. (R)
- c. A Front Facade for a garage with the opening facing the side lot line is not required to step back from the Primary Street-Facing Facade, but shall meet all other relevant design standards. (P)
- d. A grouping of attached housing units shall be considered a single building for purposes of these step back requirements.
- e. This standard does not apply to facades or portions of the facade that are not visible from a private or public street or further than 60' away from a street lot line.
- f. Waivers.

A waiver or modification of the garage wall step back may be granted by the Planning Director. The Planning Director shall consider contextual issues such as:

- i. Topography that does not allow a step back; and
- ii. An addition to an existing structure where a step back is impractical.

Merely the presence of existing structures on nearby properties with garages situated forward of the Primary Street-Facing Facade shall not be grounds for a waiver.

3. Access to Parking.

- a. Vehicular access to ~~((parking))~~ a parking area, garage, or carport shall occur only via an approved driveway approach from an alley, improved street, or easement ~~((is required if parking is required))~~ pursuant to chapter 17C.230 SMC Parking and Loading. (R)
- b. If the lot abuts a public alley, then vehicle access shall be from the alley unless the applicant requests a waiver of the requirement and the Planning Director determines that one of the following conditions exists: (R)
 - i. Existing topography does not permit alley access; or
 - ii. A portion of the alley abuts a nonresidential zone; or
 - iii. The alley is used for loading or unloading by an existing nonresidential use; or
 - iv. Due to the relationship of the alley to the street system, use of the alley for parking access would create a significant safety hazard.

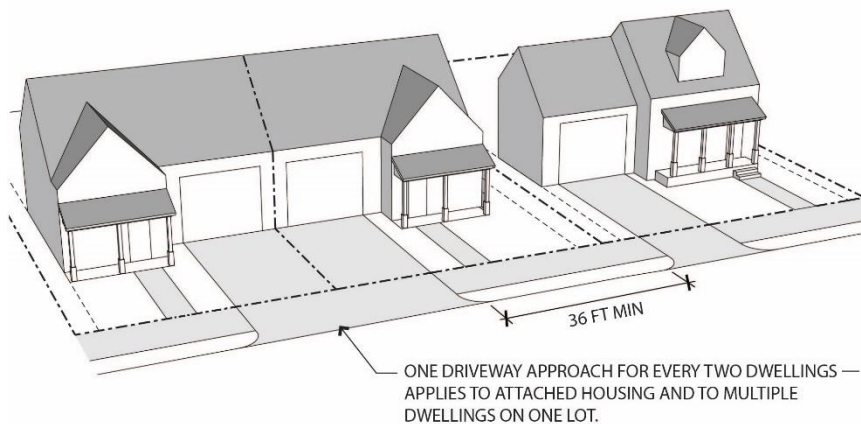
- c. For lots with vehicle access through an alley, garages shall not be accessed from the street. (R)
 - d. Where off-street parking is provided for attached housing or for two or more units on one lot, only one driveway approach and sidewalk crossing for each two dwellings may be permitted. See Figure 17C.111.335-~~((B))~~C. (R)
 - e. Driveway approaches shall be separated by a minimum distance of 36 feet. The Planning Director (~~((will))~~) may grant an exception to this standard if ~~((the 36-foot separation from existing driveways on adjacent lots would preclude vehicular access to the subject lot))~~ one of the following conditions exist. See Figure 17C.111.335-~~((B))~~C. (R)
 - i. existing driveways on adjacent lots would preclude vehicular access to the subject lot; or
 - ii. existing topography makes shared driveway approaches infeasible; or
 - iii. development is proposed on a lot created prior to January 1, 2024 with insufficient frontage for the required separation; or
 - iv. the Planning Director determines that the conditions of the lot render an alternate form of access infeasible.
4. ~~((Parking structures,))~~Detached garages and detached carports~~((, and parking areas other than driveways))~~ shall not be located between the ~~((principal structure))~~ Front Facade and ~~((streets))~~ the street unless the Planning Director determines that one of the following conditions is met. (P)
- a. The lot and primary structure existed prior to January 1, 2024 and are situated such that a garage or carport cannot reasonably be located to the side of or behind the primary structure; or
 - b. Existing topography does not permit the placement of a garage or carport to the side of or behind the proposed or existing primary structure; or
 - c. Placement of the garage or carport to the side of or behind the primary structure would create a safety hazard.

Upon meeting one of these conditions, the garage or carport shall follow all other design standards as practicable.

5. Parking areas shall not be located between the Front Facade and the street except for driveways that lead to an allowable vehicle parking facility. (R)

Figure 17C.111.335-((B))C. Paired Driveways and Minimum Spacing

FIGURE 17C.110.335-B: Paired Driveways and Minimum Spacing



Section 11. That Section 17C.111.420 SMC is amended to read as follows:

Section 17C.111.420 Open Spaces

A. Purpose.

To create pedestrian friendly, usable areas through the use of plazas, courtyards, rooftop decks, and other open spaces for the enjoyment and health of the residents.

B. Open Spaces Implementation.

1. Minimum Required Space.

- a. Each multifamily development shall provide the minimum open space area for each living unit in the complex, including those units occupied by the owner or building management personnel, as identified in Table 17C.111.205-2. Open spaces may be provided individually, such as by balconies, or combined into a larger

common open space. Developments in RMF and RHD may provide both private and common open space to meet the minimum requirement; however, each unit must provide either the full private or common open space to count towards the minimum required space. (R)

- b. Residential units with a continuous pedestrian route from the ~~((building entrance))~~ property boundary to a public park within 800 ft are not required to provide more than 36 square feet of open space per unit. For purposes of this requirement, an unsignalized crossing of a minor arterial road or greater shall not be considered a continuous pedestrian route.

2. Private Open Space.

Private open space area is typically developed for passive recreational use. Examples include balconies, patios, and private rooftop decks.

- a. Private open space must be directly accessible from the unit. (R)
- b. Private open space must be surfaced with landscaping, pavers, decking, or sport court paving which allows the area to be used for recreational purposes. (R)
- c. Private open space may be covered, such as a covered balcony, but may not be fully enclosed. (R)
- d. Berms, low walls, fences, hedges and/or landscaping shall be used to define private open spaces such as yards, decks, terraces, and patios from each other and from the street right-of-way. The material or plantings between private open spaces shall be a maximum of four feet in height and visually permeable, such as open rails, ironwork, or trellis treatment to encourage interaction between neighbors. Material or plantings between units and right-of-way shall meet applicable fencing restrictions. (P)

3. Common Open Space.

Common open space area may be developed for active or passive recreational use. Examples include play areas, plazas, rooftop patios, picnic areas, fitness centers, pools, tennis courts, and open recreational facilities.

- a. The total amount of required common open space is the cumulative amount of the required area per dwelling unit for common areas, minus any units that provide individual open space (if provided).

However, a combined required open space must comply with the minimum area and meet ADA Standards for Accessible Design.

- b. Common open space must be surfaced with landscaping, pavers, decking, or sport court paving, which allows the area to be used for recreational purposes. (R).
 - c. Common open space may be covered, such as a covered patio, but may not be fully enclosed unless the open space is an equipped interior fitness area or furnished meeting space not reservable by individual residents. (R)
 - d. Common open spaces with active uses used to meet these guidelines shall not be located within required buffer areas, if prohibited by critical area or shoreline regulations. (R)
 - e. Common open spaces shall provide at least three of the following amenities to accommodate a variety of ages and activities. Amenities include: (P)
 - i. Site furnishings (benches, tables, bike racks)
 - ii. Picnic or outdoor grilling areas
 - iii. Patios, plazas, or courtyards
 - iv. Tot lots or other children's play areas
 - v. Enclosed pet areas that make up no more than fifty percent of the required common open space
 - vi. Community gardens accessible for use by residents
 - vii. Open lawn
 - viii. Play fields
 - ix. Sports courts, such as tennis or basketball courts, and pools that make up no more than fifty percent of the required common open space
 - x. Interior equipped fitness areas that make up no more than fifty percent of the required common open space
 - f. If common open spaces are located adjacent to a street right-of-way, landscaping should be used to provide a buffer between outdoor spaces and the street right-of-way. (P)
- 4. Lighting shall be provided within open spaces to provide visual interest, as well as an additional security function. Lighting should not cause off-site glare. (R)
 - 5. Open spaces should not be located adjacent to dumpster enclosures, loading/service areas or other facility and/or utility enclosures. (C)

Section 12. That SMC section 17C.111.450 entitled “Pitched Roofs” is repealed.

Section 13. That there is adopted a new section 17C.230.020 to read as follows:
17C.230.020 Vehicle Parking Summary Table

Parking requirements are summarized in Table 17C.230.020-1.

TABLE 17C.230.020-1 SUMMARY OF PARKING REQUIREMENTS [1]				
RESIDENTIAL CATEGORIES				
USE CATEGORY	SPECIFIC USE	MINIMUM REQUIRED	MAXIMUM ALLOWED: CC, DOWNTOWN, FBC ZONES [2]	MAXIMUM ALLOWED: RA, R1, R2, RMF, RHD, O, OR, NR, NMU, CB, GC, INDUSTRIAL ZONES [2]
Group Living		None	CC: 4 per 1,000 sq. ft. of floor area Downtown: 3 per 1,000 sq. ft. of floor area FBC: 2 per 500 sq. ft. of floor area	No maximum
Residential Household Living				

COMMERCIAL CATEGORIES				
USE CATEGORY	SPECIFIC USE	MINIMUM REQUIRED	MAXIMUM ALLOWED: CC, DOWNTOWN, FBC ZONES [2]	MAXIMUM ALLOWED: RA, R1, R2, RMF, RHD, O, OR, NR, NMU, CB, GC, INDUSTRIAL ZONES [2]
Adult Business		None	CC: 4 per 1,000 sq. ft. of floor area Downtown: 3 per 1,000 sq. ft. of floor area FBC: 2 per 500 sq. ft. of floor area	1 per 200 sq. ft. of floor area
Commercial Outdoor Recreation				30 per acre of site
Commercial Parking				None
Drive-through Facility				None
Major Event Entertainment				1 per 5 seats or per CU review
Office				1 per 200 sq. ft. of floor area
Quick Vehicle Servicing				1 per 200 sq. ft. of floor area
Retail Sales and Service	Retail, Personal Service, Repair-oriented			1 per 200 sq. ft. of floor area
	Restaurants and Bars			1 per 60 sq. ft. of floor area
	Health Clubs, Gyms, Lodges, Meeting Rooms and similar continuous entertainment, such as Arcades and Bowling Alleys			1 per 180 sq. ft. of floor area
	Temporary Lodging			1.5 per rentable room; for associated uses such as Restaurants, see above

	Theaters			1 per 2.7 seats or 1 per 4 feet of bench area
	Retail sales and services of large items, such as appliances, furniture and equipment			1 per 200 sq. ft. of floor area
Mini-storage Facilities				Same as Warehouse and Freight Movement
Vehicle Repair				1 per 200 sq. ft.
INDUSTRIAL CATEGORIES				
USE CATEGORY	SPECIFIC USE	MINIMUM REQUIRED	MAXIMUM ALLOWED: CC, DOWNTOWN, FBC ZONES [2]	MAXIMUM ALLOWED: RA, R1, R2, RMF, RHD, O, OR, NR, NMU, CB, GC, INDUSTRIAL ZONES [2]
Industrial Services, Railroad Yards, Wholesale Sales		None	CC: 4 per 1,000 sq. ft. of floor area Downtown: 3 per 1,000 sq. ft. of floor area FBC: 2 per 500 sq. ft. of floor area	1 per 200 sq. ft. of floor area
Manufacturing and Production				1 per 200 sq. ft. of floor area
Warehouse and Freight Movement				1 per 200 sq. ft. of floor area
Waste-related				Per CU review

INSTITUTIONAL CATEGORIES				
USE CATEGORY	SPECIFIC USE	MINIMUM REQUIRED	MAXIMUM ALLOWED: CC, DOWNTOWN, FBC ZONES [2]	MAXIMUM ALLOWED: RA, R1, R2, RMF, RHD, O, OR, NR, NMU, CB, GC, INDUSTRIAL ZONES [2]
Basic Utilities		None	CC: 4 per 1,000 sq. ft. of floor area Downtown: 3 per 1,000 sq. ft. of floor area FBC: 2 per 500 sq. ft. of floor area	None
Colleges				1 per 200 sq. ft. of floor area
Community Service				exclusive of dormitories, plus 1per 2.6 dorm room
Daycare				1 per 200 sq. ft. of floor area
Medical Centers				1 per 200 sq. ft. of floor area
Parks and Open Areas				1 per 200 sq. ft. of floor area
Religious Institutions				Per CU review for active areas
Schools	Grade, Elementary, Junior High			2.5 per classroom
	High School			10.5 per classroom

OTHER CATEGORIES				
USE CATEGORY	SPECIFIC USE	MINIMUM REQUIRED	MAXIMUM ALLOWED: CC, DOWNTOWN, FBC ZONES [2]	MAXIMUM ALLOWED: RA, R1, R2, RMF, RHD, O, OR, NR, NMU, CB, GC, INDUSTRIAL ZONES [2]
Agriculture		None	CC: 4 per 1,000 sq. ft. of floor area Downtown: 3 per 1,000 sq. ft. of floor area FBC: 2 per 500 sq. ft. of floor area	None or per CU review
Aviation and Surface Passenger Terminals				Per CU review
Detention Facilities				Per CU review
Essential Public Facilities				Per CU review
Wireless Communication Facilities				None or per CU review
Rail Lines and Utility Corridors				None

[1] The Planning Director may approve different amounts of parking spaces under the exceptions listed in SMC 17C.230.130.

[2] Parking provided within a parking structure is not counted towards the maximum allowed per SMC 17C.230.120(B)(2).

Section 14. That Section 17C.230.100 SMC is amended to read as follows:

Section 17C.230.100 General Standards

A. ~~((Where the Standards Apply))~~ Applicability.

The standards of this chapter apply to all parking areas in ~~((RA, R1, R2, RMF, RHD, O, OR, NR, NMU, CB, GC, Downtown, CC, industrial, and FBC zones))~~ all zones, whether required by this code or put in for the convenience of property owners or users. Parking areas include those accessory to a use, part of a commercial parking use, or for a park and ride facility in the basic utilities use category. Some zoning categories have unique parking standards as provided in Table 17C.230.120-1.

~~((B. —Occupancy.~~

~~All required parking areas must be completed and landscaped prior to occupancy of any structure except as provided in chapter 17C.200 SMC, Landscaping and Screening.))~~

~~((G))~~ B. ((Calculations of Amounts of Required and Allowed Parking)) Calculation.

1. When computing parking spaces based on floor area, floor area dedicated for parking is not counted.
2. The number of parking spaces is computed based on the uses on the site. When there is more than one use on a site, the required or allowed parking for the site is the sum of the required or allowed parking for the individual uses. ~~((For joint use parking, see SMC 17C.230.110(B)(2).))~~
- ~~((3. If the maximum number of spaces allowed is less than or equal to the minimum number required, then the maximum number is automatically increased to one more than the minimum.))~~
- ~~((4))~~ 3. If the maximum number of spaces allowed is less than one, then the maximum number is automatically increased to one.
- ~~((5))~~ 4. When the calculation of required or allowed parking results in a decimal fraction, the number of parking spaces required or allowed is rounded up to the next whole number.

~~((D. Use of Required Parking Spaces.~~

~~Required parking spaces must be available for the use of residents, customers, or employees of the use. Fees may be charged for the use of required parking spaces, except for group living and residential household living uses. Required parking spaces may not be assigned in any way to a use on another site, except for joint parking situations. Required parking spaces must be made available to employees; it cannot be restricted only to customers. See SMC 17C.230.110(B)(2). Also, required parking spaces may not be used for the parking of equipment or storage of goods or inoperable vehicles.~~

~~E. Proximity of Parking to Use.~~

- ~~1. Required parking spaces for all industrial and commercial zones, except center and corridor zones, must be located on the site of the use or in parking areas whose closest point is within four hundred feet of the site. In center and corridor zones, parking is required to be located within six hundred feet of the use.~~
- ~~2. Required parking spaces for uses in the RA, R1, R2, and RMF zones must be located on the site of the use. Required parking for the uses in~~

~~the RHD zone must be located on the site of the use or in parking areas whose closest point is within four hundred feet of the site.~~

~~F. Stacked Parking.~~

~~Stacked or valet parking is allowed if an attendant is present to move vehicles. If stacked parking is used for required parking spaces, some form of guarantee must be filed with the City ensuring that an attendant will always be present when the lot is in operation. The requirements for minimum or maximum spaces and all parking area development standards continue to apply for stacked parking.~~

~~G. On-Street Parking.~~

~~The minimum number of required parking spaces may be reduced by the number of on-street parking spaces immediately adjacent to a site's public right-of-way frontages, located on the same side of the street. The street must be paved, with sidewalks that are ADA accessible. Each complete twenty linear foot section of right-of-way where parallel parking is permitted is considered a parking space. Where parallel, diagonal or other on-street parking is marked on the street or officially designated by other means; the number of complete parking spaces that are adjacent on the same side of the street to the site's frontage are counted. An on-street parking space shall not be counted if it is restricted in its use as a designated loading, taxi or other special use zone or if parking is prohibited for more than five hours any twenty four hour period. When calculating the number of required bicycle parking spaces per SMC 17C.230.200, the number of vehicle off-street parking spaces that would be required before this reduction is applied is the figure that is used.))~~

~~((H))C. Curb Cuts.~~

~~Curb cuts and access restrictions are regulated by the City engineering services department. Other zoning standards or design ((guidelines)) standards may apply.~~

Section 15. That Section 17C.230.110 SMC is amended to read as follows:

Section 17C.230.110 Minimum Required Parking Spaces

~~((A. Purpose.~~

~~The purpose of required parking spaces is to provide enough parking to accommodate the majority of traffic generated by the range of uses, which might~~

~~locate at the site over time. As provided in subsection (B)(3) of this section, bicycle parking may be substituted for some required parking on a site to encourage transit use and bicycling by employees and visitors to the site. The required parking numbers correspond to broad use categories, not specific uses, in response to this long-term emphasis. Provision of carpool parking, and locating it close to the building entrance, will encourage carpool use.~~

~~B. Minimum Number of Parking Spaces Required.~~

~~1. The minimum number of parking spaces for all zones is stated in Table 17C.230.120-1. Table 17C.230.130-1 states the required number of spaces for use categories. The standards of Table 17C.230.120-1 and Table 17C.230.130-1 apply unless specifically superseded by other portions of the city code.~~

~~2. Joint Use Parking.~~

~~Joint use of required parking spaces may occur where two or more uses on the same or separate sites are able to share the same parking spaces because their parking demands occur at different times. Joint use of required nonresidential parking spaces is allowed if the following documentation is submitted in writing to the planning and economic development services director as part of a building or zoning permit application or land use review:~~

- ~~a. The names and addresses of the uses and of the owners or tenants that are sharing the parking.~~
- ~~b. The location and number of parking spaces that are being shared.~~
- ~~c. An analysis showing that the peak parking times of the uses occur at different times and that the parking area will be large enough for the anticipated demands of both uses; and~~
- ~~d. A legal instrument such as an easement or deed restriction that guarantees access to the parking for both uses.~~

~~3. Bicycle parking may substitute for up to twenty-five (25) percent of required vehicle parking. For every four (4) short-term bicycle parking spaces, the motor vehicle parking requirement is reduced by one space. For every one (1) long-term bicycle parking space, the motor vehicle parking required is reduced by one space. Vehicle parking associated with residential uses may only be substituted by long-term bicycle parking. Existing parking may be converted to take advantage of this provision. Required bicycle parking spaces may be used to substitute for vehicle parking.~~

~~4. Existing Uses.~~

~~The off-street parking and loading requirements of this chapter do not apply retroactively to established uses; however:~~

- ~~a. the site to which a building is relocated must provide the required spaces; and~~
- ~~b. a person increasing the floor area, or other measure of off-street parking and loading requirements, by addition or alteration, must provide spaces as required for the increase, unless the requirement under this subsection is five spaces or fewer.~~

~~5. Change of Use.~~

~~When the use of an existing building changes, additional off-street parking and loading facilities must be provided only when the number of parking or loading spaces required for the new use(s) exceeds the number of spaces required for the use that most recently occupied the building. A "credit" is given for the most recent use of the property for the number of parking spaces that would be required by the current parking standards. The new use is not required to compensate for any existing deficit.~~

- ~~a. If the proposed use does not generate the requirement for greater than five additional parking spaces more than the most recent use then no additional parking spaces must be added.~~
- ~~b. For example, a non-conforming building with no off-street parking spaces most recently contained an office use that if built today would require three off-street parking spaces. The use of the building is proposed to be changed to a restaurant that would normally require six spaces. The three spaces that would be required of the existing office use are subtracted from the required number of parking spaces for the proposed restaurant use. The remainder is three spaces. Since the three new spaces is less than five spaces no off-street parking spaces would be required to be installed in order to change the use of the building from an office use to a restaurant use.~~

~~6. Uses Not Mentioned.~~

~~In the case of a use not specifically mentioned in Table 17C.230.130-1, the requirements for off-street parking shall be determined by the planning and economic development services director. If there is/are comparable~~

~~uses, the planning and economic development services director's determination shall be based on the requirements for the most comparable use(s). Where, in the judgment of the planning and economic development services director, none of the uses in Table 17C.230.130-1 are comparable, the planning and economic development services director may base his or her determination as to the amount of parking required for the proposed use on detailed information provided by the applicant. The information required may include, but not be limited to, a description of the physical structure(s), identification of potential users, and analysis of likely parking demand.~~

~~C. Carpool Parking.~~

~~For office, industrial, and institutional uses where there are more than twenty parking spaces on the site, the following standards must be met:~~

- ~~1. Five spaces or five percent of the parking spaces on site, whichever is less, must be reserved for carpool use before nine a.m. on weekdays. More spaces may be reserved, but they are not required.~~
- ~~2. The spaces will be those closest to the building entrance or elevator, but not closer than the spaces for disabled parking and those signed for exclusive customer use.~~
- ~~3. Signs must be posted indicating these spaces are reserved for carpool use before nine a.m. on weekdays.))~~

A. No Minimum Required.

Except as provided herein, there is no required minimum number of off-street parking spaces.

B. Conditional Use.

A requirement to provide a minimum number of off-street parking spaces may be included as a condition in a Conditional Use permit.

Section 16. That Section 17C.230.120 SMC is amended to read as follows:

Section 17C.230.120 Maximum Required Parking Spaces

A. Purpose.

Limiting the number of spaces allowed promotes efficient use of land, enhances urban form, encourages use of alternative modes of transportation, provides for better pedestrian movement, and protects air and water quality. The maximum ratios in this section vary with the use the parking ((it)) is accessory to. ~~((These maximums will accommodate most auto trips to a site based on typical peak parking demand for each use.))~~

B. Maximum Number of Parking Spaces Allowed.

Standards in a plan district or overlay zone may supersede the standards in this subsection or the amounts listed in Table 17C.230.020-1.

1. Surface Parking.

The maximum number of parking spaces allowed is stated in Table ~~((17C.230.120-1 and Table 17C.230.130-1))~~ 17C.230.020-1, except as specified in subsection (B)(2) of this section.

2. Structure Parking.

Parking provided within a building or parking structure is not counted when calculating the maximum parking allowed.

((

TABLE 17C.230.120-1		
PARKING SPACES BY ZONE [1]		
(Refer to Table 17C.230.130-1 for Parking Spaces Standards by Use)		
ZONE	SPECIFIC USES	REQUIREMENT
RA, R1, R2, RMF, RHD	All Land Uses	Minimum and maximum standards are shown in Table 17C.230.130-1.
O, OR, NR, NMU, CB, GC, Industrial		
CC1, CC2, CC3, CC4 [2]	Nonresidential	There is no minimum parking requirement. Maximum ratio is 4 stalls per 1,000 gross square feet of floor area.
	Residential	There is no minimum parking requirement. Maximum ratio is 4 stalls per 1,000 gross square feet of floor area.

Downtown [2]	Nonresidential	There is no minimum parking requirement. Maximum ratio is 3 stalls per 1,000 gross square feet of floor area.
	Residential	There is no minimum parking requirement. Maximum ratio is 3 stalls per 1,000 gross square feet of floor area.
FBC [2]	All Land Uses	See SMC 17C.123.040, Hamilton Form Based Code for off-street parking requirements.
Overlay	All Land Uses	No off-street parking is required. See the No Off-Street Parking Required Overlay Zone Map 17C.230-M2 and No Off-Street Parking Required Overlay Zone Map 17C.230-M3.
<p>[1] Standards in a plan district or overlay zone may supersede the standards of this table.</p> <p>[2] See exceptions in SMC 17C.230.130, CC and Downtown Zone Parking Exceptions.</p>		

))

Section 17. That Section 17C.230.130 SMC is amended to read as follows:

Section 17C.230.130 Parking Exceptions

((A. — Parking is not required for commercial or institutional uses.

B. — The Planning Director may approve ratios that are higher than the maximum ((or lower than the minimum)) if sufficient factual data is provided to indicate that a different amount is appropriate. The applicant assumes the burden of proof. Approval of parking above the maximum shall be conditioned upon increasing the amount of required landscaping by thirty percent. ((Approval of parking below the minimum shall be conditioned upon the project contributing towards a pedestrian and transit supportive environment both next to the immediate site and in the surrounding area.)) When determining if a different amount of parking is appropriate, the Director shall consider the proximity of the site to frequent transit service, the intensity of the zoning designation of the site and surrounding sites, and the form of the proposed use.))

The Planning Director may approve ratios that are higher than the maximum if sufficient factual data is provided to indicate that a different amount is appropriate. The applicant assumes the burden of proof. Approval of parking above the maximum shall be conditioned upon increasing the amount of required landscaping by thirty percent. When determining if a different amount of parking is appropriate, the Director shall consider the proximity of the site to frequent transit service, the intensity of the zoning designation of the site and surrounding sites, and the form of the proposed use.

- ~~((C. If property owners and businesses establish a parking management area program with shared parking agreements, the Planning Director may reduce or waive parking requirements.~~
- ~~D. Existing legal nonconforming buildings that do not have adequate parking to meet the standards of this section are not required to provide off-street parking when remodeling which increases the amount of required parking occurs within the existing structure.~~
- ~~E. Attached Housing.~~

~~The following exceptions apply only to attached housing (defined in SMC 17A.020.010) in the RMF and RHD zones. Distances are measured in a straight line between the zone/overlay boundary to the lot line of the site containing the development.~~

- ~~1. On a lot at least partially within one thousand three hundred twenty feet of CC, CA, or DT zone or CC3 zoning overlay, the minimum number of off-street vehicle parking spaces required is fifty percent less than the minimum required for Residential Household Living in Table 17C.230.130-1.~~
- ~~2. On a lot farther than one thousand three hundred twenty feet of a CC, CA, or DT zone or CC3 zoning overlay, the minimum number of off-street vehicle parking spaces required is thirty percent less than the minimum required for Residential Household Living in Table 17C.230.130-1.~~
- ~~F. Parking is not required for residential development on sites located within one-half mile of a transit stop.~~

<p style="text-align: center;">TABLE 17C.230.130-1 PARKING SPACES BY USE [1] (Refer to Table 17C.230.120-1 for Parking Space Standards by Zone) CU = Conditional Use</p>
<p style="text-align: center;">RESIDENTIAL CATEGORIES</p>

USE CATEGORIES	SPECIFIC USES	MINIMUM PARKING	MAXIMUM PARKING
Group Living	-	None	None
Residential Household Living	-	None	None
COMMERCIAL CATEGORIES			
USE CATEGORIES	SPECIFIC USES	MINIMUM PARKING	MAXIMUM PARKING
Adult Business	-	None	1 per 200 sq. ft. of floor area
Commercial Outdoor Recreation	-	None	30 per acre of site
Commercial Parking	-	Not applicable	None
Drive-through Facility	-	Not applicable	None
Major Event Entertainment	-	None	1 per 5 seats or per CU review
Office	General Office	None	1 per 200 sq. ft. of floor area
	Medical/Dental Office	None	1 per 200 sq. ft. of floor area
Quick Vehicle Servicing	-	None	1 per 200 sq. ft. of floor area
Retail Sales and Service	Retail, Personal Service, Repair-oriented	None	1 per 200 sq. ft. of floor area
	Restaurants and Bars	None	1 per 60 sq. ft. of floor area
	Health Clubs, Gyms, Lodges, Meeting Rooms and similar	None	1 per 180 sq. ft. of floor area

	continuous entertainment, such as Arcades and Bowling Alleys		
	Temporary Lodging	None	1.5 per rentable room; for associated uses such as Restaurants, see above
	Theaters	None	1 per 2.7 seats or 1 per 4 feet of bench area
	Retail sales and services of large items, such as appliances, furniture and equipment	None	1 per 200 sq. ft. of floor area
Mini-storage Facilities	-	None	Same as Warehouse and Freight Movement
Vehicle Repair	-	None	1 per 200 sq. ft. of floor area
INDUSTRIAL CATEGORIES			
USE CATEGORIES	SPECIFIC USES	MINIMUM PARKING	MAXIMUM PARKING
Industrial Services, Railroad Yards, Wholesale Sales	-	None	1 per 200 sq. ft. of floor area
Manufacturing and Production	-	None	1 per 200 sq. ft. of floor area
Warehouse and Freight Movement	-	None	1 per 200 sq. ft. of floor area
Waste-related	-	Per CU review	Per CU review

INSTITUTIONAL CATEGORIES			
USE CATEGORIES	SPECIFIC USES	MINIMUM PARKING	MAXIMUM PARKING
Basic Utilities	-	None	None
Colleges	-	None	1 per 200 sq. ft. of floor area exclusive of dormitories, plus 1 per 2.6 dorm room
Community Service	-	None	1 per 200 sq. ft. of floor area
Daycare	-	None	1 per 200 sq. ft. of floor area
Medical Centers	-	None	1 per 200 sq. ft. of floor area
Parks and Open Areas	-	None	Per CU review for active areas
Religious Institutions	-	None	1 per 60 sq. ft. of main assembly area
Schools	Grade, Elementary, Junior High	None	2.5 per classroom
	High School	None	10.5 per classroom
OTHER CATEGORIES			
USE CATEGORIES	SPECIFIC USES	MINIMUM PARKING	MAXIMUM PARKING
Agriculture	-	None or per CU review	None or per CU review
Aviation and Surface Passenger Terminals	-	Per CU review	Per CU review
Detention Facilities	-	Per CU review	Per CU review
Essential Public Facilities	-	Per CU review	Per CU review

Wireless Communication Facilities	-	None or per CU review	None or per CU review
Rail Lines and Utility Corridors	-	None	None
[1] The Planning Director may approve different amounts of parking spaces under the exceptions listed in SMC 17C.230.130.			

))

Section 18. That Section 17C.230.140 SMC is amended to read as follows:

Section 17C.230.140 Development Standards

A. Purpose.

The parking area layout standards are intended to promote safe circulation within the parking area and provide for convenient entry and exit of vehicles.

B. ~~((Where These Standards Apply))~~ Applicability.

The standards of this section apply to all vehicle areas whether required or excess parking.

C. Improvements.

1. Paving.

In order to control dust and mud, all vehicle areas must be surfaced with a minimum all-weather surface. Such surface shall be specified by the city engineer. Alternatives to the specified all-weather surface may be provided, subject to approval by the city engineer. The alternative must provide results equivalent to paving. All surfacing must provide for the following minimum standards of approval:

- a. Dust is controlled.
- b. Stormwater is treated to City standards; and
- c. Rock and other debris is not tracked off-site.

The applicant shall be required to prove that the alternative surfacing provides results equivalent to paving. ~~((If, after construction, the City determines that the~~

~~alternative is not providing the results equivalent to paving or is not complying with the standards of approval, paving shall be required.))~~

2. Striping.

All parking areas, except for stacked parking, must be striped in conformance with the parking dimension standards ~~((of subsection (E)))~~ of this section, except parking for ~~((single-family residences, duplexes, and accessory dwelling units))~~ Single-Unit Residential Buildings, Accessory Dwelling Units, or Middle Housing developments of no more than six units.

3. Protective Curbs Around Landscaping.

All perimeter and interior landscaped areas directly adjacent to parking aisles, parking spaces, or an abutting sidewalk must have continuous, cast in place, or extruded protective curbs along the edges. Curbs separating landscaped areas from parking areas may allow stormwater runoff to pass through them. Tire stops, bollards or other protective barriers may be used at the front ends of parking spaces. Curbs may be perforated or have gaps or breaks. Trees must have adequate protection from car doors as well as car bumpers. This provision does not apply to ~~((single-family residence, duplexes and accessory dwelling units))~~ Single-Unit Residential Buildings, Accessory Dwelling Units, or Middle Housing developments of no more than six units.

D. Stormwater Management.

Stormwater runoff from parking lots is regulated by the engineering services department.

E. Parking Area Layout.

1. Access to Parking Spaces.

All parking areas, except stacked parking areas, must be designed so that a vehicle may enter or exit without having to move another vehicle.

2. Parking Space and Aisle Dimensions.

- a. Parking spaces and aisles ~~((in RA, R1, R2, RMF, RHD, FBC CA4, O, OR, NR, NMU, CB, GC, and industrial zones must))~~ shall meet the minimum dimensions contained in Table 17C.230.140-1.

~~((b. — Parking spaces and aisles in Downtown CC, and FBC CA1, CA2, CA3 zones must meet the minimum dimensions contained in Table 17C.230.140-2.))~~

~~((e))~~b. In all zones, on dead end aisles, aisles shall extend five feet beyond the last stall to provide adequate turnaround.

3. Parking for Disabled Persons.

The city building services department regulates the following disabled person parking standards and access standards through the building code and the latest ANSI standards for accessible and usable buildings and facilities:

- a. Dimensions of disabled person parking spaces and access aisles.
- b. The minimum number of disabled person parking spaces required.
- c. Location of disabled person parking spaces and circulation routes.
- d. Curb cuts and ramps including slope, width and location; and
- e. Signage and pavement markings.

4. A portion of a standard parking space may be landscaped instead of paved, as follows:

- a. The landscaped area may be up to two feet of the front of the space as measured from a line parallel to the direction of the bumper of a vehicle using the space, as shown in Figure ~~((17C.230-3))~~ 17C.230.140-1. Any vehicle overhang must be free from interference from sidewalks, landscaping, or other required elements.

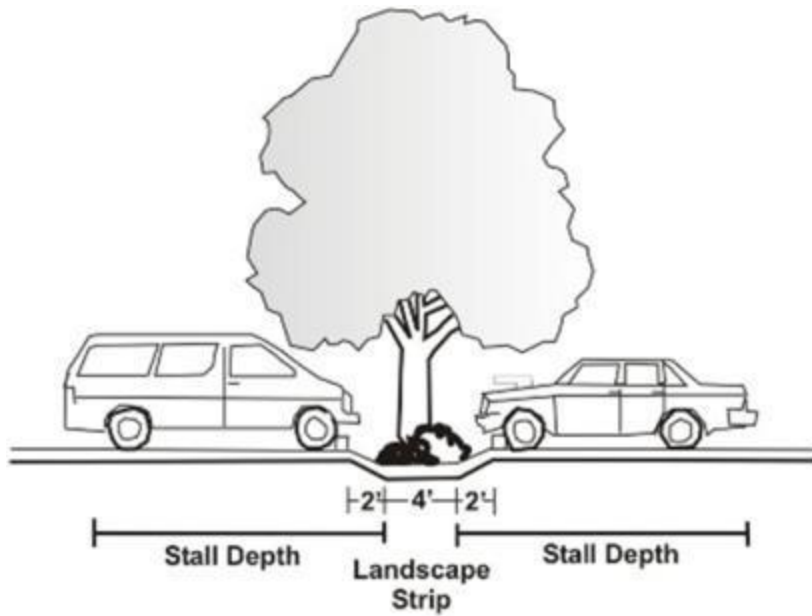


Figure 17C.230-3 Landscaped area at front of parking space

Note: Remove image and replace with the one below.

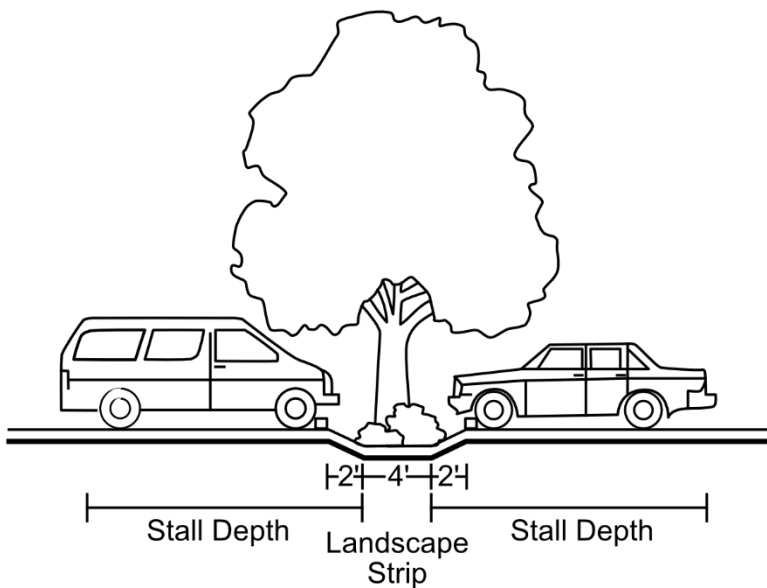


Figure 17C.230-3 Landscaped area at front of parking space

Note: Insert above image.

- b. Landscaping must be ground cover plants; and
- c. The landscaped area counts toward parking lot interior landscaping requirements and toward any overall site landscaping requirements. However, the landscaped area does not count toward perimeter landscaping requirements.

5. Engineering Services Department Review.

The engineering services department reviews the layout of parking areas for compliance with the curb cut and access restrictions of chapter 17H.010 SMC.

((

Table 17C.230.140-1 RA, R1, R2, RMF, RHD, FBC CA4, O, OR, NMU, CB, GC and Industrial Zones Minimum Parking Space and Aisle Dimensions [1, 2]					
Angle (A)	Width (B)	Curb Length (C)	1-way Aisle Width (D)	2-way Aisle Width (D)	Stall Depth (E)
0° (Parallel)	8 ft.	20 ft.	12 ft.	22 ft.	8 ft.
30°	8 ft. 6 in.	17 ft.	12 ft.	22 ft.	15 ft.
45°	8 ft. 6 in.	12 ft.	12 ft.	22 ft.	17 ft.
60°	8 ft. 6 in.	9 ft. 9 in.	16 ft.	22 ft.	18 ft.
90°	8 ft. 6 in.	8 ft. 6 in.	22 ft.	22 ft.	18 ft.
Notes: [1] See Figure 17C.230-4. [2] Dimensions of parking spaces for the disabled are regulated by the building code. See SMC 17C.230.140(E)(3).					

))

Table ((17C.230.140-2)) 17C.230.140-1 ((Downtown, CC, NR, FBC CA1, CA2, and CA3 Zones)) Minimum Parking Space and Aisle Dimensions [1, 2]					
Angle (A)	Width (B)	Curb Length (C)	1-way Aisle Width (D)	2-way Aisle Width (D)	Stall Depth (E)
0° (Parallel)	8 ft.	20 ft.	12 ft.	20 ft.	8 ft.
30°	8 ft. 6 in.	17 ft.	12 ft.	20 ft.	15 ft.
45°	8 ft. 6 in.	12 ft.	12 ft.	20 ft.	17 ft.
60°	8 ft. 6 in.	9 ft. 9 in.	16 ft.	20 ft.	17 ft. 6 in.
90°	8 ft. 6 in.	8 ft. 6 in.	20 ft.	20 ft.	16 ft.
Notes: (([1] See Figure 17C.230-4.)) [1] See Figure 17C.230.140-2. [2] Dimensions of parking spaces for the disabled are regulated by the building code. See SMC 17C.230.140(E)(3).					

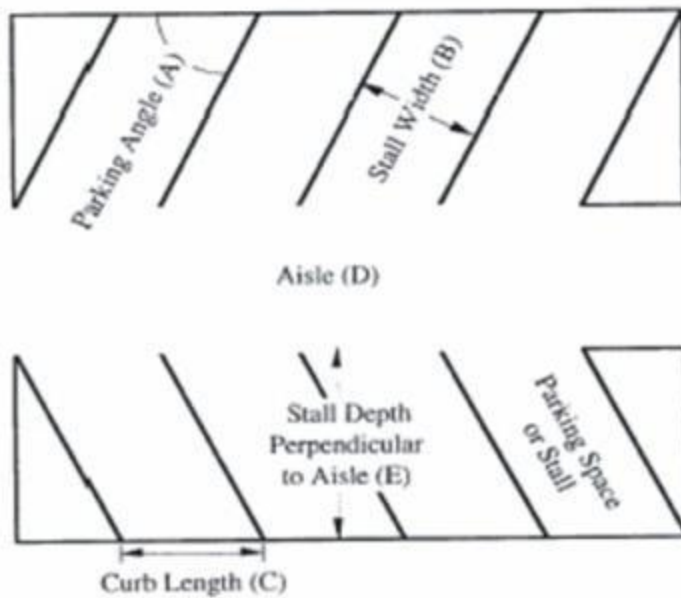


Figure 17C.230-4 Parking Dimension Factors

Note: Remove above graphic and replace with the one below.

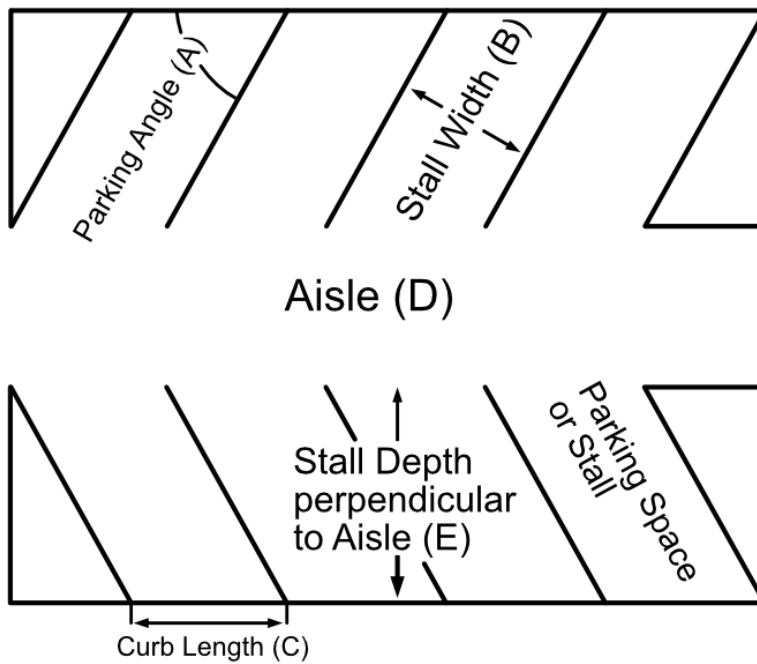
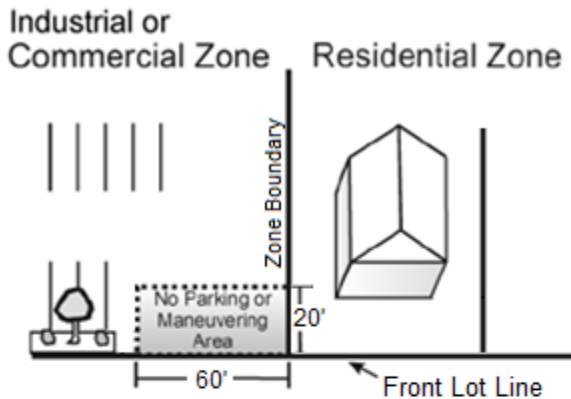


Figure 17C.230-4 Parking Dimension Factors

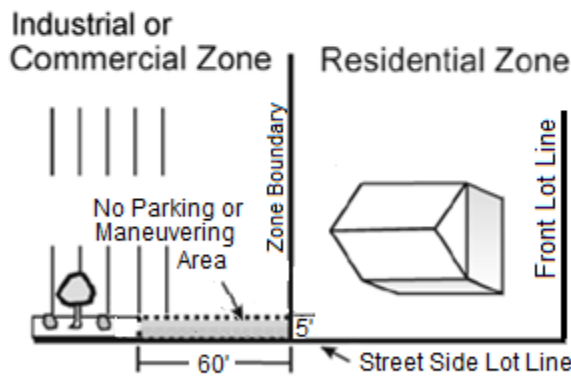
Note: Insert above graphic.

F. Parking Area Setbacks and Landscaping.

1. For parking areas on sites abutting residential zoning districts, parking spaces or maneuvering areas for parking spaces, other than driveways that are perpendicular to the street, are required to be setback a distance equal to the setback specified in SMC 17C.230.145(C)(1) of the adjacent residential zoning district for the first sixty feet from the zoning district boundary (Figure ((17C.230-5)) 17C.230.140-3).



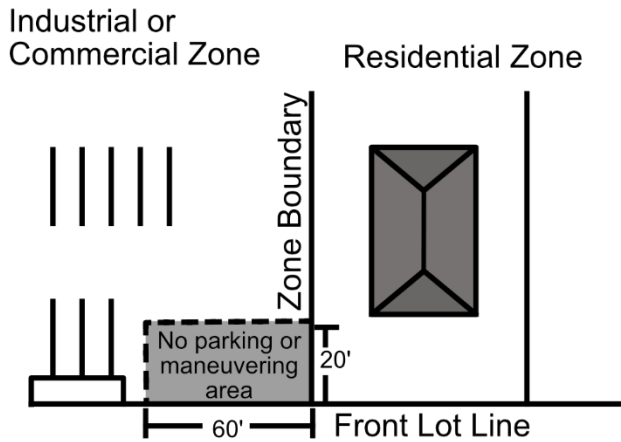
A. Setback adjacent to front lot line.



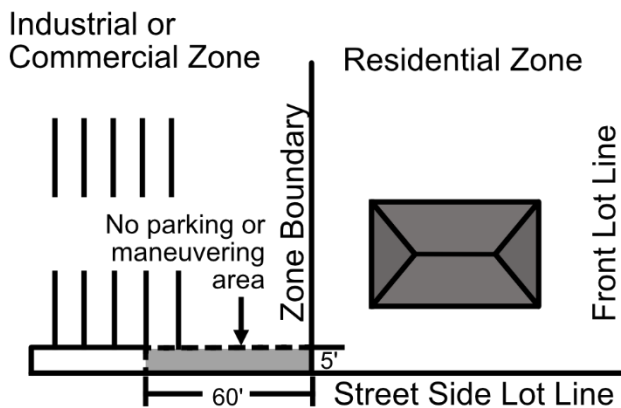
B. Setback adjacent to street side lot line.

Figure 17C.230-5 Parking Area Setback

Note: Remove above graphic and replace with the one below.



A. Setback adjacent to front lot line



B. Setback adjacent to street lot line.

Figure 17C.230-5 Parking Area Setback

Note: Insert above graphic.

2. All landscaping must comply with the standards of chapter 17C.200 SMC, Landscaping and Screening.

Section 19. That Section 17G.080.040 SMC is amended to read as follows:

Section 17G.080.040 Short Subdivisions

- A. Predevelopment Meeting

A predevelopment meeting is recommended (~~((for all other proposals))~~) for new short subdivisions prior to submittal of the application. The purpose of a predevelopment meeting is to acquaint the applicant with the applicable provisions of this chapter, minimum submission requirements and other plans or regulations, which may impact the proposal.

B. Preliminary Short Plat Application and Map Requirements

1. Applications for approval of a preliminary short subdivision shall be filed with the director. All applications shall be submitted on forms provided for such purpose by the department. The director may waive specific submittal requirements determined to be unnecessary for review of the application. The application shall include the following:

- a. The general application.
- b. The supplemental application.
- c. The environmental checklist, if required under chapter 17E.050 SMC.
- d. Title report no older than thirty days from issuance from the title company.
- e. The filing fees as required under chapter 8.02 SMC.
- f. ~~((The required number of documents, plans or maps))~~ One electronic copy of the proposed preliminary plat map drawn to a minimum scale of one-inch equals one hundred feet ~~((, on a sheet twenty-four by thirty-six inches, as set forth in the application checklist))~~.
- g. A written narrative identifying consistency with the applicable policies, regulations and criteria for approval of the permit requested; and
- h. Additional application information which may be requested by the permitting department and may include, but is not limited to, the following: geotechnical studies, hydrologic studies, critical area studies, noise studies, air quality studies, visual analysis and transportation impact studies.
- i. One copy of the predevelopment conference notes (if applicable); and
- j. One copy of the notification district map, if required.

2. Contents of Preliminary Short Plat Map

The preliminary short plat shall be prepared by a land surveyor and shall show the following:

- a. Plat name and the name of any subdivision to be replatted.
- b. The name, mailing address and phone number of the owner and the person with whom official contact should be made regarding the application.
- c. Surveyor's name, mailing address, and phone number.
- d. Legal description.
- e. Section, township, and ~~((rang))~~ range
- f. Vicinity map.
- g. North arrow, scale and date.
- h. Datum plane.
- i. Acreage.
- j. Number of lots, proposed density, and number of housing units.
- k. Zoning designation.
- l. The boundary lines of the proposed subdivision.
- m. City limits and section lines.
- n. Park or open space (if proposed).
- o. Existing topography at two-foot maximum interval.
- p. The boundaries and approximate dimensions of all blocks and lots, along with the following information:
 - i. the numbers proposed to be assigned each lot and block;
 - ii. the dimensions, square footage, and acreage of all proposed lots and tracts; and
 - iii. for residential lots zoned R1 or R2, the ~~((proposed Middle Housing types, included single-unit detached houses, and))~~ total number of proposed units on ~~((all))~~ each proposed ~~((lots))~~ lot.
- q. Proposed names of streets.
- r. The location and widths of streets, alleys, rights-of-way, easements (both public and private), turn around and emergency access, parks and open spaces.
- s. Conditions of adjacent property, platted or unplatted, and if platted, giving the name of the subdivision. If the proposed short plat is the subdivision of a portion of an existing plat, the approximate lines of the existing plat are to be shown along with any and all recorded covenants and easement
- t. The names and address of the record owners and taxpayers of each parcel adjoining the subdivision.
- u. Indicate any street grades in excess of eight percent.
- v. The location and, where ascertainable, sizes of all permanent buildings, wells, wellhead protection areas, sewage disposal systems, water courses, bodies of water, flood zones, culverts,

bridges, structures, overhead and underground utilities, railroad lines, and other features existing upon, over or under the land proposed to be subdivided, and identifying any which are to be retained or removed.

- w. Proposed one-foot strips for right-of-way conveyed to the City, in cases where a proposed public street or alley abuts unplatted land.
- x. If a body of water forms the boundary of the plat, the ordinary high water mark as defined in chapter 90.58 RCW.
- y. Critical areas as defined in chapters 17E.020, 17E.030, 17E.070 and 17G.030 SMC.
- z. Significant historic, cultural or archaeological resources; and
- aa. If the proposal is located in an irrigation district, the irrigation district name.

C. Review of Preliminary Short Plat

1. The application shall be reviewed in accordance with the procedures set forth in chapter 17G.061 SMC for a Type II application, except an application that meets the requirements for minor engineering review as provided in subsection (2) of this section shall be excluded from the public notice requirements contained in SMC 17G.06210 and public comment period under SMC 17G.061.220.
2. Minor Engineering Review.
 - a. A preliminary short plat application may qualify for a Minor Engineering Review if it meets all of the following conditions:
 - i. The application is categorically exempt from chapter 43.21C RCW (SEPA);
 - ii. There is direct water and sewer main lot frontage on an existing and improved public right-of-way;
 - iii. No extensions of public water, sewer, or other utility services will be needed;
 - iv. No public easements for water, sewer, or other utility service exists on the lot;
 - v. The lot is not situated in a Special Drainage District as defined in SMC 17D.060.130; and
 - vi. Public utility mains do not exist on the lot.
 - b. The City Engineer is authorized to (~~((waiver))~~) waive conditions ii through vi of (~~((the subsection))~~) subsection (a) if the application substantially meets the intent of the Minor Engineering Review.

D. Public Notice And Public Comment.

All public notice of the application and opportunities for public comment shall be given in accordance with the procedures set forth in chapter 17G.061 SMC for a Type II application.

1. Exceptions.

- a. A short plat that meets the requirements of Minor Engineering Review as provided in subsection (C)(2) of this section shall not require a notice of application.
- b. A short plat that is categorically exempt from SEPA and results in four or fewer lots shall not require a posted or signed notice of application.

E. Preliminary Short Plat Approval Criteria.

Prior to approval of a short plat application, the director shall find the application to be in the public use and interest, conform to applicable land use controls and the comprehensive plan of the City, and the approval criteria set forth in chapter 17G.061 SMC. The director has the authority to approve or disapprove a proposed preliminary short plat under the provisions of this chapter, subject to appeal as provided in chapters 17F.050 and 17G.061 SMC.

F. Final Short Plat Review Procedure

1. The subdivider shall submit to the director for review the following:

- a. A final short plat, prepared by a registered land surveyor licensed in the state of Washington, consistent with the approved preliminary short plat.
- b. A title report less than thirty days old confirming that the title of the lands as described and shown on said plat is in the name of the owners signing the certificate or instrument of dedication.
- c. Covenants, conditions and restrictions, if applicable; and
- d. Fees pursuant to chapter 8.02 SMC.

2. Within thirty days, unless the applicant has consented to a longer period of time, of receipt of a proposed final short plat, the director shall review the plat for conformance with all conditions of the preliminary short plat approval, the requirements of this chapter and that arrangements have

been made to insure the construction of required improvements. If all such conditions are met, the director shall approve the final short plat and authorize the recording of the plat. If all conditions are not met, the director shall provide the applicant in writing a statement of the necessary changes to bring the final short plat into conformance with the conditions.

- a. If the final short plat is required to be resubmitted, the subdivider is required to provide the following:
 - b. A cover letter addressing the corrections, additions or modifications required.
 - c. Title report no older than thirty days from issuance of a title company conforming that the title of the lands as described and shown on said plat is in the name of the owners signing the certificate or instrument of dedication; and
 - d. The required number of copies of the corrected final short plat map.
3. If the final short plat is approved, the surveyor causes the plat to be signed by the Spokane county treasurer and file of record with the Spokane county auditor. The surveyor is required to file the appropriate number of mylar and bond copies of the recorded short plat with the director.

G. Final Short Plat Map Requirements

The subdivider shall submit to the director a final short plat in the same form and with the same content as the preliminary short plat, as provided in subsections (B)(1) and (2) of this section, with the following exceptions or additional requirements:

1. A final short plat shall contain all the information required of the preliminary plat, except the following:
 - a. Show existing buildings.
 - b. Show existing utility lines and underground structures.
 - c. Show the topographical elevations; or
 - d. Contain the names and addresses of adjoining landowners.
2. The final short plat shall include the following:
 - a. Surveyor's certificate, stamp, date and signature, as follows:
The following land surveyor's certificate to be shown on each sheet of the plat: "I, _____ registered land surveyor, hereby certify the plat of _____, as shown hereon, is based upon

actual field survey of the land described and that all angles, distances, and courses are correctly shown and that all non fronting lot corners are set as shown on the plat. Monuments and fronting lot corners shall be set upon completion of the utility and street improvements.

Signed _____(Seal)"

b. A certification by the city treasurer, as applicable:

- i. "I hereby certify that the land described by this plat, as of the date of this certification, is not subject to any local improvement assessments. Examined and approved, this _____ day of _____, 20__.

City of Spokane Treasurer"

- ii. "I hereby certify that the land described by this plat, as of the date of this certificate, is not subject to any delinquent local improvement assessment. Future installments, if any, shall remain due and payable and it shall be the responsibility of the owners to initiate the segregation of the LID assessment. Examined and approved, this ____ day of _____, 20__.

City of Spokane Treasurer"

- iii. "A preliminary local improvement assessment exists against this property. It shall be the responsibility of the owner's to initiate the segregation of the LID assessment. After this assessment is finalized, it shall be due and payable. Examined and approved this _____ day of _____, 20__.

City of Spokane Treasurer"

c. The certification by the planning director, as follows:

"This plat has been reviewed on this _____ day of _____, 20__ and is found to be in full compliance with all the conditions of approval stipulated in the Hearing Examiner's/Planning Director's approval of the preliminary plat # - -PP/SP.

City of Spokane Planning Director”

- d. The certification by the city engineer, as follows:

“Approved as to compliance with the survey data, the design of public works and provisions made for constructing the improvements and permanent control monuments this _____ day of _____, 20__.

City of Spokane Engineer”

- e. The certification by the Spokane county treasurer, as follows:

“I hereby certify that the land described in this plat, as of the date of this certification, is not subject to any outstanding fees or assessments. Examined and approved _____ day of _____, 20__.

Spokane County Treasurer”

- f. The certification by the Spokane county auditor on each page of the final short plat including the time, date, book and page number of the recording of the final mylar.

- g. Signature of every owner certifying that:

- i. the plat is made with the free consent and in accordance with the desires of the owners of the land;
- ii. the plat is made with the free consent and in accordance with the desires of the owners of the land;
- iii. the owners are the owners of the property and the only parties having interest in the land and is not encumbered by any delinquent taxes or assessments;
- iv. the owners adopt the plan of lots, blocks and streets shown;
- v. owner dedicates to the City and the City’s permittees the easements shown for utilities and cable television purposes;
- vi. owner dedicates to the City the streets, alleys and other public places, including slope and construction easements and waives all claims for damages against any governmental authority including, without limitation, the City which may be occasioned to the adjacent land by the establishment,

- construction, drainage and maintenance of any public way so dedicated; and
- vii. owner conveys to the City as general City property the buffer strips adjoining unplatted property.

h. The drawing shall:

- i. be a legibly drawn, printed or reproduced permanent map;
- ii. if more than one sheet is required, each sheet shall show sheet numbers for the total sheets;
- iii. have margins that comply with the standards of the Spokane county auditor;
- iv. show in dashed lines the existing plat being replatted, if applicable;
- v. show monuments in accordance with SMC 17G.080.020(H)(1);
- vi. include any other information required by the conditions of approval; and
- vii. include any special statements of approval required from governmental agencies, including those pertaining to flood hazard areas, shorelines, critical areas and connections to adjacent state highways.

H. Filing.

Once the final plat has been reviewed, approved and signed by the applicable departments, the applicant shall file the final short plat with the county auditor within ten days of approval. No permits shall be issued for a proposed lot until the required conformed copies of the short plat have been submitted to the planning services department.

I. Redivision.

No land within the boundaries of a short subdivision may be further divided in any manner which will create additional lots within a period of five years except by subdivision in accordance with SMC 17G.080.050.

Section 20. That Section 17G.080.065 SMC is amended to read as follows:

Section 17G.080.065 Unit Lot Subdivisions

A. Purpose.

The purpose of these provisions is to allow for the more flexible creation of lots of varying sizes and types, including for attached housing, cottage housing, and similar developments with multiple dwelling units on a parent site, while applying only those site development standards applicable to the parent site as a whole, rather than to individual lots resulting from the subdivision.

B. Applicability.

A unit lot subdivision creates a relationship between the parent site and each lot created, referred to as a “child” lot.

1. Unit Lot Subdivisions are allowed for all residential development on parent sites of two acres or less in zones that allow residential development. Subdivisions with a commercial or other non-residential use seeking similar flexibility must be approved through another platting action under chapter 17G.080 SMC.
2. A ~~((unit lot subdivision))~~ Unit Lot Subdivision may be used in any development with two or more dwelling units meeting the standards of this section.
3. A ~~((unit lot subdivision))~~ Unit Lot Subdivision may also be used to subdivide an existing or planned accessory dwelling unit from the principal structure, subject to the additional standards in subsection ~~((F))~~ (G) of this section.
4. A ~~((unit lot subdivision))~~ Unit Lot Subdivision may be combined with a subdivision or short subdivision so long as the portion of the development utilizing this section meets the ~~((requirements))~~ standards of this section and the additional requirements of subsection (E).

C. Application Procedure.

Unit ~~((lot subdivisions))~~ Lot Subdivisions resulting in nine or fewer lots shall be processed as short plats and all others shall be processed as subdivisions according to the associated permit types in chapter 17G.061 SMC.

D. General Regulations.

1. ~~((A unit lot subdivision shall meet development standards applicable to the parent lot's zoning, including but not limited to))~~ The parent site as a whole shall meet all applicable development standards with respect to its surroundings, including but not limited to:
 - a. Setbacks;

- b. ~~((Lot-size))~~ Building coverage;
- c. Design standards;
- ~~((e))~~d. ~~((Building))~~ Street frontage; and
- ~~((d))~~e. ~~((Floor-area ratio))~~ Density;

2. So long as the parent site meets the applicable standards as a whole, each child lot may deviate from site development standards including but not limited to:

- a. Setbacks;
- b. Building coverage;
- c. Street frontage; and
- d. Density.

~~((2))~~3. All buildings shall meet all applicable provisions of the building and fire code;

~~((3))~~4. Lots created through a ~~((unit lot subdivision))~~ Unit Lot Subdivision shall be subject to all applicable requirements of Title 17 SMC, except as otherwise modified by this section;

~~((4))~~5. Each child lot's area and width for purposes of subdivision may be as small as the footprint of the building situated upon it, subject to the requirements of the building and fire code;

~~((5))~~6. Portions of the parent site ~~((not subdivided for child lots))~~ designated for common use shall be identified as Tracts or other common space and owned in common by the owners of the child lots or a larger collective organization. For example, a homeowners association comprised of the owners of the child lots located within the parent site. This requirement shall be included in deed restrictions as required in subsection ~~((E))~~ (F) of this section;

~~((6))~~7. The parent site and each child lot shall make adequate provisions for ingress, egress, and utility access to and from each lot created by reserving such common areas or other easements over and across the parent site as deemed necessary to comply with all other design and development standards generally applicable to the underlying site development plan.

~~((7))~~8. Separation requirements for utilities ~~((must))~~ shall be met.

~~((8))~~9. Driveways providing vehicle access to lots shall not serve more than nine (9) units unless approved by the City Engineer.

E. Combining with Other Platting Types.

When combined with another platting type, the following additional requirements apply:

1. A parent site within a larger subdivision is defined as the contiguous acreage identified for use of the Unit Lot Subdivision rules.
2. The plat shall identify and delineate all parent sites where Unit Lot Subdivision rules are to be applied.
3. A subdivision may include multiple parent sites. The aggregate size of all parent sites shall not exceed two acres.

((E))E. Recording.

1. The plat recorded with the county auditor's office shall include the following:
 - a. Access easements, joint use and maintenance agreements, and covenants, conditions, and restrictions identifying the rights and responsibilities of property owners and/or the homeowners association for use and maintenance of common garage, parking and vehicle access areas; on-site recreation; landscaping; utilities; common open space; exterior building facades and roofs; and other similar features.
 - b. A note that approval of the subdivision was granted by the review of the site as a whole (stating the subject project file number if applicable);
 - c. A note that subsequent platting actions, additions or modifications to the structure(s) may not create or increase any nonconformity of the parent site as a whole, and shall conform to the approved site development plan;
 - d. A note stating that if a structure or portion of a structure has been damaged or destroyed, any repair, reconstruction or replacement of the structure(s) shall conform to the approved site development plan;
 - e. A note that additional development of the individual lots may be limited as a result of the application of development standards to the parent ~~((sit))~~ site.
2. The legal description of each lot shall identify it as part of a unit lot subdivision.

((F))G. Accessory Dwelling Units.

A lot with an accessory dwelling unit may be subdivided under this section with the following additional requirements:

1. ~~((All utility lines for the accessory dwelling unit must branch from a common line on a portion of the parent site owned in common.))~~ Utility lines may cross property lines internal to the development provided that easements are placed to preserve access and protect them.
2. The plat recorded with the county auditor's office shall further specify the following:
 - a. The child lot that is associated with the accessory dwelling unit;
 - b. That the child lot associated with the accessory dwelling unit is subject to any and all additional regulations of an accessory dwelling unit under the Spokane Municipal Code.
3. The legal description of a lot for an accessory dwelling unit shall identify the lot as an accessory dwelling unit within a ~~((unit lot subdivision))~~ Unit Lot Subdivision.

Passed the City Council _____

Council President

Attest:

Approved as to form:

City Clerk

Assistant City Attorney

Mayor

Date

Effective Date: _____

Exhibit A

Plan Commission Findings of Fact, Conclusions, and Recommendations

Exhibit B
Planning Services Staff Report

Exhibit A

Plan Commission Findings of Fact, Conclusions, and Recommendations

CITY OF SPOKANE PLAN COMMISSION
FINDINGS OF FACT, CONCLUSIONS, AND RECOMMENDATIONS
REGARDING BUILDING OPPORTUNITY FOR HOUSING (BOH) FOLLOW-UP CODE UPDATES

A recommendation of the City of Spokane Plan Commission to the City Council to approve amendments to the City's Unified Development Code. This proposal will amend sections 17A.020.060 "F" Definitions, 17C.111.205 Development Standards Tables, 17C.111.210 Density, 17C.111.220 Building Coverage and Impervious Coverage, 17C.111.235 Setbacks, 17C.111.310 Open Space, 17C.111.315 Entrances, 17C.111.320 Windows, 17C.111.325 Building Articulation, 17C.111.335 Parking Facilities, 17C.111.420 Open Spaces, 17C.111.450 Pitched Roofs, 17C.230.020 Vehicle Parking Summary Table, 17C.230.100 General Standards, 17C.230.110 Minimum Required Parking Spaces, 17C.230.120 Maximum Required Parking Spaces, 17C.230.130 Parking Exceptions, 17C.230.140 Development Standards, 17G.080.040 Short Subdivisions, 17G.080.065 Unit Lot Subdivisions.

FINDINGS OF FACT:

- A. The City of Spokane adopted a Comprehensive Plan in May of 2001 that complies with the requirements of the Growth Management Act (GMA) as set forth in RCW 36.70A.
- B. The proposed text amendments do not significantly alter the outcome and purpose of the Unified Development Code and therefore remain consistent with the City of Spokane's Comprehensive Plan.
- C. The Unified Development Code includes community goals that bears a substantial relation to public health, safety, welfare, and protection of the environment. Propose amendments to clarify or correct errors in the Unified Development Code further implement those goals.
- D. Public notice and communication began in August 2024 and included the following:
 - 1. Plan Commission workshops held on August 28, September 11, October 9, and October 23, 2024.
 - 2. Project information posted on the project website going live on October 15, 2024.
 - 3. A description of the project and SEPA status posted to the City Official Gazette on October 16, 2024.
 - 4. The issuance of a SEPA Determination of Nonsignificance for code text amendments on October 29, 2024.
 - 5. For a hearing scheduled for November 13, 2024, legal notices were published to the Spokesman Review on October 30 and November 6, 2024.

6. Description of the project and hearing posted in the PlanSpokane Newsletter on November 7, 2024.
- E. No public comment was received.
- F. On August 28, September 11, October 9, and October 23, 2024, the City of Spokane Plan Commission held workshops to discuss draft language, and review and evaluate with city staff alternatives to proposed text changes.
- G. On September 11, 2024, the Washington State Department of Commerce and appropriate state agencies were given the required 60-day notice before adoption of proposed changes to the Unified Development Code pursuant to RCW 36.70A.106.
- H. A SEPA Determination of Nonsignificance was issued by the director of Planning Services on October 29, 2024, for the proposed text amendments. No comments were received.
- I. The proposed text amendments were drafted and reviewed consistent with the requirements of RCW 36.70A.370 to assure protection of private property rights.
- J. Amendments to the Unified Development Code Title 17 are subject to the review and recommendation by the City of Spokane Plan Commission.
- K. The Plan Commission held a public hearing on November 13, 2024, to obtain public comments on the proposed amendments. No comments were received.
- L. The City of Spokane Plan commission adopts the findings and analysis set forth in the staff report prepared for the proposal.
- M. The City of Spokane Plan Commission finds that the amendment proposal and SEPA status were noticed in the City Gazette at the time of a Plan Commission workshop as required in SMC 17G.025.010(G).

CONCLUSIONS:

Based upon the draft text amendments, staff report and analysis (which is hereby incorporated into these findings, conclusions, and recommendations), SEPA review, agency and public comments received, and public testimony presented, the Spokane Plan Commission makes the following conclusions with respect to the proposed Building Opportunity for Housing Follow-Up Code Amendments:

1. The Plan Commission finds that the proposed amendments bear a substantial relation to the public health, safety, welfare, and protection of the environment pursuant to the requirements outlined in SMC 17G.025.010(G).
2. The proposed text amendments will implement the goals and policies of the City of Spokane Comprehensive Plan.

3. Interested agencies and the public have had opportunities to participate throughout the process and persons desiring to comment were given an opportunity to comment.
4. The Plan Commission finds that the proposed amendments are consistent with the applicable provisions of the Comprehensive Plan.

RECOMMENDATION:

In the matter of the ordinances pertaining to the proposed text amendments, amending the Unified Development Code of the City of Spokane.

As based on the above listed findings and conclusions, by unanimous vote of nine in favor to zero not in favor, the Spokane Plan Commission takes the following actions:

1. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17A.020.060 "F" Definitions.
2. Recommends to the Spokane City Council the **APPROVAL WITH MODIFICATIONS** of the proposed amendments to Section 17C.111.205 Development Standards Tables.
 - a. By unanimous vote of nine in favor, zero not in favor, a change to section 17C.111.205 within Table 17C.111.205-1 to remove the "Minimum lot width with driveway approach" row and update the "Minimum lot width" row to also remove "with no driveway approach." Also, replace language in Note [4] to read "Requirements for driveway approaches may prevent narrow lots with a driveway approach from achieving the minimum."
3. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.111.210 Density.
4. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.111.220 Building Coverage and Impervious Coverage.
5. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.111.235 Setbacks.
6. Recommends to the Spokane City Council the **APPROVAL WITH MODIFICATIONS** of the proposed amendments to Section 17C.111.310 Open Space.
 - a. By unanimous vote of nine in favor, zero not in favor, a change to section 17C.111.310 to correct the mention of "outdoor area" to "open space" to be consistent with the rest of the code.
7. Recommends to the Spokane City Council the **APPROVAL WITH MODIFICATIONS** of the proposed amendments to Section 17C.111.315 Entrances.
 - a. By unanimous vote of nine in favor, zero not in favor, a change to section 17C.111.315 that deals with entrances; specifically, updating the figure and inserting the following text at the end of C-1: "On a recessed entryway, the door of the entry is not required to face the street so long as the entryway has a

pedestrian walkway directly to the street and is recognizable as a building entryway.”

8. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.111.320 Windows.
9. Recommends to the Spokane City Council the **APPROVAL WITH MODIFICATIONS** of the proposed amendments to Section 17C.111.325 Building Articulation.
 - a. By unanimous vote of nine in favor, zero not in favor, a change to section 17C.111.325 dealing with the articulation to correct Figure 17C.111.325-B to state “40 FT MAX” to match the written text.
10. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.111.335 Parking Facilities.
11. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.111.420 Open Spaces.
12. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.111.450 Pitched Roofs.
13. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.230.020 Vehicle Parking Summary Table.
14. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.230.100 General Standards.
15. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.230.110 Minimum Required Parking Spaces.
16. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.230.120 Maximum Required Parking Spaces.
17. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.230.130 Parking Exceptions.
18. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17C.230.140 Development Standards.
19. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17G.080.040 Short Subdivisions.
20. Recommends to the Spokane City Council the **APPROVAL** of the proposed amendments to Section 17G.080.065 Unit Lot Subdivisions.
21. Authorizes the President to prepare and sign on the Commission’s behalf a written decision setting forth the Plan Commission’s findings, conclusions, and recommendations on the proposed amendments.

Findings of Fact, Conclusion, and Recommendation

Greg Francis
Greg Francis (Nov 20, 2024 20:12 PST)

Greg Francis, President
Spokane Plan Commission

Date: Nov 20, 2024

PC Findings and Conclusions BOH Follow-up code fixes

Final Audit Report

2024-11-21

Created:	2024-11-20
By:	Emily King (eking@spokanecity.org)
Status:	Signed
Transaction ID:	CBJCHBCAABAAWdovsNLXmPTXtFBucu7Fnb2S1bsBtXHm

"PC Findings and Conclusions BOH Follow-up code fixes" History







-  Document created by Emily King (eking@spokanecity.org)
2024-11-20 - 9:57:41 PM GMT
-  Document emailed to gfrancis@spokanecity.org for signature
2024-11-20 - 9:58:16 PM GMT
-  Email viewed by gfrancis@spokanecity.org
2024-11-21 - 4:10:50 AM GMT
-  Signer gfrancis@spokanecity.org entered name at signing as Greg Francis
2024-11-21 - 4:12:56 AM GMT
-  Document e-signed by Greg Francis (gfrancis@spokanecity.org)
Signature Date: 2024-11-21 - 4:12:58 AM GMT - Time Source: server
-  Agreement completed.
2024-11-21 - 4:12:58 AM GMT

Exhibit B
Planning Services Staff Report



STAFF REPORT

PLANNING AND ECONOMIC DEVELOPMENT SERVICES DEPARTMENT

To:	Plan Commission	
Subject:	BOH Follow Up Code Fixes	
Staff Contact:	Ryan Shea Planner II rshea@spokanecity.org	Spencer Gardner Planning Director sgardner@spokanecity.org
Report Date:	November 5, 2024	
Hearing Date:	November 13, 2024	
Recommendation:	Approval	

I. SUMMARY

The proposal amends 17A.020.060 "F" Definitions, 17C.111.205 Development Standards Tables, 17C.111.210 Density, 17C.111.220 Building Coverage and Impervious Coverage, 17C.111.235 Setbacks, 17C.111.310 Open Space, 17C.111.315 Entrances, 17C.111.320 Windows, 17C.111.325 Building Articulation, 17C.111.335 Parking Facilities, 17C.111.420 Open Spaces, 17C.111.450 Pitched Roofs, 17C.230.020 Vehicle Parking Summary Table, 17C.230.100 General Standards, 17C.230.110 Minimum Required Parking Spaces, 17C.230.120 Maximum Required Parking Spaces, 17C.230.130 Parking Exceptions, 17C.230.140 Development Standards, 17G.080.040 Short Subdivisions, and 17G.080.065 Unit Lot Subdivisions.

II. BACKGROUND

In November of 2023 the City of Spokane adopted new zoning regulations for lower-intensity residential zones. These changes, referred to as "Building Opportunity for Housing" (BOH) were intended to permanently implement the temporary changes put in place by the Building Opportunities and Choices for All program (BOCA).

BOH was a major change to The City's zoning regulations. As staff have worked with developers and property owners to implement the new regulations, some areas have been identified that need clarification or further refinement. This is an expected aspect of adopting major changes to the development code.

These corrections are intended to fix errors, clarify, and create more flexibility within the Spokane Unified Development Code (Title 17).

III. PROCESS

DEVELOPMENT CODE AMENDMENT PROCEDURE

Article III Section 21, Amendments and Repeals, of the City of Spokane Charter provides for the ability of amendments of the Charter and Spokane Municipal Code through ordinances. Title 17 is known as the Unified Development Code (UDC) and is incorporated into the Spokane Municipal Code to implement the City's Comprehensive Plan, and by reference, the requirements of the Washington State Growth Management Act (GMA). Section [17G.025.010](#) establishes the procedure and decision criteria that the City uses to review and amend the UDC. The City may approve amendments to the UDC if it is found that a proposed amendment is consistent with the provisions of the Comprehensive Plan, and bears a substantial relation to public health, safety, welfare, and protection of the environment.

Role of the City Plan Commission

The proposed text amendments require a review process set forth in Section 17G.025.010(F) SMC. The Plan Commission is responsible for holding a public hearing and forwarding its findings, conclusions, and recommendations to the City

Council. Utilizing the decision criteria in 17G.025 SMC, the Plan Commission may recommend approval, modification, or denial of the proposal.

The Plan Commission may incorporate the facts and findings of the staff report as the basis for its recommendation to the City Council or may modify the findings as necessary to support their final recommendation.

Role of City Council

The City Council will also conduct a review process considering the proposed text amendment, public comments and testimony, the staff report, and the Plan Commission’s recommendation. The final decision to approve, modify, or deny the proposed amendment rests with the City Council. Proposals adopted by ordinance after public hearings are official amendments to the Spokane Municipal Code.

COMMUNITY ENGAGEMENT

Plan Commission Workshops	August 28, 2024
	September 11, 2024
	October 9, 2024
	October 23, 2024
Project Webpage Goes Live	October 15, 2024
Project Posted in the City Gazette	October 16, 2024
SEPA Determination of Non-significance issued	October 29, 2024
Description of Project & Hearing in PlanSpokane Newsletter	November 7, 2024
Plan Commission Public Hearing	November 13, 2024

SEPA REVIEW

As outlined in Section 17G.025.010 SMC, notices of proposals to amend the UDC are distributed and interested parties should be made aware of such proposals during the Plan Commission review, including the SEPA checklist and determination. Similarly, a public notice published in the *Spokesman-Review* fourteen days prior to the Plan Commission public hearing is required.

This proposal was properly noticed pursuant to Section 17G.025.010(E). See **Exhibit B** for the SEPA Determination of Non-significance issued on October 30, 2024 for the proposed code amendments.

COMMENTS RECEIVED

- No comments were received as of November 5, 2024. All comments received between November 5, 2024 and November 13, 2024 will be forwarded to the Plan Commission prior to their public hearing.

IV. ANALYSIS

PROPOSAL DESCRIPTION

The proposed amendments are described below.

- **17A.020.060 "F" Definitions**
 - Added definitions for "Front Facade" and "Side Street Façade" to establish consistent terminology throughout Title 17.
- **17C.111.205 Development Standards Tables**
 - Clarify that projects within RMF and RHD that are exempted from the requirements of the Spokane Regional Stormwater Manual should use the impervious coverage requirements of the R1 zone.
 - Rename "outdoor area" to "open space" because some types of qualifying open space can be indoor amenities.
 - Rename "common outdoor area" to "common open space."
- **17C.111.210 Density:**
 - Change density calculation to gross area rather than net area.
 - Specify that for subdivisions in R1 and R2 zones, one lot is counted as one dwelling unit. This clarifies how minimum density requirements are met during a land use action where building plans with a defined number of units may not exist.
 - Ensure that no matter what a density calculation says, a property is allowed to have a minimum of six units (ensures compliance with [HB 1110](#)).
 - Clarify that minimum density does not apply when new construction occurs on an existing lot. This helps provide leeway for existing lower density lots. Construction occurring brings them closer to compliance to minimum density.
 - Provide guidance for how to apply minimum density for subdivisions on a property with an existing structure.
 - Small changes describing how to calculate density, including providing example calculations.
 - Current code does not require critical areas be subtracted from density calculations and states that it "may" be removed. This was inadvertently changed in a previous draft. Reverted proposed language back to remain consistent with current code and Plan Commission's recommendation to not require critical areas be deducted from the density calculation.
- **17C.111.220 Building Coverage and Impervious Coverage**
 - Removed outdated references to Floor Area Ratio (FAR) requirements.
- **17C.111.235 Setbacks**
 - Reinstate allowance for covered front porch to extend into front setback up to six feet. This was mistakenly removed during previous code changes.
- **17C.111.310 Open Space**
 - Rename from "Outdoor Areas" to "Open Space" because some types of qualifying open space may be indoor amenities.
 - Rename "common outdoor area" to "common open space."
 - Clarify that private open space must be met in whole. It can't be partially met with the remainder going to common open space.
 - Clarify how units whose open space is provided via common open space are identified.
 - Clarify how to count open space when multiple common open spaces are provided.
- **17C.111.315 Entrances**
 - Clarify that houses adjacent to a courtyard, common green, or other form of common open space can front onto the courtyard and are not required to face the street. This allows for more flexibility permitting cottage-housing style development where each unit is fronting a common courtyard.
- **17C.111.320 Windows**
 - Clarify that for living units attached to garages, the window requirement is only applicable to the part of the facade related to living unit (such as an ADU above a garage).
 - Clarify that window requirements don't apply to facades that are not visible from the street or 60' away from a street lot line. Add supporting graphics.

- Don't apply window requirements to garages. For some one-story home designs applying the garage to the window requirements was creating untenable situations where too many square feet of window was required and resulted in undesirable design alternatives.
- **17C.111.325 Building Articulation**
 - Clarify that attached houses are treated as a single building for this section. This helps prevent scenarios where attached homes separated by lot lines may have avoided these requirements.
 - Clarify exceptions for ADUs above a garage and for facades not visible from the street or 60' away from a street lot line. Add supporting graphics.
 - Adjust building modulation rules to be more flexible by:
 - increasing the width at which modulation is required (increase from 30' to 40')
 - allowing for bay windows or bump-outs to meet the requirement
 - allowing for a covered porch to meet the requirement
 - Adjust requirements for design features on long facades to be more flexible as follows:
 - increasing the width at which modulation is required (increase from 30' to 40')
 - clarify that the building modulation requirement can count towards the required design features
 - Provide specific examples to make requirements clearer.
 - Encourage consideration for incorporating historic features from nearby structures into new construction.
- **17C.111.335 Parking Facilities**
 - Clarify that garage opening requirements don't apply to facades that are not visible from the street or 60' away from a street lot line. Add supporting graphics.
 - Provide more flexibility through the following:
 - Exempting garages on corner lots that face the side street
 - Allowing a single-car garage to be even with the house instead of stepped back
 - Allowing a covered porch to count towards the step-back requirement for a garage
 - Exempting garages that are turned to face the side lot line as long as the facade meets other design standards (e.g. windows)
 - Clarifying that detached garages should not be located between the primary structure and the street, with exceptions provided for limited situations.
 - Provide limited exceptions for the 36' driveway approach separation requirement.
 - Add in exceptions to 50% garage rule allowing for multi-story narrow units with small garages on first floor per Plan Commission's recommendations.
- **17C.111.420 Open Spaces**
 - Fix inadvertent conflict in how to measure distance to a park. The measurement should occur from the property boundary.
- **17C.111.450 Pitched Roofs**
 - Repeal as it is undesirable to have this requirement be more burdensome on RMF/RHD development than what is allowed in R1/R2.
- **17C.230.020 Vehicle Parking Summary Table**
 - New table summarizing required/allowed parking amounts consistent with recent removal of all minimum parking requirements.
- **17C.230.100 General Standards**
 - Remove elements related to parking minimums per recent Council action to remove minimums.
 - Minor wording changes.
- **17C.230.110 Minimum Required Parking Spaces**
 - Remove current language and state no minimum spaces are required, consistent with recent removal of all minimum parking requirements.
- **17C.230.120 Maximum Required Parking Spaces**
 - Remove Table 17C.230.120-1 and relocate information to 17C.230.020.
- **17C.230.130 Parking Exceptions**
 - Remove Table 17C.230.130-1 and relocate information to 17C.230.020.
 - Remove elements related to parking minimums.
- **17C.230.140 Development Standards**
 - Remove language referring to City applying surfacing requirements retroactively
 - Remove Table 17C.230.140-1 and apply same dimensional requirements across all zones

- Clarify curbing requirements on private driveways to only apply adjacent to parking stalls and parking aisles
- Extend exceptions for marked parking for detached homes to apply to Middle Housing as well (per HB 1110 requirement to treat them equally)
- **17G.080.040 Short Subdivisions**
 - Clarifications to submittal requirements regarding electronic submittals.
 - Wording clarifications.
- **17G.080.065 Unit Lot Subdivisions**
 - Clarify parent site requirements.
 - Clarify that common space may be owned by an HOA that is larger than the Unit Lot portion of a development.
 - Clarify that an ADU lot may be created whether it is existing or planned.
 - Add section with requirements for combining a Unit Lot Subdivision with a regular long plat or short plat.
 - Clarify that parent sites within a larger plat are limited to 2 acres total.
 - Remove requirement for utility lines to branch from a common line.

IMPLEMENTATION OF COMPREHENSIVE PLAN GOALS AND POLICIES

Section [17G.025.010](#) SMC establishes the review criteria for text amendments to the Unified Development Code. In order to approve a text amendment, City Council shall consider the findings and recommendations of the Plan Commission along with the approval criteria outlined in the Code. The applicable criteria are shown below in *bold and italic* with staff analysis following the complete list. Review of the Comprehensive Plan goals and policies indicates that the proposal meets the approval criteria for internal consistency set forth in SMC 17G.025.010(G).

17G.025.010(G) Approval criteria

1. The proposed amendment is consistent with the applicable provisions of the comprehensive plan.

Staff Analysis: The proposed amendments do not alter the outcomes of the Unified Development Code (UDC) and therefore remains consistent with the various comprehensive plan goals of managing land use in an efficient manner. Furthermore, clarifying or correcting errors in the UDC helps further goals of transparency in government.

2. The proposed amendment bears a substantial relation to public health, safety, welfare, and protection of the environment.

Staff Analysis: The purpose of development regulations in the UDC is to provide a vehicle to implement the City's comprehensive plan, and by reference, the requirements of the Washington State Growth Management Act (GMA). The UDC includes community goals that bear a substantial relation to public health, safety, welfare, and protection of the environment and the proposed amendments to clarify or correct errors to the code language help further implement those goals.

V. DISCUSSION

The proposed text amendments clarify and correct errors within the UDC ensuring that the implementation and enforcement of the development regulations are more straightforward for City staff and provide additional flexibility for development. The amendments also provide clarity for applicants as to what is expected for land use and building applications.

VI. CONCLUSION

Based on the facts and findings presented herein, staff concludes that the requested text amendments to the Unified Development Code satisfy the applicable criteria for approval as set forth in SMC Section 17G.025.010. To comply with RCW 36.70A.370 the proposed text amendments have been evaluated to ensure proposed changes do not result in unconstitutional takings of private property.

VII. STAFF RECOMMENDATION

Following the close of public testimony and deliberation regarding conclusions with respect to the review criteria and decision criteria detailed in SMC 17G.025.010, Plan Commission will need to make a recommendation to City Council for approval or denial of the requested code amendments to the Unified Development Code.

Staff **recommends approval** of the requested text amendments to 17A.020.060 "F" Definitions, 17C.111.205 Development Standards Tables, 17C.111.210 Density, 17C.111.220 Building Coverage and Impervious Coverage, 17C.111.235 Setbacks, 17C.111.310 Open Space, 17C.111.315 Entrances, 17C.111.320 Windows, 17C.111.325 Building Articulation, 17C.111.335 Parking Facilities, 17C.111.420 Open Spaces, 17C.111.450 Pitched Roofs, 17C.230.020 Vehicle Parking Summary Table, 17C.230.100 General Standards, 17C.230.110 Minimum Required Parking Spaces, 17C.230.120 Maximum Required Parking Spaces, 17C.230.130 Parking Exceptions, 17C.230.140 Development Standards, 17G.080.040 Short Subdivisions, and 17G.080.065 Unit Lot Subdivisions.

VIII. LIST OF EXHIBITS

- A. Proposed text amendments
- B. Noticing Requirements
 - a. City Gazette Posting (10/16/24)
 - b. Signed SEPA Determination of Non-significance (10/29/24)
 - c. Newspaper Postings (10/30/24 & 11/06/24)

EXHIBIT A

Section 17A.020.060 “F” Definitions

A. Facade.

All the wall planes of a structure as seen from one side or view. ~~((For example, the front facade of a building would include all of the wall area that would be shown on the front elevation of the building plans.))~~

1. Front Facade.

The facade facing the Front Lot Line as defined in SMC 17A.020.120(T). For example, the Front Facade of a building would include all of the wall area that would be shown on the front elevation of the building plans.

2. Side Street Facade.

The facade facing a Side Street Lot Line as defined in SMC 17A.020.120(T).

B. Facade Easement.

A use interest, as opposed to an ownership interest, in the property of another. The easement is granted by the owner to the City or County and restricts the owner's exercise of the general and natural rights of the property on which the easement lies. The purpose of the easement is the continued preservation of significant exterior features of a structure.

C. Facility and Service Provider.

The department, district, or agency responsible for providing the specific concurrency facility.

D. Factory-built Structure.

1. “Factory-built housing” is any structure designed primarily for human occupancy, other than a mobile home, the structure or any room of which is either entirely or substantially prefabricated or assembled at a place other than a building site.
2. “Factory-built commercial structure” is a structure designed or used for human habitation or human occupancy for industrial, educational, assembly, professional, or commercial purposes, the structure or any room of which is either entirely or substantially prefabricated or assembled at a place other than a building site.

E. Fair Market Value.

The open market bid price for conducting the work, using the equipment and facilities, and purchase of the goods, services, and materials necessary to accomplish the development. This would normally equate to the cost of hiring a contractor to undertake the development from start to finish, including the cost of labor, materials, equipment and facility usage, transportation and contractor overhead, and profit. The fair market value of the development shall include the fair market value of any donated, contributed, or found labor, equipment, or materials.

F. Fascia Sign.

See SMC 17C.240.015.

G. Feasible (Shoreline Master Program).

1. For the purpose of the shoreline master program, means that an action, such as a development project, mitigation, or preservation requirement, meets all of the following conditions:
 - a. The action can be accomplished with technologies and methods that have been used in the past in similar circumstances, or studies or tests have demonstrated in similar circumstances that such approaches are currently available and likely to achieve the intended results;
 - b. The action provides a reasonable likelihood of achieving its intended purpose; and
 - c. The action does not physically preclude achieving the project's primary intended legal use.
2. In cases where these guidelines require certain actions, unless they are infeasible, the burden of proving infeasibility is on the applicant.
3. In determining an action's infeasibility, the reviewing agency may weigh the action's relative public costs and public benefits, considered in the short- and long-term time frames.

H. Feature.

To give special prominence to.

I. Feeder Bluff.

Or “erosional bluff” means any bluff (or cliff) experiencing periodic erosion from waves, sliding, or slumping, and/or whose eroded sand or gravel material is naturally transported (littoral drift) via a driftway to an accretion shoreform; these natural sources of beach material are limited and vital for the long-term stability of driftways and accretion shoreforms.

J. Fill.

The addition of soil, sand, rock, gravel, sediment, earth retaining structure, or other material to an area waterward of the ordinary high-water mark in wetlands, or on shorelands in a manner that raises the elevation or creates dry land.

K. Financial Guarantee.

A secure method, in a form and in an amount both of which are acceptable to the city attorney, providing for and securing to the City the actual construction and installation of any improvements required in connection with plat and/or building permit approval within a period specified by the City, and/or securing to the City the successful operation of the improvements for two years after the City’s final inspection and acceptance of such improvements. There are two types of financial guarantees under chapter 17D.020 SMC, Financial Guarantees: Performance guarantee and performance/warranty retainer.

L. Fish Habitat.

A complex of physical, chemical, and biological conditions that provide the life-supporting and reproductive needs of a species or life stage of fish. Although the habitat requirements of a species depend on its age and activity, the basic components of fish habitat in rivers, streams, ponds, lakes, estuaries, marine waters, and near-shore areas include, but are not limited to, the following:

1. Clean water and appropriate temperatures for spawning, rearing, and holding.
2. Adequate water depth and velocity for migrating, spawning, rearing, and holding, including off-channel habitat.
3. Abundance of bank and in-stream structures to provide hiding and resting areas and stabilize stream banks and beds.
4. Appropriate substrates for spawning and embryonic development. For stream- and lake-dwelling fishes, substrates range from sands and gravel to rooted vegetation or submerged rocks and logs. Generally, substrates must be relatively stable and free of silts or fine sand.

5. Presence of riparian vegetation as defined in this program. Riparian vegetation creates a transition zone, which provides shade and food sources of aquatic and terrestrial insects for fish.
6. Unimpeded passage (i.e., due to suitable gradient and lack of barriers) for upstream and downstream migrating juveniles and adults.

M. Fiveplex.

A building that contains five dwelling units on the same lot that share a common wall or common floor/ceiling.

N. Flag.

See SMC 17C.240.015.

O. Float.

A floating platform similar to a dock that is anchored or attached to pilings.

P. Flood Insurance Rate Map or FIRM.

The official map on which the Federal Insurance Administration has delineated both the areas of special flood hazards and the risk premium zones applicable to the City.

Q. Flood Insurance Study (FIS).

The official report provided by the Federal Insurance Administration that includes flood profiles, the Flood Boundary-Floodway Map, and the water surface elevation of the base flood.

R. Flood or Flooding.

1. A general and temporary condition of partial or complete inundation of normally dry land areas from:
 - a. The overflow of inland waters;
 - b. The unusual and rapid accumulation of runoff of surface waters from any source; or
 - c. Mudslides or mudflows, which are proximately caused by flooding as defined in section (1)(b) of this definition and are akin to a river of liquid and flowing mud on the surfaces of normally dry land

areas, as when earth is carried by a current of water and deposited along the path of the current.

2. The collapse or subsidence of land along the shore of a lake or other body of water as a result of erosion or undermining caused by waves or currents of water exceeding anticipated cyclical levels or suddenly caused by an unusually high water level in a natural body of water, accompanied by a severe storm, or by an unanticipated force of nature, such as flash flood or an abnormal tidal surge, or by some similarly unusual and unforeseeable event which results in flooding as defined in section (1)(a) of this definition.

S. Flood Elevation Study.

An examination, evaluation and determination of flood hazards and, if appropriate, corresponding water surface elevations, or an examination, evaluation and determination of mudslide or mudflow, and/or flood-related erosion hazards. Also known as a Flood Insurance Study (FIS).

T. Flood Insurance Rate Map (FIRM).

The official map of a community, on which the Federal Insurance Administrator has delineated both the special hazard areas and the risk premium zones applicable to the community. A FIRM that has been made available digitally is called a Digital Flood Insurance Rate Map (DFIRM).

U. Floodplain or Flood Prone Area.

Any land area susceptible to being inundated by water from any source. See "Flood or Flooding."

V. Floodplain administrator.

The community official designated by title to administer and enforce the floodplain management regulations.

W. Floodway.

1. As identified in the Shoreline Master Program:, the area that either:
 - a. The floodway is the area that either

- i. has been established in federal emergency management agency flood insurance rate maps or floodway maps; or
 - ii. consists of those portions of a river valley lying streamward from the outer limits of a watercourse upon which flood waters are carried during periods of flooding that occur with reasonable regularity, although not necessarily annually, said floodway being identified, under normal condition, by changes in surface soil conditions or changes in types or quality of vegetative ground cover condition, topography, or other indicators of flooding that occurs with reasonable regularity, although not necessarily annually.
 - b. Regardless of the method used to identify the floodway, the floodway shall not include those lands that can reasonably be expected to be protected from flood waters by flood control devices maintained by or maintained under license from the federal government, the state, or a political subdivision of the state.
2. For floodplain management purposes, the floodway is the channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation more than a designated height. Also referred to as "Regulatory Floodway."

X. Floor Area.

The total floor area of the portion of a building that is above ground. Floor area is measured from the exterior faces of a building or structure. Floor area does not include the following:

1. Areas where the elevation of the floor is four feet or more below the lowest elevation of an adjacent right-of way.
2. Roof area, including roof top parking.
3. Roof top mechanical equipment.
4. Attic area with a ceiling height less than six feet nine inches.
5. Porches, exterior balconies, or other similar areas, unless they are enclosed by walls that are more than forty-two inches in height, for fifty percent or more of their perimeter; and
6. In residential zones, FAR does not include mechanical structures, uncovered horizontal structures, covered accessory structures, attached accessory structures (without living space), detached accessory structures (without living space).

Y. Flood Proofing.

Any combination of structural and nonstructural additions, changes, or adjustments to structures which reduce or eliminate risk of flood damage to real estate or improved real property, water and sanitary facilities, structures, and their contents. Flood proofed structures are those that have the structural integrity and design to be impervious to floodwater below the Base Flood Elevation.

Z. Floor Area Ratio (FAR).

The amount of floor area in relation to the amount of site area, expressed in square feet. For example, a floor area ratio of two to one means two square feet of floor area for every one square foot of site area.

AA. Focused Growth Area.

Includes mixed-use district centers, neighborhood centers, and employment centers.

AB. Fourplex.

A building that contains four dwelling units on the same lot that share a common wall or common floor/ceiling.

AC. Frame Effect.

A visual effect on an electronic message sign applied to a single frame to transition from one message to the next. This term shall include, but not be limited to scrolling, fade, and dissolve. This term shall not include flashing.

AD. Freestanding Sign.

See SMC 17C.240.015.

AE. Frontage.

The full length of a plot of land or a building measured alongside the road on to which the plot or building fronts. In the case of contiguous buildings individual frontages are usually measured to the middle of any party wall.

AF. Functionally Dependent Water-Use.

A use that cannot perform its intended purpose unless it is located or carried out in close proximity to water. The term includes only docking facilities, port facilities that are necessary for the loading and unloading of cargo or passengers, and ship building and ship repair facilities, and does not include long term storage or related manufacturing facilities.

DRAFT

Section 17C.111.205 Development Standards Tables

Development standards that apply within the residential zones are provided in Tables 17C.111.205-1 through 17C.111.205-3.

TABLE 17C.111.205-1 LOT DEVELOPMENT STANDARDS [1]					
	RA	R1	R2	RMF	RHD
DENSITY STANDARDS					
Maximum density on sites 2 acres or less [2][3]	No maximum	No maximum	No maximum	No maximum	No maximum
Maximum density on sites larger than 2 acres [2]	10 units/acre	10 units/acre	20 units/acre	No maximum	No maximum
Minimum density [2]	4 units/acre	4 units/acre	10 units/acre	15 units/acre	15 units/acre
LOT DIMENSIONS FOR SUBDIVISIONS AND SHORT SUBDIVISIONS					
Minimum lot area	7,200 sq. ft.	1,200 sq. ft.	1,200 sq. ft.	1,200 sq. ft.	1,200 sq. ft.
Minimum lot width with no driveway approach [4]	40 ft.	15 ft.	15 ft.	15 ft.	15 ft.
Minimum lot width with driveway approach [4]	40 ft.	36 ft.	36 ft.	25 ft.	25 ft.
Minimum lot width within Airfield Overlay Zone	40 ft.	40 ft.	36 ft.	25 ft.	25 ft.
Minimum lot depth	80 ft.	80 ft.	40 ft.	N/A	N/A
Minimum lot frontage	40 ft.	Same as minimum lot width	Same as minimum lot width	Same as minimum lot width	Same as minimum lot width
MINIMUM LOT DIMENSIONS FOR UNIT LOT SUBDIVISIONS					
Minimum parent lot area	No minimum	No minimum	No minimum	No minimum	No minimum
Maximum parent lot area	2 acres	2 acres	2 acres	2 acres	2 acres
Minimum child lot area	No minimum	No minimum	No minimum	No minimum	No minimum
Minimum child lot depth	No minimum	No minimum	No minimum	No minimum	No minimum
LOT COVERAGE					

Maximum total building coverage [5][6][7]	50%	65%	80%	100%	100%
Maximum lot impervious coverage without engineer's stormwater drainage plan - not in ADC [5][8][9]	50%	60%	60%	N/A	N/A
Maximum lot impervious coverage without engineer's stormwater drainage plan - inside ADC [5][8][9]	40%	40%	40%	N/A	N/A

Notes:

[1] Plan district, overlay zone, or other development standards contained in Title 17C SMC may supersede these standards.

[2] See SMC 17C.111.210 for applicability of minimum and maximum density standards in the residential zones.

[3] Development within Airfield Overlay Zones is further regulated as described in SMC 17C.180.090, Limited Use Standards.

[4] Lots with vehicle access only from an alley are not considered to have a "driveway approach" for the purposes of this standard.

[5] Lot and building coverage calculation includes all primary and accessory structures.

[6] Building coverage for attached housing is calculated based on the overall development site, rather than individual lots.

[7] Developments meeting certain criteria relating to transit, Centers & Corridors, or housing affordability are given a bonus for building coverage. See SMC 17C.111.225 for detailed eligibility criteria.

[8] Projects may exceed impervious coverage requirements by including an engineer's drainage plan in submittals, subject to review by the City Engineer as described in SMC 17D.060.135. "ADC" means Area of Drainage Concern.

[9] Projects in the RMF and RHD zones that are exempted from review under the Spokane Regional Stormwater Manual shall follow the impervious coverage requirements of the R1 zone.

TABLE 17C.111.205-2 BUILDING AND SITING STANDARDS [1]					
	RA	R1	R2	RMF	RHD
PRIMARY BUILDINGS					
Floor area ratio	N/A	N/A	N/A	N/A	N/A
Maximum building footprint per primary building - lot area 7,000 sq. ft. or less	N/A	2,450 sq. ft.	2,450 sq. ft.	N/A	N/A
Maximum building footprint per primary building - lot area more than 7,000 sq. ft.	N/A	35%	35%	N/A	N/A

Maximum building height [2]	35 ft.	40 ft.	40 ft.	55 ft.	75 ft.
Minimum Setbacks					
Front [3]	15 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Interior side lot line - lot width 40 ft or less (([3]))	3 ft.	3 ft.	3 ft.	3 ft.	3 ft.
Interior side lot line - lot width more than 40 ft [4] [5]	5 ft.	5 ft.	5 ft.	5 ft.	5 ft.
Street side lot line – all lot widths	5 ft.	5 ft.	5 ft.	5 ft.	5 ft.
Attached garage or carport entrance from street	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.
Rear	25 ft.	15 ft.	15 ft.	10 ft.	10 ft.
ACCESSORY DWELLING UNITS					
Maximum building footprint for accessory dwelling unit - lot area 5,500 sq. ft. or less	1,100 sq. ft.	1,100 sq. ft.	1,100 sq. ft.	1,100 sq. ft.	1,100 sq. ft.
Maximum building footprint for accessory dwelling unit - lots larger than 5,500 sq. ft.	15%	15%	15%	15%	15%
Maximum building height	25 ft.	25 ft.	25 ft.	25 ft.	25 ft.
Minimum side lot line setbacks [5] [6]	Same as Primary Structure				
Minimum rear setback with alley [4] [5] [6]	0 ft.	0 ft.	0 ft.	0 ft.	0 ft.
Minimum rear setback no alley	5 ft.	5 ft.	5 ft.	5 ft.	5 ft.
OTHER ACCESSORY STRUCTURES					
Maximum lot coverage for accessory structures – lots 5,500 sq. ft. or less	20%	20%	20%	See Primary Structure	See Primary Structure
Maximum lot coverage for accessory structures – lots larger than 5,500 sq. ft.	20%	15%	15%	See Primary Structure	See Primary Structure
Maximum building height	30 ft.	20 ft.	20 ft.	35 ft.	35 ft.
Minimum side lot line setbacks [4] [5] [6]	Same as Primary Structure				
Minimum rear setback with alley	0 ft.	0 ft.	0 ft.	0 ft.	0 ft.
Minimum rear setback no alley	5 ft.	5 ft.	5 ft.	5 ft.	5 ft.
OPEN SPACE [7]					
Minimum open space per unit [8]	250 sq. ft.	250 sq. ft.	250 sq. ft.	Studio: 48 sq. ft. per unit	Studio: 48 sq. ft. per unit

				1- bedroom: 75 sq. ft. per unit 2+ bedrooms: 150 sq. ft. per unit	1- bedroom: 75 sq. ft. per unit 2+ bedrooms: 100 sq. ft. per unit Sites 20,000 sq. ft. or less: 36 sq. ft. per unit
Minimum common open space per unit as a substitute for private area - first six units	200 sq. ft.	200 sq. ft.	200 sq. ft.	Studio: 48 sq. ft. per unit 1- bedroom: 75 sq. ft. per unit 2+ bedrooms: 150 sq. ft. per unit	Studio: 48 sq. ft. per unit 1- bedroom: 75 sq. ft. per unit 2+ bedrooms: 100 sq. ft. per unit Sites 20,000 sq. ft. or less: 36 sq. ft. per unit
Minimum common open space per unit as a substitute for private area - all units after six	150 sq. ft.	150 sq. ft.	150 sq. ft.	Studio: 36 sq. ft. per unit	Studio: 36 sq. ft. per unit

				1- bedroom: 48 sq. ft. per unit	1- bedroom: 48 sq. ft. per unit
				2+ bedrooms: 48 sq. ft. per unit	2+ bedrooms: 48 sq. ft. per unit
					Sites 20,000 sq. ft. or less: 25 sq. ft. per unit

Notes:

[1] Plan district, overlay zone, or other development standards contained in Title 17C SMC may supersede these standards.

[2] Base zone height may be modified according to SMC 17C.111.230, Height.

[3] Certain elements such as covered porches may extend into the front setback. See SMC 17C.111.235, Setbacks.

[4] There is an additional angled setback from the interior side lot line. Refer to SMC 17C.111.230(C) and 17C.111.235(E) for more detail.

[5] Setbacks for a detached accessory structure and a covered accessory structure may be reduced to zero feet with a signed waiver from the neighboring property owner as specified in SMC 17C.111.240(C).

[6] Accessory structures may be subject to an additional side setback adjacent to streets as specified in 17C.111.240(C)(5).

[7] Residential units with a continuous pedestrian route as defined in SMC Section 17C.111.420(B) from the property boundary to a public park within 800 feet shall have a minimum of not more than 36 square feet of open space per unit.

[8] Common open space may be substituted for private outdoor area according to SMC 17C.111.310.

**TABLE 17C.111.205-3
DEVELOPMENT STANDARDS FOR PROPERTIES QUALIFYING FOR
DEVELOPMENT BONUS [1] [2]**

	RA	R1	R2	RMF	RHD
LOT COVERAGE					
Maximum total building coverage	N/A	80%	90%	100%	100%
PRIMARY BUILDINGS					
Floor area ratio	N/A	N/A	N/A	N/A	N/A

Maximum building footprint per primary building - lot area 7,000 sq. ft. or less	N/A	2,450 sq. ft.	2,450 sq. ft.	N/A	N/A
Maximum building footprint per primary building - lot area more than 7,000 sq. ft.	N/A	35%	35%	N/A	N/A
<p>Notes:</p> <p>[1] Standards not addressed in this table are consistent with the general standards in Tables 17C.111.205-1 and 17C.111.205-2.</p> <p>[2] Criteria to qualify for Development Bonuses is outlined in SMC 17C.111.225.</p>					

Section 17C.111.210 Density

A. Purpose.

The number of dwellings per unit of land, the density, is controlled so that housing can match the availability of public services. The use of density minimums ensures that in areas with the highest level of public services, ~~((that))~~ the service capacity is not wasted and that the City's housing goals are met.

B. Unless specifically exempted, all residential development shall meet the minimum and maximum densities provided in Table 17C.111.205-1.

~~((B))~~C. ((Calculating)) Gross Density Used.

The calculation of density for a subdivision or residential development is ~~((not area and is))~~ based on the total (gross) area of the subject property ~~((, less the area set aside for right-of-way and tracts of land dedicated for stormwater facilities. Land within a critical area (see definitions under chapter 17A.020 SMC) may be subtracted from the calculation of density. When the calculation of density results in a fraction, the density allowed is rounded up to the next whole number. For example, a calculation in which lot area, divided by minimum unit area equals 4.35 units, the number is rounded up to five units))~~.

~~((C.))~~ Maximum Density Applicability and Calculation.

~~1. The maximum density standards in Table 17C.111.205-1 shall be met only when the development site exceeds 2 acres in area. In such cases, the following apply:~~

- ~~a. If a land division is proposed, the applicant must demonstrate how the proposed lots can meet maximum density once construction is completed.~~
- ~~b. If no land division is proposed, maximum density must be met at the time of development.~~
- ~~c. Maximum density is based on the zone and size of the site. The following formula is used to determine the maximum number of units allowed on the site:
Square footage of site, less the area set aside for right-of-way and tracts of land dedicated for stormwater facilities;
Divided by maximum density from Table 17C.111.205-1;
Equals maximum number of units allowed. If this formula results in a decimal fraction, the resulting maximum number of units allowed is rounded up to the next whole number. Decimal fractions of five~~

~~tenths or greater are rounded up. Fractions less than five tenths are rounded down.~~

- ~~2. If the development site is 2 acres or less in area, the maximum density standards do not apply.~~
- ~~3. The number of units allowed on a site is based on the presumption that all site development standards will be met.~~

~~D. Minimum Density Applicability and Calculation.~~

- ~~1. The minimum density standards in Table 17C.111.205-1 shall be met under the following circumstances:~~
 - ~~a. A land division is proposed.~~
 - ~~b. In such cases, the applicant must demonstrate how the proposed lots can meet minimum density once construction is completed.~~
 - ~~c. Minimum density standards can be modified by a PUD under SMC 17G.070.030(B)(2).~~
 - ~~d. Development is proposed in the RMF or RHD zones. In such cases, minimum density must be met at the time of development.~~
- ~~2. Except as provided in subsection (3), when development is proposed on an existing legal lot in the RA, R1, or R2 zones, minimum density standards do not apply.~~
- ~~3. A site with pre-existing development may not move out of conformance or further out of conformance with the minimum density standard, including sites in the RA, R1, and R2 zones (regardless of whether a land division is proposed).~~
- ~~4. Minimum density is based on the zone and size of the site, and whether there are critical areas (see definitions under chapter 17A.020 SMC). Land within a critical area may be subtracted from the calculation of density. The following formula is used to determine the minimum number of lots required on the site:~~

~~Square footage of site, less the area set aside for right-of-way and tracts of land dedicated for stormwater facilities;~~

~~Divided by minimum density from Table 17C.111.205-1;~~

~~Equals minimum number of units required.~~

~~E. Transfer of Density.~~

~~Density may be transferred from one site to another subject to the provisions of chapter 17G.070 SMC, Planned Unit Developments.)~~

D. Critical Areas May Be Subtracted.

Land within a critical area (see definitions under chapter 17A.020 SMC) may be, but is not required to be, subtracted from the calculation of density.

E. Right-of-Way May Be Subtracted.

Land dedicated as Right-of-Way may be, but is not required to be, subtracted from a calculation of density.

F. Numbers Rounded Up.

When the calculation of density results in a fraction, the density allowed or required is rounded up to the next whole number. For example, when a calculation results in 4.35 units, the number is rounded up to five units.

G. Formula.

The following formula is used to determine the maximum number of units allowed or the minimum number of units required on the site:

Square footage of site, less any land within a critical area or dedicated to right-of-way, divided by the square footage of one acre (43,560 square feet), multiplied by the density number from Table 17C.111.205-1 equals maximum number of units allowed or minimum number of units required.

Example of determining the minimum number of units with a minimum density of 4 units/acre on a 135,036 square foot (3.1 acre) site:
(135,036 square ft / 43,560 square ft/acre) * 4 units/acre = 12.4 units
(rounded up to 13 units)

Example of determining the maximum number of units with a maximum density of 20 units/acre on a 112,400 square foot (2.58 acre) site encumbered by 21,780 square feet (0.5 acre) of Critical Areas (see Title 17E):
((112,400 square feet – 21,780 square feet) / 43,560 square ft/acre) *
20 units/acre = 41.6 units (rounded up to 42 units)

If this formula results in a decimal fraction, the resulting number of units allowed is rounded up to the next whole number.

H. Land Division in R1 or R2 Zones.

If a land division is proposed in an R1 or R2 zone, the calculation of density shall count one lot as one dwelling unit.

I. Exceptions to Maximum Density Limits.

1. Development Less Than Two (2) Acres.

If the development site excluding any land within a critical area is two (2) acres or less in area, the maximum density standards shall not apply. Proposed new Right-of-Way may also be subtracted from the development site.

2. Middle Housing Allowance.

Notwithstanding any density maximum resulting from a density calculation, any combination of Middle Housing types identified under SMC 17A.020.130(J) shall be allowed on a lot up to six total units, including Accessory Dwelling Units. Such development shall still be subject to other site development standards which may limit the total amount of achievable development on the site.

J. Exceptions to Minimum Density Requirements.

1. Construction on Existing Legal Lots.

Except as provided in subsection (K), when renovation or new construction is proposed on an existing legal lot in the RA, R1, or R2 zones, minimum density shall not apply.

2. Land Divisions with Existing Structures.

When a land division is proposed on a lot below the minimum density and with an existing dwelling unit, any new lots created shall meet these density requirements. A lot which retains an existing primary structure may continue its nonconforming density.

K. Nonconforming Situations.

A site with pre-existing development may not move out of conformance or further out of conformance with the density standards, including sites in the RA, R1, and R2 zones (regardless of whether a land division is proposed).

~~((E))~~ L. Transfer of Density.

Density may be transferred from one site to another subject to the provisions of chapter 17G.070 SMC, Planned Unit Developments.

M. Other Standards Apply.

The number of units allowed or required on a site is based on the presumption that all site development standards will be met. A calculation of maximum allowable density does not ensure the maximum number is achievable under other standards and regulations that govern site development.

Section 17C.111.220 Building Coverage and Impervious Coverage

A. Purpose.

The building coverage standards, together with ~~((the floor area ratio (FAR),))~~ height and setback standards control the overall bulk of structures. They are intended to assure that taller buildings will not have such a large footprint that their total bulk will overwhelm adjacent houses. The standards also help define the form of the different zones by limiting the amount of building area allowed on a site. Additionally, the impervious coverage standards ensure that there is adequate space on a site for stormwater infiltration.

B. Building Coverage and Impervious Coverage Standards.

The maximum combined building coverage allowed on a site for all covered structures is stated in Table 17C.111.205-1.

1. "Impervious surface" is defined in SMC 17A.020.090.
2. For development applications that submit an engineer's stormwater drainage plan pursuant to SMC 17D.060.140, total impervious coverage on a lot is not limited by this chapter, and the building coverage standards control.
3. For development applications that do not submit an engineer's stormwater drainage plan, the maximum impervious coverage standards in Table 17C.111.205-1 must be met. The impervious coverage standards vary depending on whether or not the subject site is located in an Area of Drainage Concern pursuant to SMC 17D.060.135.

~~((C. — How to Use FAR with Building Coverage.~~

~~The FAR determines the total amount of living space within a residential structure while the maximum building site coverage determines the maximum building footprint for all structures, including garages and the primary residence(s). The FAR is defined under chapter 17A.020 SMC, Definitions. FAR does not apply to Residentially zoned areas.))~~

Section 17C.111.235 Setbacks

A. Purpose.

The setback standards for primary and accessory structures serve several purposes. They maintain light, air, separation for fire protection, and access for fire fighting. They reflect the general building scale and placement of houses in the City's neighborhoods. They promote options for privacy for neighboring properties. They provide adequate flexibility to site a building so that it may be complementary to the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity. They provide room for a car to park in front of a garage door without overhanging the street or sidewalk, and they enhance driver visibility when backing onto the street.

B. Applicability.

1. Setbacks are applied to all primary and accessory structures, including Accessory Dwelling Units. Setbacks for structures are applied relative to property lines. Separation between multiple structures on a lot is governed by the requirements of Title 17F SMC. Child lots created via Unit Lot Subdivision under Section 17G.080.065 SMC are only subject to the standards of this section inasmuch as they are applied to the parent lot.
2. Additional setback requirements may be applied through other sections of Title 17C SMC, including but not limited to:
 - a. Parking areas under Chapter 17C.230 SMC
 - b. Fences under Section 17C.111.230 SMC
 - c. Signs under Chapter 17C.240 SMC

C. Front, Side, and Rear Setbacks.

The required Front, Side, and Rear Setbacks for primary and accessory structures are stated in Table 17C.111.205-2. Angled setback standards are described in SMC 17C.111.235(E) and listed in Table 17C.111.235-1.

1. Extensions into Front, Side, and Rear Building Setbacks.
 - a. Minor features of a structure such as eaves, awnings, chimneys, fire escapes, bay windows and uncovered balconies may extend into a Front, Side, Rear Setback up to twenty-four (24) inches.

- b. Bays, bay windows, and uncovered balconies may extend into the Front, Side, and Rear Setback up to twenty-four (24) inches, subject to the following requirements:
 - i. Each bay, bay window, and uncovered balcony may be up to twelve (12) feet long.
 - ii. The total area of all bays and bay windows on a building facade shall not be more than thirty percent (30%) of the area of the facade.
 - iii. Bays and bay windows that project into the setback must cantilever beyond the foundation of the building; and
 - iv. The bay shall not include any doors.

c. A covered porch without Floor Area above may extend into the front setback up to six feet (6').

D. Exceptions to the Front, Side, and Rear Setbacks.

- 1. The rear yard of a lot established as of May 27, 1929, may be reduced to provide a building depth of thirty (30) feet.

E. Angled Setbacks.

- 1. Purpose.

To help new development respond to the scale and form of existing residential areas and to limit the perceived bulk and scale of buildings from adjoining properties.

- 2. Applicability.

Angled setbacks apply in the R1 and R2 zones.

- 3. Angled Setback Implementation.

Buildings are subject to an angled setback plane as follows:

- a. Starting at a height of 25 feet, the setback plane increases along a slope of 2:1 (a rate of 2 feet vertically for every 1 foot horizontally) away from the interior side setback, up to the maximum building height in Table 17C.111.205-2. The minimum setbacks that are paired with each height measurement are provided in Table 17C.111.235-1. See Figure 17C.111.235-A for examples.

- b. No portion of the building shall project beyond the Angled Setback plane described in this subsection, except as follows:
 - i. Minor extensions allowed by SMC 17C.111.235(C)(1) may project into the Angled Setback.
 - ii. Elements of the roof structure such as joists, rafters, flashing, and shingles may project into the Angled Setback.
 - iii. Dormer windows may project into the Angled Setback if the cumulative length of dormer windows is no more than fifty percent (50%) of the length of the roof line.

Figure 17C.111.235-A. Angled Setback Plane Examples

FIGURE 17C.110.235-A: Angled Setback Plane

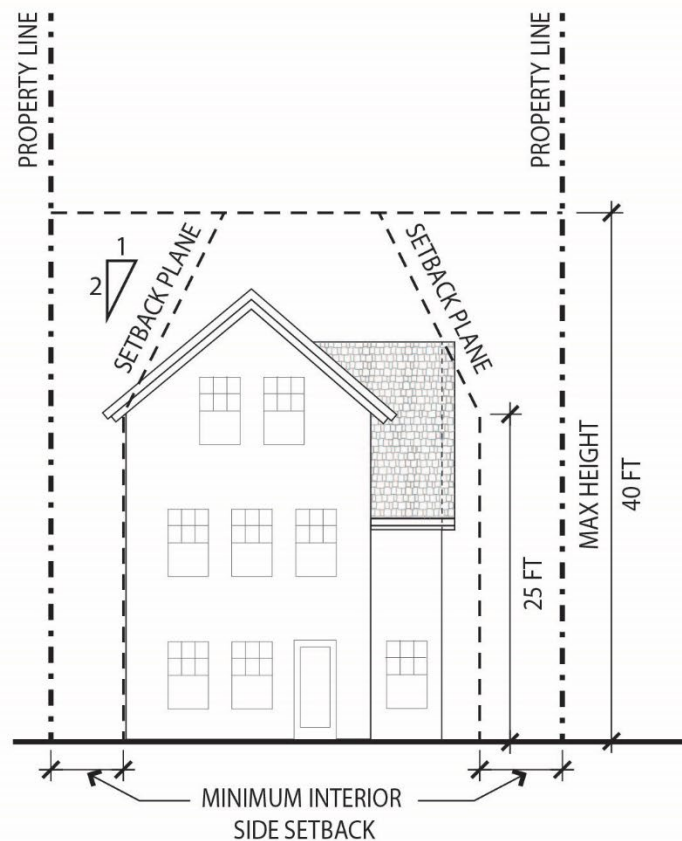


TABLE 17C.111.235-1 ROOF SETBACK FROM SIDE LOT LINE ON LOTS IN R1 and R2 ZONES	
LOT WIDTHS 40 FT. OR LESS	
Height	Setback
25 ft.	3 ft.
27 ft.	4 ft.
29 ft.	5 ft.
31 ft.	6 ft.
33 ft.	7 ft.
35 ft.	8 ft.
40 ft.	10.5 ft.
LOT WIDTHS MORE THAN 40 FT.	
Height	Setback
25 ft.	5 ft.
27 ft.	6 ft.
29 ft.	7 ft.
31 ft.	8 ft.
33 ft.	9 ft.
35 ft.	10 ft.
40 ft.	12.5 ft.

Section 17C.111.310 ~~((Outdoor Areas))~~ Open Space

A. Purpose.

To create usable areas through the use of engaging ~~((outdoor))~~ recreational spaces for the enjoyment and health of the residents.

B. ~~((Outdoor Areas))~~ Open Space Implementation.

1. Developments shall provide ~~((outdoor areas))~~ open space in the quantity required by Table 17C.111.205-2. (R)
2. The ~~((outdoor area))~~ open space may be configured as either:
 - a. A private outdoor area, such as a balcony ~~((or))~~, patio, or private yard directly accessible from the unit;
 - b. ~~((A common))~~ One or multiple ((outdoor area)) common open spaces, such as courtyards or common greens. ((accessible by all units in the building.))
3. Developments may provide a mix of private and common open space. In developments with a mix of private and common open space, each unit shall meet the full requirements for at least one type of outdoor area. Those units making use of common open space shall meet all the standards for a common open space. Those units making use of private open space shall meet all the standards for private open space. (R)
- ~~((3))~~4. If a common ((outdoor area)) open space, such as a courtyard or common green is provided, it shall meet the following:
 - a. Each courtyard, common green, or other form of common open space shall be associated with housing units for which it is providing open space. The association shall be clearly identified in submitted plans. The association shall be established through a direct pedestrian connection from the unit to the open space.
 - ~~((a))~~b. ~~((Connected))~~ Each courtyard, common green, or other form of common open space shall be connected to each associated unit by a pedestrian ((paths)) path. A pedestrian connection from a unit to an associated common open space shall not cross a parking area and shall not require walking in the opposite direction of the open space to gain access. (R)
 - ~~((b))~~c. At least 50 percent of units associated with a courtyard, common green, or other form of common open space shall have windows that face directly onto the space or doors that ((face)) provide direct access from the unit to the common ((outdoor)) area. (R)

d. In a development with multiple common open spaces, the calculation of square footage shall occur separately for each common open space based on the number of units associated with it. The reduction of square footage after six (6) units shall only apply if that common open space has more than six (6) associated units. (R)

((e))d. ~~((Common))~~ Each common ((outdoor areas)) open space shall provide at least three of the following amenities to accommodate a variety of ages and activities. Amenities may include, but are not limited to: (P)

- i. Site furnishings (benches, tables, bike racks when not required for the development type, etc.);
- ii. Picnic areas;
- iii. Patios~~((;))~~ or plazas ~~((or courtyards))~~;
- iv. Shaded playgrounds;
- v. Rooftop gardens, planter boxes, or garden plots; ~~((or))~~
- vi. Fenced pet area~~((;))~~; or
- vii. Grass or other living ground cover suitable for recreational use.

4. ~~((Outdoor))~~ Open spaces shall not be located adjacent to dumpster enclosures, loading/service, areas or other incompatible uses that are known to cause smell or noise nuisances. ~~((P))~~ (R)

Section 17C.111.315 Entrances

A. Purpose.

To ensure that entrances are easily identifiable, clearly visible, and accessible from streets, sidewalks, and common areas, to encourage pedestrian activity and enliven the street.

B. Applicability.

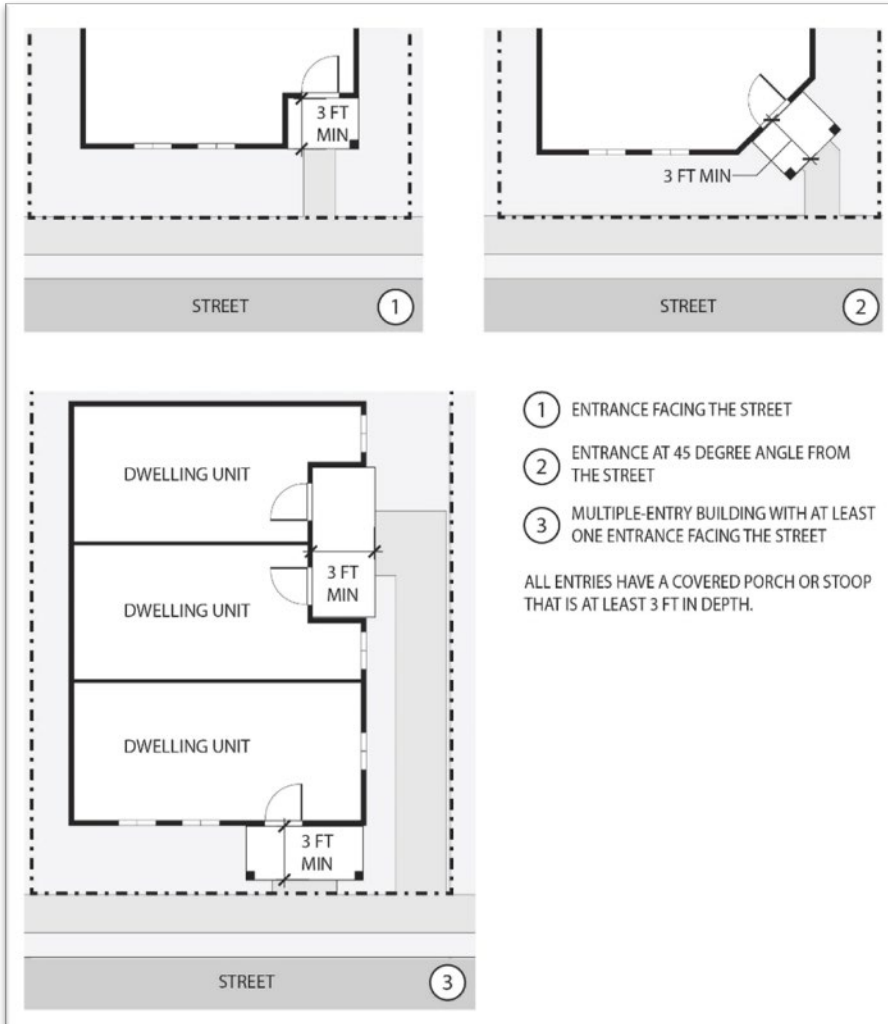
The following standards apply to all building facades that face a public or private street, except those that are separated from the street by another building.

C. Entrances Implementation.

See Figure 17C.111.315-A.

1. ~~((Each))~~ Except as provided in subsection (3), each residential structure fronting a public or private street must have at least one address and main entrance facing or within a 45 degree angle of a street frontage. Buildings with multiple units may have shared entries. (R)
2. Each unit with individual ground-floor entry and all shared entries must have a porch or stoop cover that is at least 3-feet deep. (P)
- ~~((3. — On corner lots, buildings with multiple units must have at least one entrance facing or within a 45-degree angle on each street frontage. (C)))~~
3. For a common open space, such as a courtyard or common green, directly abutting a public or private street, residential structures that abut both the common open space and the public or private street may directly face the common open space instead of facing the public or private street. (P)

Figure 17C.111.315-A. Building Entrances



Section 17C.111.320 Windows

A. Purpose.

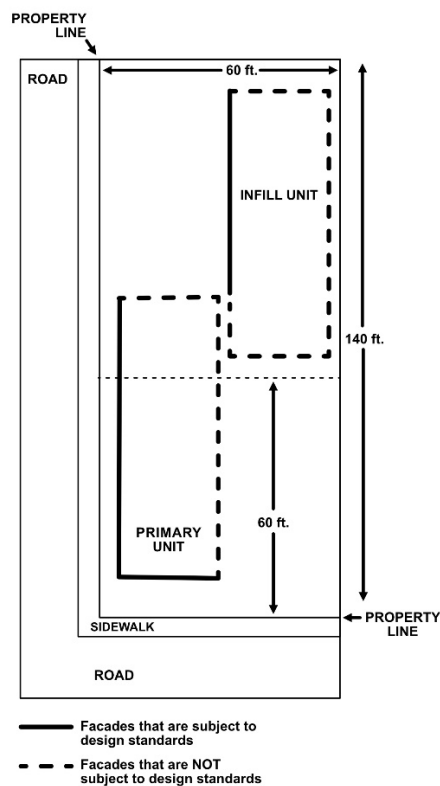
To maintain a lively and active street face while increasing safety and general visibility to the public realm.

B. Applicability.

The following standards apply to all ~~((building facades))~~ facade areas that face a public or private street and enclose floor area, ~~((except those that are separated from the street by another building.))~~ with the following exceptions:

1. When a façade or portion of the façade is not visible from a public or private street or further than 60' away from a street lot line. See Figure 17C.111.320-A.
2. For garages attached to living units, this section does not apply to the portion of the facade associated with the garage.

Figure 17C.111.320-A. Façade Exemption

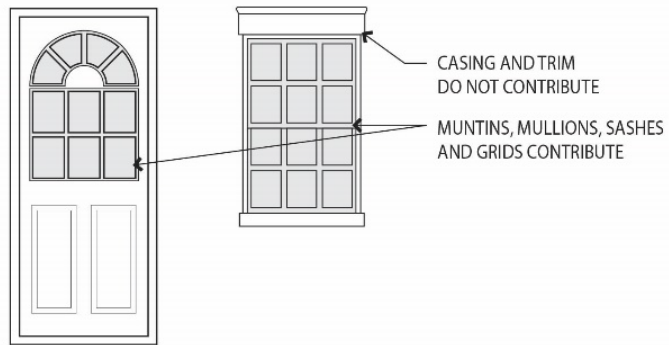
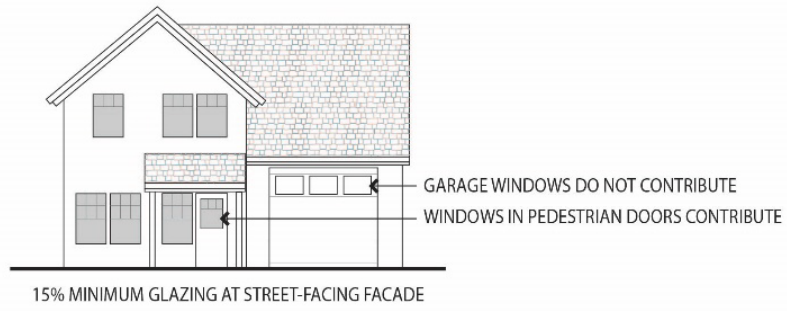


C. Windows Implementation.

See Figure 17C.111.320-((A))B.

1. Windows shall be provided in facades facing public or private streets, comprising at least fifteen percent of the facade area that encloses floor area (R).
2. Window area is considered the entire area within, but not including, the window casing, including any interior window grid.
3. Windows in pedestrian doors may be counted toward this standard. Windows in garage doors may not be counted toward this standard.
4. At least one of the following decorative window features must be included on all of the windows on street facing facades: (P)
 - a. Arched or transom windows.
 - b. Mullions.
 - c. Awnings or bracketed overhangs.
 - d. Flower boxes.
 - e. Shutters.
 - f. Window trim with a minimum width of three inches.
 - g. Pop-outs or recesses greater than three inches.
 - h. Bay windows.
 - i. Dormers.

Figure 17C.111.320-((A))B. Window Coverage



DRAFT

Section 17C.111.325 Building Articulation

A. Purpose.

To ensure that buildings along any public or private street display the greatest amount of visual interest and reinforce the residential scale of the streetscape and neighborhood.

B. Applicability.

~~((The following))~~ These standards apply to all ~~((building))~~ facades that face a public or private street ~~((, except those that are separated from the street by another building. The standards apply to facades of attached housing irrespective of underlying lot lines))~~.

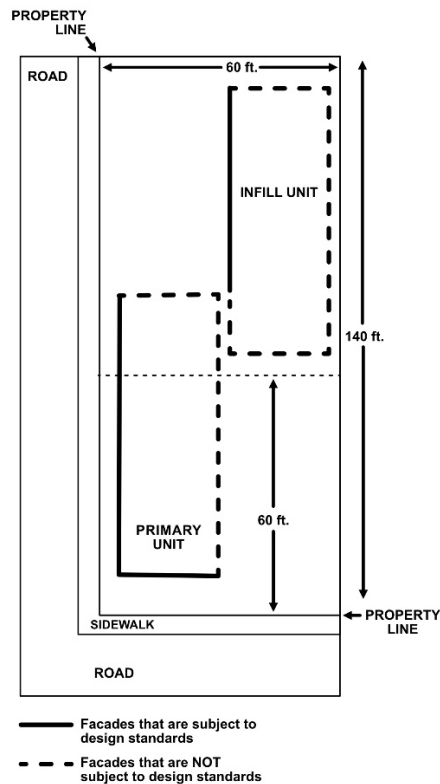
1. Attached Housing.

These standards apply to facades of attached housing. For purposes of this section, a grouping of attached houses shall be considered as a single building.

2. Exceptions.

- a. These standards do not apply when a façade or portion of façade is not visible from a public or private street or further than 60' away from a street lot line. See Figure 17C.111.325-A.
- b. These standards do not apply to a detached Accessory Dwelling Unit above a detached garage.

Figure 17C.111.325-A. Façade Exemption.



C. Building Articulation Implementation.

1. ~~((Buildings must))~~ Street-facing Facades shall be modulated along the street at least every ((thirty)) forty feet. ((Building modulations must step the building wall back or forward at least four feet. See Figure 17C.11325-A. (R)) Building modulations may be achieved in any one of the following ways. (R)
 - a. A step back or forward in the building wall of at least four feet. See Figure 17C.111.325-B.
 - b. For facades no more than two stories high, a bay window or cantilevered bump-out at least four feet (4') wide and two feet (2') deep on the ground floor.
 - c. A cantilevered bump-out at least four feet (4') wide and two feet (2') deep that extends vertically the entire height of the facade.
 - d. A covered porch at least ten feet (10') wide and six feet (6') deep.
2. The scale of buildings ~~((must))~~ shall be moderated to create a human scale streetscape by including vertical and horizontal delineation as expressed by bays, belt lines, doors, or windows. (P)

3. ~~((Horizontal street-facing facades))~~ In addition to the requirement of subsection (C)(1), street-facing Facades longer than ((thirty)) forty feet (40') ((must)) shall include at least ((four)) one of the ((following)) design features listed below, or a similar treatment, ((per façade. At least one of these features must be used)) every thirty feet (30'). For portions of a facade in excess of an increment of thirty (30), an additional feature shall be required after ten feet (10'). The modulation implemented to meet subsection (C)(1) may be counted in meeting this requirement. (P)

a. Design Features.

- ~~((a. Varied building heights.~~
- ~~b. Use of different materials.~~
- ~~c. Different colors.~~
- ~~d. Offsets.~~
- ~~e. Projecting roofs (minimum of twelve inches).~~
- ~~f. Recesses.~~
- ~~g. Bay windows.~~
- ~~h. Variation in roof materials, color, pitch, or aspect.~~
- ~~i. Balconies~~
- ~~j. Covered porch or patio.~~
- ~~k. Dormers))~~

- i. Varied building heights.
- ii. Use of different materials.
- iii. Different colors.
- iv. Offsets.
- v. Projecting roofs (minimum of twelve inches).
- vi. Recesses.
- vii. Bay windows or bump-outs.
- viii. Variation in roof materials, color, pitch, or aspect.
- ix. Balconies
- x. Covered porch or patio.
- xi. Dormers

Figure 17C.111.325-((A))B. Building Articulation for Long Facades

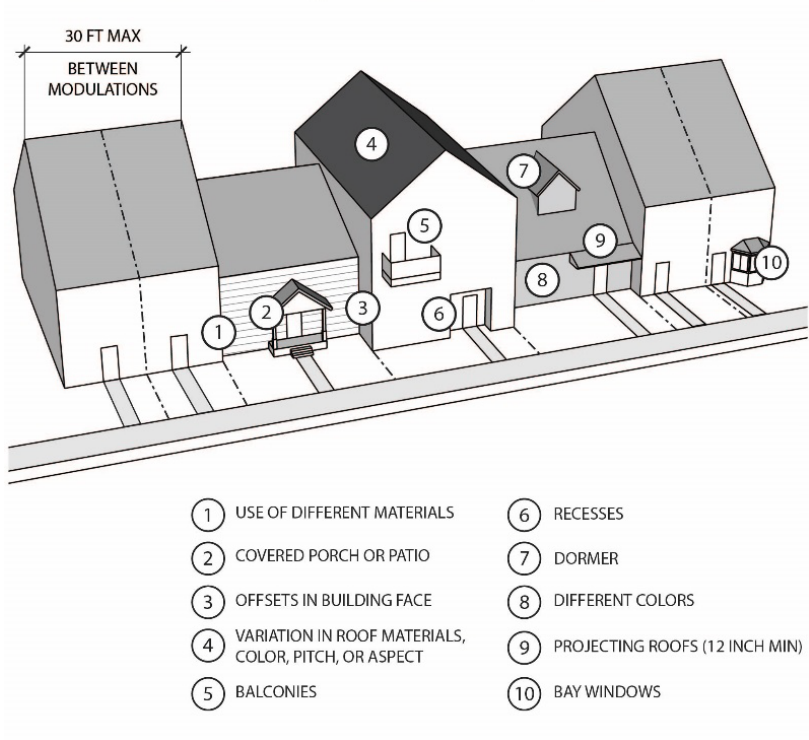


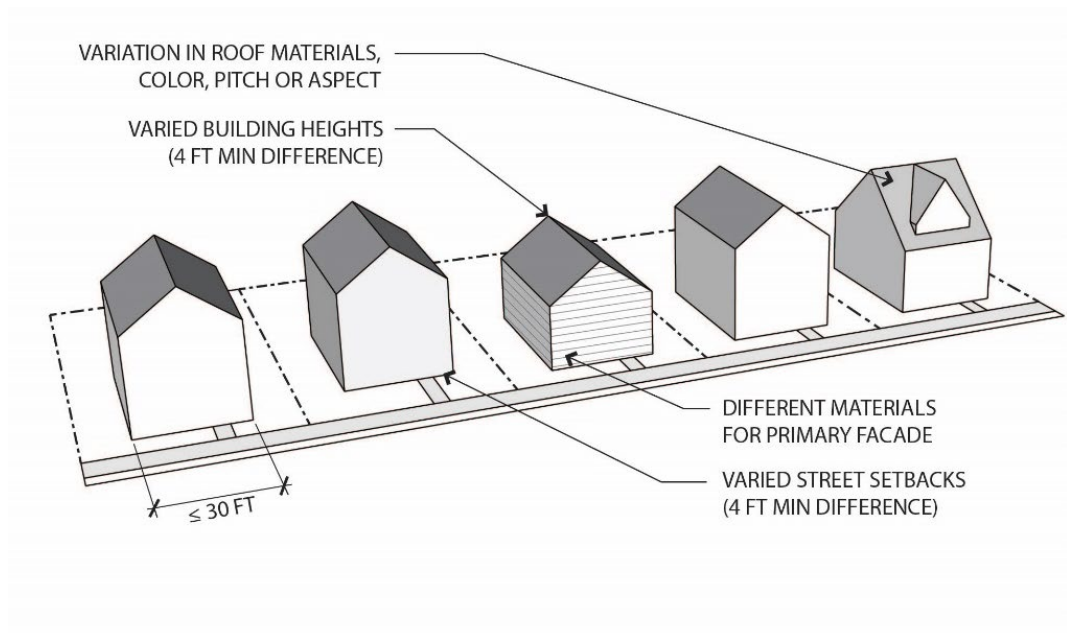
TABLE 17C.111.325-1 BUILDING ARTICULATION EXAMPLES	
<u>Street-Facing Facade Width</u>	<u>Requirements</u>
<u>35 feet</u>	<u>No modulation required</u> <u>No design features required from subsection (3)(a)</u>
<u>40 feet</u>	<u>Modulation required</u> <u>No additional design features required from subsection (3)(a)</u>
<u>45 feet</u>	<u>Modulation required</u> <u>One additional design feature required from subsection (3)(a)</u>
<u>60 feet</u>	<u>Modulation required</u> <u>One additional design feature required from subsection (3)(a)</u>
<u>70 feet</u>	<u>Modulation required</u> <u>Two additional design features required from subsection (3)(a)</u>

~~((4. The following standard applies when detached housing units or individual units of attached housing have street-facing facades that are thirty feet or less in width. Each such unit shall provide variation from adjacent units by using one or more of the following design features (see Figure 17C.111.325-B):~~

~~a. Street setbacks that differ by at least four feet.~~

- b. ~~Building heights that differ by at least four feet.~~
- c. ~~Use of different materials for the primary façade.~~
- d. ~~Variation in roof materials, color, pitch, or aspect.~~

~~Figure 17C.111.325-B. Building Variation for Narrow Facades))~~



Note: Graphic to be removed

~~((5. Development should reduce the potential impact of new housing on established and historic neighborhoods by incorporating elements and forms from nearby buildings. This may include reference to architectural details, building massing, proportionality, and use of high-quality materials such as wood, brick, and stone. (C)))~~

D. Consideration for Historic Features.

Development should reduce the potential impact of new housing on established and historic neighborhoods by incorporating elements and forms from nearby buildings. This may include reference to architectural details, building massing, proportionality, and use of high-quality materials such as wood, brick, and stone. (C)

Section 17C.111.335 Parking Facilities

A. Purpose.

To integrate parking facilities with the building and surrounding residential context, promote pedestrian-oriented environments along streets, reduce impervious surfaces, and preserve on-street parking and street tree opportunities.

B. Definitions.

1. Primary Street-Facing Facade.

a. The Primary Street-Facing Facade is the portion of the Front Facade that:

- i. is closest to the front lot line; and
- ii. encloses living space; and
- iii. is situated at ground level.

b. Projections such as bay windows or cantilevered bump-outs shall not be counted as the Primary Street-Facing Facade.

~~((B))~~C. Parking Facilities Implementation.

~~((1. The combined width of all garage doors facing the street may be up to fifty percent of the length of the street facing building facade. For attached housing, this standard applies to the combined length of the street-facing facades of all units. For all other lots and structures, the standards apply to the street-facing facade of each individual building. See Figure 17C.111.335-A. (R)))~~

1. Garage Opening Width.

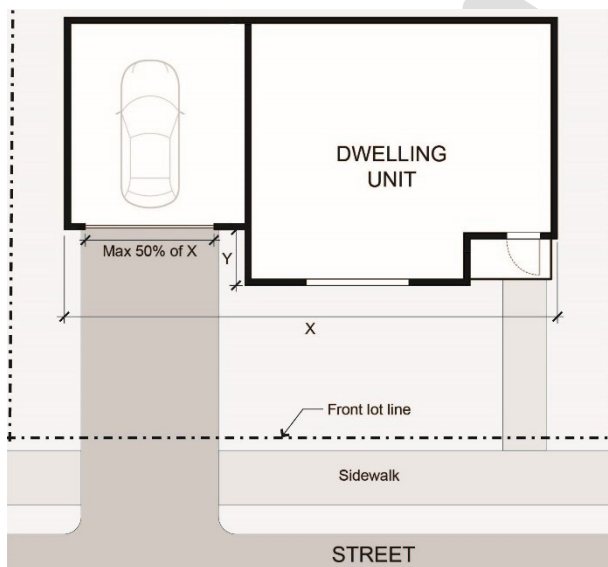
a. Width Limited.

Unless otherwise exempted within this subsection, the combined width of all garage door openings on the Front Facade shall not exceed fifty percent of the width of the Front Facade. For attached housing, this standard applies to the combined length of the Front Facades of all units. For all other lots and structures, the standards apply to the Front Facade of each individual building. See Figure 17C.111.335-A. (P)

b. Exemptions.

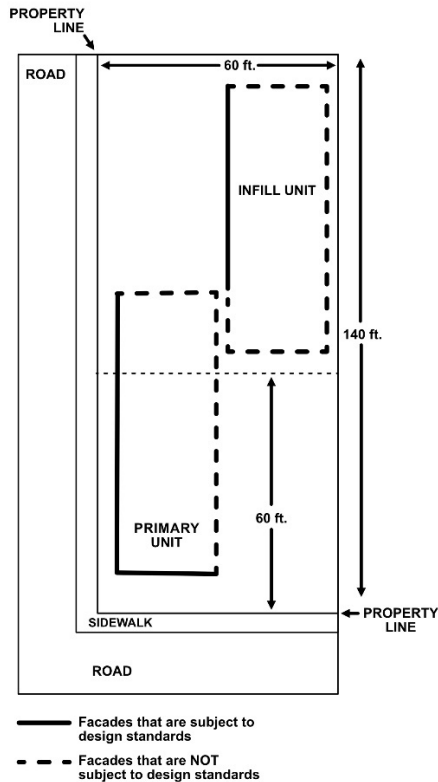
- i. The garage opening width standard does not apply to facades or portions of the facade that are not visible from a private or public street or further than sixty feet (60') away from a street lot line. See Figure 17C.111.335-B.
- ii. For attached housing units less than twenty feet (20') in width or for detached houses less than twenty feet (20') in width, a single opening of no more than ten feet (10') in width is permitted. Units meeting this exemption shall have enclosed living space above the first floor that is set back no further than the face of the garage and extends the entire width of the width of the unit.

Figure 17C.111.335-A. Garage Door Standard



X = Length of street-facing building façade
Y = 2 ft minimum setback from primary street-facing building façade

Figure 17C.111.335-B. Façade Exemption.



~~((2. Street-facing garage walls must be set back at least two feet from the primary street-facing building facade. (R)))~~

2. Garage Wall Step Back.

a. On a Front Facade with garage openings cumulatively totaling more than ten feet (10') in width, all garage openings shall be set back in one of the following ways: (R)

i. at least two feet (2') behind the Primary Street-Facing Facade; or

ii. at least two feet (2') behind the front of a covered porch that is a minimum of six feet (6') in depth and spans at least half of the Front Facade. The covered porch shall have columns, railing, or other vertical elements along the front to visually establish the edge of the porch.

b. A Front Facade with one street-facing garage opening of ten feet (10') or less in width shall be even with or set back from the Primary Street-Facing Facade. (R)

- c. A Front Facade for a garage with the opening facing the side lot line is not required to step back from the Primary Street-Facing Facade, but shall meet all other relevant design standards. (P)
- d. A grouping of attached housing units shall be considered a single building for purposes of these step back requirements.
- e. This standard does not apply to facades or portions of the façade that are not visible from a private or public street or further than 60' away from a street lot line.
- f. Waivers.

A waiver or modification of the garage wall step back may be granted by the Planning Director. The Planning Director shall consider contextual issues such as:

- i. Topography that does not allow a step back; and
- ii. An addition to an existing structure where a step back is impractical.

Merely the presence of existing structures on nearby properties with garages situated forward of the Primary Street-Facing Facade shall not be grounds for a waiver.

3. Access to Parking.

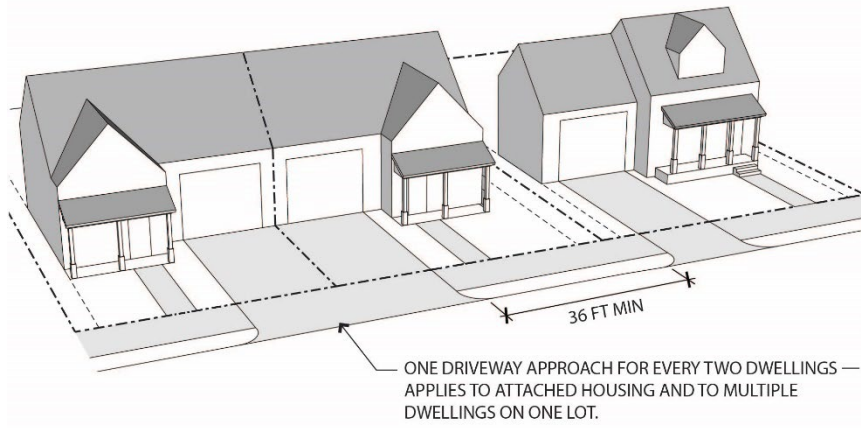
- a. Vehicular access to ~~((parking))~~ a parking area, garage, or carport shall occur only via an approved driveway approach from an alley, improved street, or easement ~~((is required if parking is required))~~ pursuant to chapter 17C.230 SMC Parking and Loading. (R)
- b. If the lot abuts a public alley, then vehicle access shall be from the alley unless the applicant requests a waiver of the requirement and the Planning Director determines that one of the following conditions exists: (R)
 - i. Existing topography does not permit alley access; or
 - ii. A portion of the alley abuts a nonresidential zone; or
 - iii. The alley is used for loading or unloading by an existing nonresidential use; or
 - iv. Due to the relationship of the alley to the street system, use of the alley for parking access would create a significant safety hazard.
- c. For lots with vehicle access through an alley, garages shall not be accessed from the street. (R)

- d. Where off-street parking is provided for attached housing or for two or more units on one lot, only one driveway approach and sidewalk crossing for each two dwellings may be permitted. See Figure 17C.111.335-~~((B))C~~. (R)
- e. Driveway approaches shall be separated by a minimum distance of 36 feet. The Planning Director ~~((will))~~ may grant an exception to this standard if ~~((the 36-foot separation from existing driveways on adjacent lots would preclude vehicular access to the subject lot))~~ one of the following conditions exist. See Figure 17C.111.335-~~((B))C~~. (R)
 - i. existing driveways on adjacent lots would preclude vehicular access to the subject lot; or
 - ii. existing topography makes shared driveway approaches infeasible; or
 - iii. development is proposed on a lot created prior to January 1, 2024 with insufficient frontage for the required separation; or
 - iv. the Planning Director determines that the conditions of the lot render an alternate form of access infeasible.
- 4. ~~((Parking structures,))~~Detached garages and detached carports~~((, and parking areas other than driveways))~~ shall not be located between the ~~((principal structure))~~ Front Facade and ~~((streets))~~ the street unless the Planning Director determines that one of the following conditions is met. (P)
 - a. The lot and primary structure existed prior to January 1, 2024 and are situated such that a garage or carport cannot reasonably be located to the side of or behind the primary structure; or
 - b. Existing topography does not permit the placement of a garage or carport to the side of or behind the proposed or existing primary structure; or
 - c. Placement of the garage or carport to the side of or behind the primary structure would create a safety hazard.

Upon meeting one of these conditions, the garage or carport shall follow all other design standards as practicable.
- 5. Parking areas shall not be located between the Front Facade and the street except for driveways that lead to an allowable vehicle parking facility. (R)

Figure 17C.111.335-~~((B))C~~. Paired Driveways and Minimum Spacing

FIGURE 17C.110.335-B: Paired Driveways and Minimum Spacing



Section 17C.111.420 Open Spaces

A. Purpose.

To create pedestrian friendly, usable areas through the use of plazas, courtyards, rooftop decks, and other open spaces for the enjoyment and health of the residents.

B. Open Spaces Implementation.

1. Minimum Required Space.

- a. Each multifamily development shall provide the minimum open space area for each living unit in the complex, including those units occupied by the owner or building management personnel, as identified in Table 17C.111.205-2. Open spaces may be provided individually, such as by balconies, or combined into a larger common open space. Developments in RMF and RHD may provide both private and common open space to meet the minimum requirement; however, each unit must provide either the full private or common open space to count towards the minimum required space. (R)
- b. Residential units with a continuous pedestrian route from the ~~((building entrance))~~ property boundary to a public park within 800 ft are not required to provide more than 36 square feet of open space per unit. For purposes of this requirement, an unsignalized crossing of a minor arterial road or greater shall not be considered a continuous pedestrian route.

2. Private Open Space.

Private open space area is typically developed for passive recreational use. Examples include balconies, patios, and private rooftop decks.

- a. Private open space must be directly accessible from the unit. (R)
- b. Private open space must be surfaced with landscaping, pavers, decking, or sport court paving which allows the area to be used for recreational purposes. (R)
- c. Private open space may be covered, such as a covered balcony, but may not be fully enclosed. (R)
- d. Berms, low walls, fences, hedges and/or landscaping shall be used to define private open spaces such as yards, decks, terraces, and patios from each other and from the street right-of-way. The

material or plantings between private open spaces shall be a maximum of four feet in height and visually permeable, such as open rails, ironwork, or trellis treatment to encourage interaction between neighbors. Material or plantings between units and right-of-way shall meet applicable fencing restrictions. (P)

3. Common Open Space.

Common open space area may be developed for active or passive recreational use. Examples include play areas, plazas, rooftop patios, picnic areas, fitness centers, pools, tennis courts, and open recreational facilities.

- a. The total amount of required common open space is the cumulative amount of the required area per dwelling unit for common areas, minus any units that provide individual open space (if provided). However, a combined required open space must comply with the minimum area and meet ADA Standards for Accessible Design.
- b. Common open space must be surfaced with landscaping, pavers, decking, or sport court paving, which allows the area to be used for recreational purposes. (R).
- c. Common open space may be covered, such as a covered patio, but may not be fully enclosed unless the open space is an equipped interior fitness area or furnished meeting space not reservable by individual residents. (R)
- d. Common open spaces with active uses used to meet these guidelines shall not be located within required buffer areas, if prohibited by critical area or shoreline regulations. (R)
- e. Common open spaces shall provide at least three of the following amenities to accommodate a variety of ages and activities. Amenities include: (P)
 - i. Site furnishings (benches, tables, bike racks)
 - ii. Picnic or outdoor grilling areas
 - iii. Patios, plazas, or courtyards
 - iv. Tot lots or other children's play areas
 - v. Enclosed pet areas that make up no more than fifty percent of the required common open space
 - vi. Community gardens accessible for use by residents
 - vii. Open lawn
 - viii. Play fields

- ix. Sports courts, such as tennis or basketball courts, and pools that make up no more than fifty percent of the required common open space
 - x. Interior equipped fitness areas that make up no more than fifty percent of the required common open space
- f. If common open spaces are located adjacent to a street right-of-way, landscaping should be used to provide a buffer between outdoor spaces and the street right-of-way. (P)
- 4. Lighting shall be provided within open spaces to provide visual interest, as well as an additional security function. Lighting should not cause off-site glare. (R)
- 5. Open spaces should not be located adjacent to dumpster enclosures, loading/service areas or other facility and/or utility enclosures. (C)

Section 17C.111.450 Pitched Roofs

[repealed]

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17C.230.020 Vehicle Parking Summary Table

Parking requirements are summarized in Table 17C.230.020-1.

TABLE 17C.230.020-1 SUMMARY OF PARKING REQUIREMENTS [1]				
RESIDENTIAL CATEGORIES				
USE CATEGORY	SPECIFIC USE	MINIMUM REQUIRED	MAXIMUM ALLOWED: CC, DOWNTOWN, FBC ZONES [2]	MAXIMUM ALLOWED: RA, R1, R2, RMF, RHD, O, OR, NR, NMU, CB, GC, INDUSTRIAL ZONES [2]
Group Living		None	CC: 4 per 1,000 sq. ft. of floor area	No maximum
Residential Household Living			Downtown: 3 per 1,000 sq. ft. of floor area FBC: 2 per 500 sq. ft. of floor area	

COMMERCIAL CATEGORIES				
USE CATEGORY	SPECIFIC USE	MINIMUM REQUIRED	MAXIMUM ALLOWED: CC, DOWNTOWN, FBC ZONES [2]	MAXIMUM ALLOWED: RA, R1, R2, RMF, RHD, O, OR, NR, NMU, CB, GC, INDUSTRIAL ZONES [2]
Adult Business		None	CC: 4 per 1,000 sq. ft. of floor area Downtown: 3 per 1,000 sq. ft. of floor area FBC: 2 per 500 sq. ft. of floor area	1 per 200 sq. ft. of floor area
Commercial Outdoor Recreation				30 per acre of site
Commercial Parking				None
Drive-through Facility				None
Major Event Entertainment				1 per 5 seats or per CU review
Office				1 per 200 sq. ft. of floor area
Quick Vehicle Servicing				1 per 200 sq. ft. of floor area
Retail Sales and Service	Retail, Personal Service, Repair- oriented			1 per 200 sq. ft. of floor area
	Restaurants and Bars			1 per 60 sq. ft. of floor area
	Health Clubs, Gyms, Lodges, Meeting Rooms and similar continuous entertainment, such as Arcades and Bowling Alleys			1 per 180 sq. ft. of floor area
	Temporary Lodging			1.5 per rentable room; for associated uses such as Restaurants, see above
	Theaters			1 per 2.7 seats or 1 per 4 feet of bench area

	Retail sales and services of large items, such as appliances, furniture and equipment			1 per 200 sq. ft. of floor area
Mini-storage Facilities				Same as Warehouse and Freight Movement
Vehicle Repair				1 per 200 sq. ft.
INDUSTRIAL CATEGORIES				
USE CATEGORY	SPECIFIC USE	MINIMUM REQUIRED	MAXIMUM ALLOWED: CC, DOWNTOWN, FBC ZONES [2]	MAXIMUM ALLOWED: RA, R1, R2, RMF, RHD, O, OR, NR, NMU, CB, GC, INDUSTRIAL ZONES [2]
Industrial Services, Railroad Yards, Wholesale Sales		None	CC: 4 per 1,000 sq. ft. of floor area	1 per 200 sq. ft. of floor area
Manufacturing and Production			Downtown: 3 per 1,000 sq. ft. of floor area	1 per 200 sq. ft. of floor area
Warehouse and Freight Movement			FBC: 2 per 500 sq. ft. of floor area	1 per 200 sq. ft. of floor area
Waste-related				Per CU review

INSTITUTIONAL CATEGORIES				
USE CATEGORY	SPECIFIC USE	MINIMUM REQUIRED	MAXIMUM ALLOWED: CC, DOWNTOWN, FBC ZONES [2]	MAXIMUM ALLOWED: RA, R1, R2, RMF, RHD, O, OR, NR, NMU, CB, GC, INDUSTRIAL ZONES [2]
Basic Utilities		None	CC: 4 per 1,000 sq. ft. of floor area Downtown: 3 per 1,000 sq. ft. of floor area FBC: 2 per 500 sq. ft. of floor area	None
Colleges				1 per 200 sq. ft. of floor area
Community Service				exclusive of dormitories, plus 1per 2.6 dorm room
Daycare				1 per 200 sq. ft. of floor area
Medical Centers				1 per 200 sq. ft. of floor area
Parks and Open Areas				1 per 200 sq. ft. of floor area
Religious Institutions				Per CU review for active areas
Schools	Grade, Elementary, Junior High			2.5 per classroom
	High School			10.5 per classroom

OTHER CATEGORIES				
USE CATEGORY	SPECIFIC USE	MINIMUM REQUIRED	MAXIMUM ALLOWED: CC, DOWNTOWN, FBC ZONES [2]	MAXIMUM ALLOWED: RA, R1, R2, RMF, RHD, O, OR, NR, NMU, CB, GC, INDUSTRIAL ZONES [2]
Agriculture		None	CC: 4 per 1,000 sq. ft. of floor area Downtown: 3 per 1,000 sq. ft. of floor area FBC: 2 per 500 sq. ft. of floor area	None or per CU review
Aviation and Surface Passenger Terminals				Per CU review
Detention Facilities				Per CU review
Essential Public Facilities				Per CU review
Wireless Communication Facilities				None or per CU review
Rail Lines and Utility Corridors				None

[1] The Planning Director may approve different amounts of parking spaces under the exceptions listed in SMC 17C.230.130.

[2] Parking provided within a parking structure is not counted towards the maximum allowed per SMC 17C.230.120(B)(2).

Section 17C.230.100 General Standards

A. ~~((Where the Standards Apply))~~ Applicability.

The standards of this chapter apply to all parking areas in ~~((RA, R1, R2, RMF, RHD, O, OR, NR, NMU, CB, GC, Downtown, CC, industrial, and FBC zones))~~ all zones, whether required by this code or put in for the convenience of property owners or users. Parking areas include those accessory to a use, part of a commercial parking use, or for a park and ride facility in the basic utilities use category. Some zoning categories have unique parking standards as provided in Table 17C.230.120-1.

~~((B. Occupancy.~~

~~All required parking areas must be completed and landscaped prior to occupancy of any structure except as provided in chapter 17C.200 SMC, Landscaping and Screening.))~~

~~((C))~~ B. ((Calculations of Amounts of Required and Allowed Parking)) Calculation.

1. When computing parking spaces based on floor area, floor area dedicated for parking is not counted.
2. The number of parking spaces is computed based on the uses on the site. When there is more than one use on a site, the required or allowed parking for the site is the sum of the required or allowed parking for the individual uses. ~~((For joint use parking, see SMC 17C.230.110(B)(2).))~~
- ~~((3. If the maximum number of spaces allowed is less than or equal to the minimum number required, then the maximum number is automatically increased to one more than the minimum.))~~
- ~~((4))~~ 3. If the maximum number of spaces allowed is less than one, then the maximum number is automatically increased to one.
- ~~((5))~~ 4. When the calculation of required or allowed parking results in a decimal fraction, the number of parking spaces required or allowed is rounded up to the next whole number.

~~((D. Use of Required Parking Spaces.~~

~~Required parking spaces must be available for the use of residents, customers, or employees of the use. Fees may be charged for the use of required parking spaces, except for group living and residential household living uses. Required parking spaces may not be assigned in any way to a use on another site, except for joint parking situations. Required parking spaces must be made available to employees; it cannot be restricted only to customers. See SMC~~

~~17C.230.110(B)(2). Also, required parking spaces may not be used for the parking of equipment or storage of goods or inoperable vehicles.~~

~~E. Proximity of Parking to Use.~~

- ~~1. Required parking spaces for all industrial and commercial zones, except center and corridor zones, must be located on the site of the use or in parking areas whose closest point is within four hundred feet of the site. In center and corridor zones, parking is required to be located within six hundred feet of the use.~~
- ~~2. Required parking spaces for uses in the RA, R1, R2, and RMF zones must be located on the site of the use. Required parking for the uses in the RHD zone must be located on the site of the use or in parking areas whose closest point is within four hundred feet of the site.~~

~~F. Stacked Parking.~~

~~Stacked or valet parking is allowed if an attendant is present to move vehicles. If stacked parking is used for required parking spaces, some form of guarantee must be filed with the City ensuring that an attendant will always be present when the lot is in operation. The requirements for minimum or maximum spaces and all parking area development standards continue to apply for stacked parking.~~

~~G. On-Street Parking.~~

~~The minimum number of required parking spaces may be reduced by the number of on-street parking spaces immediately adjacent to a site's public right-of-way frontages, located on the same side of the street. The street must be paved, with sidewalks that are ADA accessible. Each complete twenty linear foot section of right-of-way where parallel parking is permitted is considered a parking space. Where parallel, diagonal or other on-street parking is marked on the street or officially designated by other means; the number of complete parking spaces that are adjacent on the same side of the street to the site's frontage are counted. An on-street parking space shall not be counted if it is restricted in its use as a designated loading, taxi or other special use zone or if parking is prohibited for more than five hours any twenty four-hour period. When calculating the number of required bicycle parking spaces per SMC 17C.230.200, the number of vehicle off-street parking spaces that would be required before this reduction is applied is the figure that is used.))~~

~~((H))C. Curb Cuts.~~

Curb cuts and access restrictions are regulated by the City engineering services department. Other zoning standards or design ~~((guidelines))~~ standards may apply.

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Section 17C.230.110 Minimum Required Parking Spaces

~~((A.—Purpose.~~

~~The purpose of required parking spaces is to provide enough parking to accommodate the majority of traffic generated by the range of uses, which might locate at the site over time. As provided in subsection (B)(3) of this section, bicycle parking may be substituted for some required parking on a site to encourage transit use and bicycling by employees and visitors to the site. The required parking numbers correspond to broad use categories, not specific uses, in response to this long-term emphasis. Provision of carpool parking, and locating it close to the building entrance, will encourage carpool use.~~

~~B.—Minimum Number of Parking Spaces Required.~~

~~1.—The minimum number of parking spaces for all zones is stated in Table 17C.230.120-1. Table 17C.230.130-1 states the required number of spaces for use categories. The standards of Table 17C.230.120-1 and Table 17C.230.130-1 apply unless specifically superseded by other portions of the city code.~~

~~2.—Joint Use Parking.~~

~~Joint use of required parking spaces may occur where two or more uses on the same or separate sites are able to share the same parking spaces because their parking demands occur at different times. Joint use of required nonresidential parking spaces is allowed if the following documentation is submitted in writing to the planning and economic development services director as part of a building or zoning permit application or land use review:~~

- ~~a.—The names and addresses of the uses and of the owners or tenants that are sharing the parking.~~
- ~~b.—The location and number of parking spaces that are being shared.~~
- ~~c.—An analysis showing that the peak parking times of the uses occur at different times and that the parking area will be large enough for the anticipated demands of both uses; and~~
- ~~d.—A legal instrument such as an easement or deed restriction that guarantees access to the parking for both uses.~~

~~3.—Bicycle parking may substitute for up to twenty-five (25) percent of required vehicle parking. For every four (4) short-term bicycle parking spaces, the motor vehicle parking requirement is reduced by one space.~~

~~For every one (1) long-term bicycle parking space, the motor vehicle parking required is reduced by one space. Vehicle parking associated with residential uses may only be substituted by long-term bicycle parking. Existing parking may be converted to take advantage of this provision. Required bicycle parking spaces may be used to substitute for vehicle parking.~~

~~4. Existing Uses.~~

~~The off-street parking and loading requirements of this chapter do not apply retroactively to established uses; however:~~

- ~~a. the site to which a building is relocated must provide the required spaces; and~~
- ~~b. a person increasing the floor area, or other measure of off-street parking and loading requirements, by addition or alteration, must provide spaces as required for the increase, unless the requirement under this subsection is five spaces or fewer.~~

~~5. Change of Use.~~

~~When the use of an existing building changes, additional off-street parking and loading facilities must be provided only when the number of parking or loading spaces required for the new use(s) exceeds the number of spaces required for the use that most recently occupied the building. A "credit" is given for the most recent use of the property for the number of parking spaces that would be required by the current parking standards. The new use is not required to compensate for any existing deficit.~~

- ~~a. If the proposed use does not generate the requirement for greater than five additional parking spaces more than the most recent use then no additional parking spaces must be added.~~
- ~~b. For example, a non-conforming building with no off-street parking spaces most recently contained an office use that if built today would require three off-street parking spaces. The use of the building is proposed to be changed to a restaurant that would normally require six spaces. The three spaces that would be required of the existing office use are subtracted from the required number of parking spaces for the proposed restaurant use. The remainder is three spaces. Since the three new spaces is less than five spaces no off-street parking spaces would be required to be installed in order to change the use of the building from an office use to a restaurant use.~~

~~6. Uses Not Mentioned.~~

~~In the case of a use not specifically mentioned in Table 17C.230.130-1, the requirements for off-street parking shall be determined by the planning and economic development services director. If there is/are comparable uses, the planning and economic development services director's determination shall be based on the requirements for the most comparable use(s). Where, in the judgment of the planning and economic development services director, none of the uses in Table 17C.230.130-1 are comparable, the planning and economic development services director may base his or her determination as to the amount of parking required for the proposed use on detailed information provided by the applicant. The information required may include, but not be limited to, a description of the physical structure(s), identification of potential users, and analysis of likely parking demand.~~

~~C. Carpool Parking.~~

~~For office, industrial, and institutional uses where there are more than twenty parking spaces on the site, the following standards must be met:~~

- ~~1. Five spaces or five percent of the parking spaces on site, whichever is less, must be reserved for carpool use before nine a.m. on weekdays. More spaces may be reserved, but they are not required.~~
- ~~2. The spaces will be those closest to the building entrance or elevator, but not closer than the spaces for disabled parking and those signed for exclusive customer use.~~
- ~~3. Signs must be posted indicating these spaces are reserved for carpool use before nine a.m. on weekdays.))~~

A. No Minimum Required.

Except as provided herein, there is no required minimum number of off-street parking spaces.

B. Conditional Use.

A requirement to provide a minimum number of off-street parking spaces may be included as a condition in a Conditional Use permit.

Section 17C.230.120 Maximum Required Parking Spaces

A. Purpose.

Limiting the number of spaces allowed promotes efficient use of land, enhances urban form, encourages use of alternative modes of transportation, provides for better pedestrian movement, and protects air and water quality. The maximum ratios in this section vary with the use the parking ((it)) is accessory to. ~~((These maximums will accommodate most auto trips to a site based on typical peak parking demand for each use.))~~

B. Maximum Number of Parking Spaces Allowed.

Standards in a plan district or overlay zone may supersede the standards in this subsection or the amounts listed in Table 17C.230.020-1.

1. Surface Parking.

The maximum number of parking spaces allowed is stated in Table ~~((17C.230.120-1 and Table 17C.230.130-1))~~ 17C.230.020-1, except as specified in subsection (B)(2) of this section.

2. Structure Parking.

Parking provided within a building or parking structure is not counted when calculating the maximum parking allowed.

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TABLE 17C.230.120-1		
PARKING SPACES BY ZONE [1]		
(Refer to Table 17C.230.130-1 for Parking Spaces Standards by Use)		
ZONE	SPECIFIC USES	REQUIREMENT
RA, R1, R2, RMF, RHD	All Land Uses	Minimum and maximum standards are shown in Table 17C.230.130-1.
O, OR, NR, NMU, CB, GC, Industrial		
CC1, CC2, CC3, CC4 [2]	Nonresidential	There is no minimum parking requirement. Maximum ratio is 4 stalls per 1,000 gross square feet of floor area.
	Residential	There is no minimum parking requirement.

		Maximum ratio is 4 stalls per 1,000 gross square feet of floor area.
Downtown [2]	Nonresidential	There is no minimum parking requirement. Maximum ratio is 3 stalls per 1,000 gross square feet of floor area.
	Residential	There is no minimum parking requirement. Maximum ratio is 3 stalls per 1,000 gross square feet of floor area.
FBC [2]	All Land Uses	See SMC 17C.123.040, Hamilton Form Based Code for off-street parking requirements.
Overlay	All Land Uses	No off-street parking is required. See the No Off-Street Parking Required Overlay Zone Map 17C.230-M2 and No Off-Street Parking Required Overlay Zone Map 17C.230-M3.
[1] Standards in a plan district or overlay zone may supersede the standards of this table. [2] See exceptions in SMC 17C.230.130, CC and Downtown Zone Parking Exceptions.		

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Section 17C.230.130 Parking Exceptions

~~((A. Parking is not required for commercial or institutional uses.~~

~~B. The Planning Director may approve ratios that are higher than the maximum ((or lower than the minimum)) if sufficient factual data is provided to indicate that a different amount is appropriate. The applicant assumes the burden of proof. Approval of parking above the maximum shall be conditioned upon increasing the amount of required landscaping by thirty percent. ((Approval of parking below the minimum shall be conditioned upon the project contributing towards a pedestrian and transit supportive environment both next to the immediate site and in the surrounding area.)) When determining if a different amount of parking is appropriate, the Director shall consider the proximity of the site to frequent transit service, the intensity of the zoning designation of the site and surrounding sites, and the form of the proposed use.))~~

The Planning Director may approve ratios that are higher than the maximum if sufficient factual data is provided to indicate that a different amount is appropriate. The applicant assumes the burden of proof. Approval of parking above the maximum shall be conditioned upon increasing the amount of required landscaping by thirty percent. When determining if a different amount of parking is appropriate, the Director shall consider the proximity of the site to frequent transit service, the intensity of the zoning designation of the site and surrounding sites, and the form of the proposed use.

~~((C. If property owners and businesses establish a parking management area program with shared parking agreements, the Planning Director may reduce or waive parking requirements.~~

~~D. Existing legal nonconforming buildings that do not have adequate parking to meet the standards of this section are not required to provide off-street parking when remodeling which increases the amount of required parking occurs within the existing structure.~~

~~E. Attached Housing.~~

~~The following exceptions apply only to attached housing (defined in SMC 17A.020.010) in the RMF and RHD zones. Distances are measured in a straight line between the zone/overlay boundary to the lot line of the site containing the development.~~

- ~~1. On a lot at least partially within one thousand three hundred twenty feet of CC, CA, or DT zone or CC3 zoning overlay, the minimum number of off-street vehicle parking spaces required is fifty percent less than the minimum required for Residential Household Living in Table 17C.230.130-4.~~

2. ~~On a lot farther than one thousand three hundred twenty feet of a CC, CA, or DT zone or CC3 zoning overlay, the minimum number of off-street vehicle parking spaces required is thirty percent less than the minimum required for Residential Household Living in Table 17C.230.130-1.~~

F. ~~Parking is not required for residential development on sites located within one-half mile of a transit stop.~~

TABLE 17C.230.130-1 PARKING SPACES BY USE [1] (Refer to Table 17C.230.120-1 for Parking Space Standards by Zone) CU = Conditional Use			
RESIDENTIAL CATEGORIES			
USE CATEGORIES	SPECIFIC USES	MINIMUM PARKING	MAXIMUM PARKING
Group Living	-	None	None
Residential Household Living	-	None	None
COMMERCIAL CATEGORIES			
USE CATEGORIES	SPECIFIC USES	MINIMUM PARKING	MAXIMUM PARKING
Adult Business	-	None	1 per 200 sq. ft. of floor area
Commercial Outdoor Recreation	-	None	30 per acre of site
Commercial Parking	-	Not applicable	None
Drive-through Facility	-	Not applicable	None
Major Event Entertainment	-	None	1 per 5 seats or per CU review
Office	General Office	None	1 per 200 sq. ft. of floor area
	Medical/Dental Office	None	1 per 200 sq. ft. of floor area
Quick Vehicle Servicing	-	None	1 per 200 sq. ft. of floor area
Retail Sales and Service	Retail, Personal	None	1 per 200 sq. ft. of floor area

	Service,- Repair-oriented		
	Restaurants and Bars	None	1 per 60 sq. ft.- of floor area
	Health Clubs, Gyms, Lodges, Meeting Rooms and similar continuous entertainment, such as Arcades and Bowling Alleys	None	1 per 180 sq. ft.- of floor area
	Temporary Lodging	None	1.5 per rentable room;- for associated uses such as Restaurants,- see above
	Theaters	None	1 per 2.7 seats or 1 per 4 feet of bench area
	Retail sales and services of large items, such as appliances, furniture and equipment	None	1 per 200 sq. ft.- of floor area
Mini-storage Facilities	-	None	Same as Warehouse and Freight Movement
Vehicle Repair	-	None	1 per 200 sq. ft.- of floor area
INDUSTRIAL CATEGORIES			
USE CATEGORIES	SPECIFIC USES	MINIMUM PARKING	MAXIMUM PARKING
Industrial Services, Railroad Yards, Wholesale Sales	-	None	1 per 200 sq. ft.- of floor area
Manufacturing and Production	-	None	1 per 200 sq. ft.- of floor area
Warehouse and Freight Movement	-	None	1 per 200 sq. ft.- of floor area

Waste-related	-	Per CU review	Per CU review
INSTITUTIONAL CATEGORIES			
USE CATEGORIES	SPECIFIC USES	MINIMUM PARKING	MAXIMUM PARKING
Basic Utilities	-	None	None
Colleges	-	None	1 per 200 sq. ft. of floor area exclusive of dormitories, plus 1 per 2.6 dorm room
Community Service	-	None	1 per 200 sq. ft. of floor area
Daycare	-	None	1 per 200 sq. ft. of floor area
Medical Centers	-	None	1 per 200 sq. ft. of floor area
Parks and Open Areas	-	None	Per CU review for active areas
Religious Institutions	-	None	1 per 60 sq. ft. of main assembly area
Schools	Grade, Elementary, Junior High	None	2.5 per classroom
	High School	None	10.5 per classroom
OTHER CATEGORIES			
USE CATEGORIES	SPECIFIC USES	MINIMUM PARKING	MAXIMUM PARKING
Agriculture	-	None or per CU review	None or per CU review
Aviation and Surface Passenger Terminals	-	Per CU review	Per CU review
Detention Facilities	-	Per CU review	Per CU review
Essential Public Facilities	-	Per CU review	Per CU review
Wireless Communication Facilities	-	None or per CU review	None or per CU review

Rail Lines and Utility Corridors	-	None	None
[1] The Planning Director may approve different amounts of parking spaces under the exceptions listed in SMC 17C.230.130.			

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Section 17C.230.140 Development Standards

A. Purpose.

The parking area layout standards are intended to promote safe circulation within the parking area and provide for convenient entry and exit of vehicles.

B. ~~((Where These Standards Apply))~~ Applicability.

The standards of this section apply to all vehicle areas whether required or excess parking.

C. Improvements.

1. Paving.

In order to control dust and mud, all vehicle areas must be surfaced with a minimum all-weather surface. Such surface shall be specified by the city engineer. Alternatives to the specified all-weather surface may be provided, subject to approval by the city engineer. The alternative must provide results equivalent to paving. All surfacing must provide for the following minimum standards of approval:

- a. Dust is controlled.
- b. Stormwater is treated to City standards; and
- c. Rock and other debris is not tracked off-site.

The applicant shall be required to prove that the alternative surfacing provides results equivalent to paving. ~~((If, after construction, the City determines that the alternative is not providing the results equivalent to paving or is not complying with the standards of approval, paving shall be required.))~~

2. Striping.

All parking areas, except for stacked parking, must be striped in conformance with the parking dimension standards ~~((of subsection (E)))~~ of this section, except parking for ~~((single-family residences, duplexes, and accessory dwelling units))~~ Single-Unit Residential Buildings, Accessory Dwelling Units, or Middle Housing developments of no more than six units.

3. Protective Curbs Around Landscaping.

All perimeter and interior landscaped areas directly adjacent to parking aisles, parking spaces, or an abutting sidewalk must have continuous, cast in place, or extruded protective curbs along the edges. Curbs separating landscaped areas from parking areas may allow stormwater runoff to pass through them. Tire stops, bollards or other protective barriers may be used at the front ends of parking spaces. Curbs may be perforated or have gaps or breaks. Trees must have adequate protection from car doors as well as car bumpers. This provision does not apply to ~~((single family residence, duplexes and accessory dwelling units))~~ Single-Unit Residential Buildings, Accessory Dwelling Units, or Middle Housing developments of no more than six units.

D. Stormwater Management.

Stormwater runoff from parking lots is regulated by the engineering services department.

E. Parking Area Layout.

1. Access to Parking Spaces.

All parking areas, except stacked parking areas, must be designed so that a vehicle may enter or exit without having to move another vehicle.

2. Parking Space and Aisle Dimensions.

a. Parking spaces and aisles ~~((in RA, R1, R2, RMF, RHD, FBC CA4, O, OR, NR, NMU, CB, GC, and industrial zones must))~~ shall meet the minimum dimensions contained in Table 17C.230.140-1.

~~((b. Parking spaces and aisles in Downtown CC, and FBC CA1, CA2, CA3 zones must meet the minimum dimensions contained in Table 17C.230.140-2.))~~

~~((e))~~b. In all zones, on dead end aisles, aisles shall extend five feet beyond the last stall to provide adequate turnaround.

3. Parking for Disabled Persons.

The city building services department regulates the following disabled person parking standards and access standards through the building code and the latest ANSI standards for accessible and usable buildings and facilities:

a. Dimensions of disabled person parking spaces and access aisles.

- b. The minimum number of disabled person parking spaces required.
 - c. Location of disabled person parking spaces and circulation routes.
 - d. Curb cuts and ramps including slope, width and location; and
 - e. Signage and pavement markings.
4. A portion of a standard parking space may be landscaped instead of paved, as follows:
- a. The landscaped area may be up to two feet of the front of the space as measured from a line parallel to the direction of the bumper of a vehicle using the space, as shown in Figure ~~((17C.230-3))~~ 17C.230.140-1. Any vehicle overhang must be free from interference from sidewalks, landscaping, or other required elements.

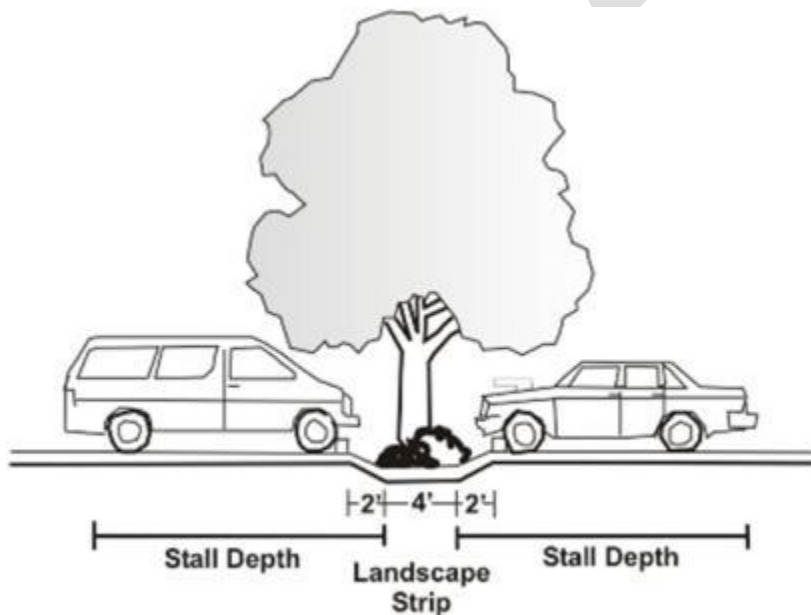


Figure 17C.230-3 Landscaped area at front of parking space

[Note: Remove image and replace with the one below]

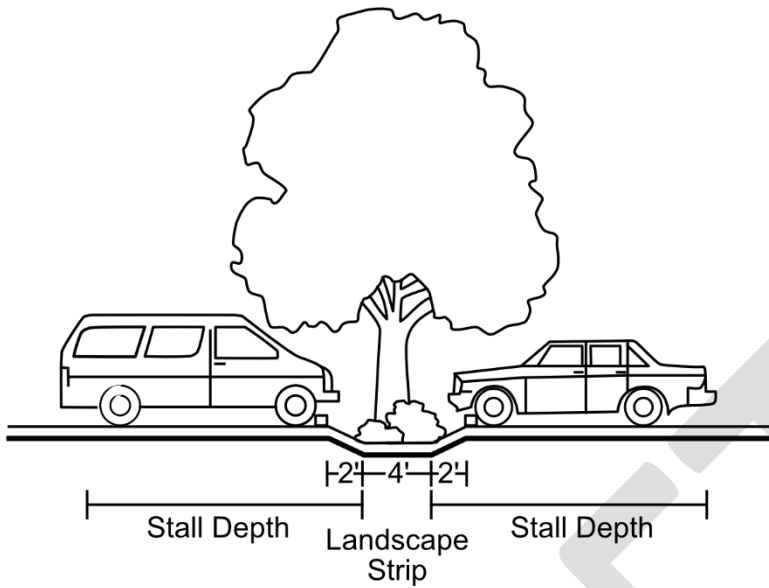


Figure 17C.230-3 Landscaped area at front of parking space

- b. Landscaping must be ground cover plants; and
- c. The landscaped area counts toward parking lot interior landscaping requirements and toward any overall site landscaping requirements. However, the landscaped area does not count toward perimeter landscaping requirements.

5. Engineering Services Department Review.

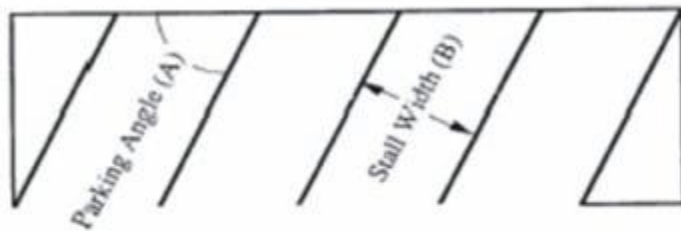
The engineering services department reviews the layout of parking areas for compliance with the curb cut and access restrictions of chapter 17H.010 SMC.

((

Table 17C.230.140-1 RA, R1, R2, RMF, RHD, FBC CA4, O, OR, NMU, CB, GC and Industrial Zones Minimum Parking Space and Aisle Dimensions [1, 2]					
Angle (A)	Width (B)	Curb Length (C)	1-way Aisle Width (D)	2-way Aisle Width (D)	Stall Depth (E)
0° (Parallel)	8 ft.	20 ft.	12 ft.	22 ft.	8 ft.
30°	8 ft. 6 in.	17 ft.	12 ft.	22 ft.	15 ft.
45°	8 ft. 6 in.	12 ft.	12 ft.	22 ft.	17 ft.
60°	8 ft. 6 in.	9 ft. 9 in.	16 ft.	22 ft.	18 ft.
90°	8 ft. 6 in.	8 ft. 6 in.	22 ft.	22 ft.	18 ft.
Notes: [1] See Figure 17C.230-4. [2] Dimensions of parking spaces for the disabled are regulated by the building code. See SMC 17C.230.140(E)(3).					

))

Table ((17C.230.140-2)) 17C.230.140-1 ((Downtown, CC, NR, FBC CA1, CA2, and CA3 Zones)) Minimum Parking Space and Aisle Dimensions [1, 2]					
Angle (A)	Width (B)	Curb Length (C)	1-way Aisle Width (D)	2-way Aisle Width (D)	Stall Depth (E)
0° (Parallel)	8 ft.	20 ft.	12 ft.	20 ft.	8 ft.
30°	8 ft. 6 in.	17 ft.	12 ft.	20 ft.	15 ft.
45°	8 ft. 6 in.	12 ft.	12 ft.	20 ft.	17 ft.
60°	8 ft. 6 in.	9 ft. 9 in.	16 ft.	20 ft.	17 ft. 6 in.
90°	8 ft. 6 in.	8 ft. 6 in.	20 ft.	20 ft.	16 ft.
Notes: (([1] See Figure 17C.230-4.)) <u>[1] See Figure 17C.230.140-2.</u> [2] Dimensions of parking spaces for the disabled are regulated by the building code. See SMC 17C.230.140(E)(3).					



Aisle (D)

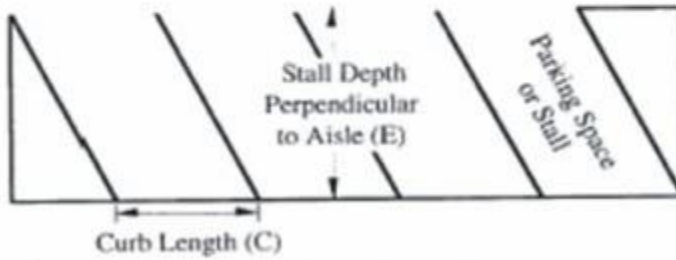
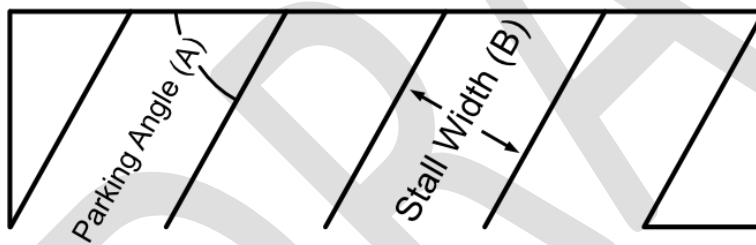


Figure 17C.230-4 Parking Dimension Factors

[Note: Remove image and replace with the one below]



Aisle (D)

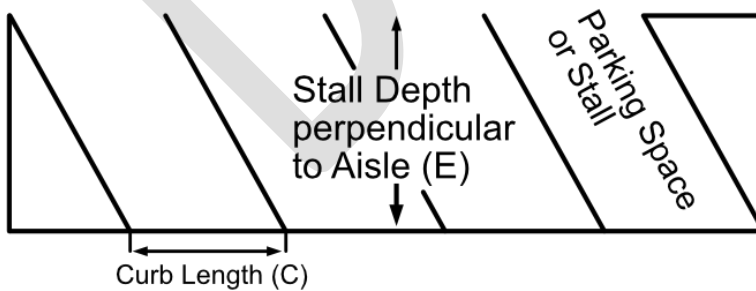
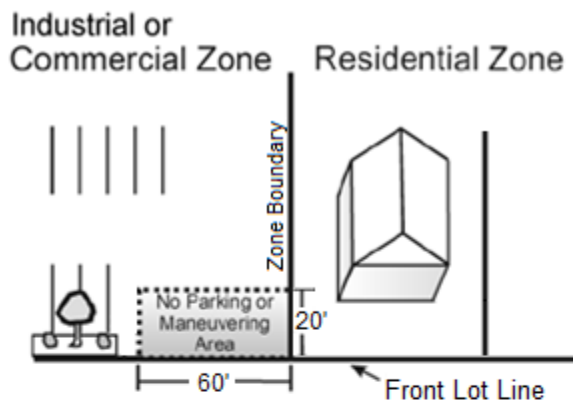


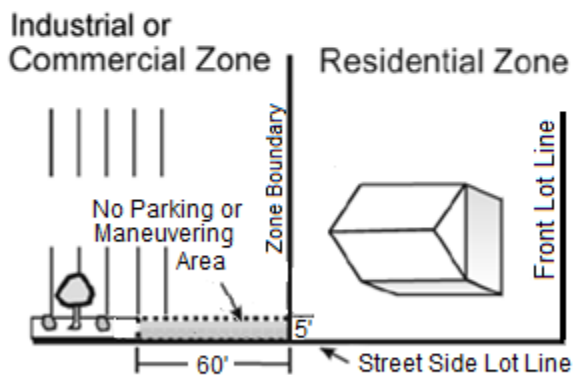
Figure 17C.230-4 Parking Dimension Factors

F. Parking Area Setbacks and Landscaping.

1. For parking areas on sites abutting residential zoning districts, parking spaces or maneuvering areas for parking spaces, other than driveways that are perpendicular to the street, are required to be setback a distance equal to the setback specified in SMC 17C.230.145(C)(1) of the adjacent residential zoning district for the first sixty feet from the zoning district boundary (Figure ((17C.230-5)) [17C.230.140-3](#)).



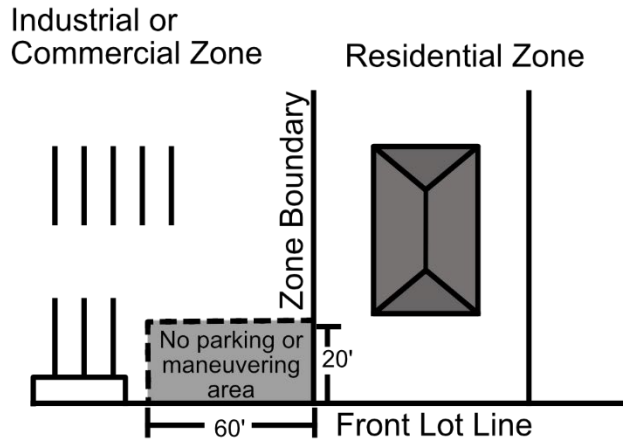
A. Setback adjacent to front lot line.



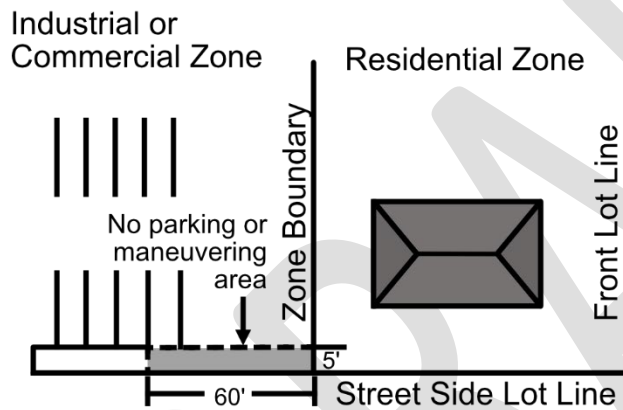
B. Setback adjacent to street side lot line.

Figure 17C.230-5 Parking Area Setback

[Note: Remove image and replace with the one below]



A. Setback adjacent to front lot line



B. Setback adjacent to street lot line.

Figure 17C.230-5 Parking Area Setback

2. All landscaping must comply with the standards of chapter 17C.200 SMC, Landscaping and Screening.

Section 17G.080.040 Short Subdivisions

A. Predevelopment Meeting

A predevelopment meeting is ~~((required if the proposal is located in the central business district, unless waived by the director, and is))~~ recommended ~~((for all other proposals))~~ for new short subdivisions prior to submittal of the application. The purpose of a predevelopment meeting is to acquaint the applicant with the applicable provisions of this chapter, minimum submission requirements and other plans or regulations, which may impact the proposal.

B. Preliminary Short Plat Application and Map Requirements

1. Applications for approval of a preliminary short subdivision shall be filed with the director. All applications shall be submitted on forms provided for such purpose by the department. The director may waive specific submittal requirements determined to be unnecessary for review of the application. The application shall include the following:
 - a. The general application.
 - b. The supplemental application.
 - c. The environmental checklist, if required under chapter 17E.050 SMC.
 - d. Title report no older than thirty days from issuance from the title company.
 - e. The filing fees as required under chapter 8.02 SMC.
 - f. ~~((The required number of documents, plans or maps))~~ One electronic copy of the proposed preliminary plat map drawn to a minimum scale of one-inch equals one hundred feet ~~((, on a sheet twenty-four by thirty-six inches, as set forth in the application checklist))~~.
 - g. A written narrative identifying consistency with the applicable policies, regulations and criteria for approval of the permit requested; and
 - h. Additional application information which may be requested by the permitting department and may include, but is not limited to, the following: geotechnical studies, hydrologic studies, critical area studies, noise studies, air quality studies, visual analysis and transportation impact studies.
 - i. One copy of the predevelopment conference notes (if applicable); and
 - j. One copy of the notification district map, if required.

2. Contents of Preliminary Short Plat Map

The preliminary short plat shall be prepared by a land surveyor and shall show the following:

- a. Plat name and the name of any subdivision to be replatted.
- b. The name, mailing address and phone number of the owner and the person with whom official contact should be made regarding the application.
- c. Surveyor's name, mailing address, and phone number.
- d. Legal description.
- e. Section, township, and ~~((rang))~~ range
- f. Vicinity map.
- g. North arrow, scale and date.
- h. Datum plane.
- i. Acreage.
- j. Number of lots, proposed density, and number of housing units.
- k. Zoning designation.
- l. The boundary lines of the proposed subdivision.
- m. City limits and section lines.
- n. Park or open space (if proposed).
- o. Existing topography at two-foot maximum interval.
- p. The boundaries and approximate dimensions of all blocks and lots, along with the following information:
 - i. the numbers proposed to be assigned each lot and block;
 - ii. the dimensions, square footage, and acreage of all proposed lots and tracts; and
 - iii. for residential lots zoned R1 or R2, the ~~((proposed Middle Housing types, included single-unit detached houses, and))~~ total number of proposed units on ~~((all))~~ each proposed ~~((lots))~~ lot.
- q. Proposed names of streets.
- r. The location and widths of streets, alleys, rights-of-way, easements (both public and private), turn around and emergency access, parks and open spaces.
- s. Conditions of adjacent property, platted or unplatted, and if platted, giving the name of the subdivision. If the proposed short plat is the subdivision of a portion of an existing plat, the approximate lines of the existing plat are to be shown along with any and all recorded covenants and easement

- t. The names and address of the record owners and taxpayers of each parcel adjoining the subdivision.
- u. Indicate any street grades in excess of eight percent.
- v. The location and, where ascertainable, sizes of all permanent buildings, wells, wellhead protection areas, sewage disposal systems, water courses, bodies of water, flood zones, culverts, bridges, structures, overhead and underground utilities, railroad lines, and other features existing upon, over or under the land proposed to be subdivided, and identifying any which are to be retained or removed.
- w. Proposed one-foot strips for right-of-way conveyed to the City, in cases where a proposed public street or alley abuts unplatted land.
- x. If a body of water forms the boundary of the plat, the ordinary high water mark as defined in chapter 90.58 RCW.
- y. Critical areas as defined in chapters 17E.020, 17E.030, 17E.070 and 17G.030 SMC.
- z. Significant historic, cultural or archaeological resources; and
- aa. If the proposal is located in an irrigation district, the irrigation district name.

C. Review of Preliminary Short Plat

1. The application shall be reviewed in accordance with the procedures set forth in chapter 17G.061 SMC for a Type II application, except an application that meets the requirements for minor engineering review as provided in subsection (2) of this section shall be excluded from the public notice requirements contained in SMC 17G.06210 and public comment period under SMC 17G.061.220.
2. Minor Engineering Review.
 - a. A preliminary short plat application may qualify for a Minor Engineering Review if it meets all of the following conditions:
 - i. The application is categorically exempt from chapter 43.21C RCW (SEPA);
 - ii. There is direct water and sewer main lot frontage on an existing and improved public right-of-way;
 - iii. No extensions of public water, sewer, or other utility services will be needed;
 - iv. No public easements for water, sewer, or other utility service exists on the lot;

- v. The lot is not situated in a Special Drainage District as defined in SMC 17D.060.130; and
 - vi. Public utility mains do not exist on the lot.
- b. The City Engineer is authorized to ~~((waiver))~~ waive conditions ii through vi of ~~((the-subjection))~~ subsection (a) if the application substantially meets the intent of the Minor Engineering Review.

D. Public Notice And Public Comment.

All public notice of the application and opportunities for public comment shall be given in accordance with the procedures set forth in chapter 17G.061 SMC for a Type II application.

1. Exceptions.

- a. A short plat that meets the requirements of Minor Engineering Review as provided in subsection (C)(2) of this section shall not require a notice of application.
- b. A short plat that is categorically exempt from SEPA and results in four or fewer lots shall not require a posted or signed notice of application.

E. Preliminary Short Plat Approval Criteria.

Prior to approval of a short plat application, the director shall find the application to be in the public use and interest, conform to applicable land use controls and the comprehensive plan of the City, and the approval criteria set forth in chapter 17G.061 SMC. The director has the authority to approve or disapprove a proposed preliminary short plat under the provisions of this chapter, subject to appeal as provided in chapters 17F.050 and 17G.061 SMC.

F. Final Short Plat Review Procedure

- 1. The subdivider shall submit to the director for review the following:
 - a. A final short plat, prepared by a registered land surveyor licensed in the state of Washington, consistent with the approved preliminary short plat.
 - b. A title report less than thirty days old confirming that the title of the lands as described and shown on said plat is in the name of the owners signing the certificate or instrument of dedication.

- c. Covenants, conditions and restrictions, if applicable; and
 - d. Fees pursuant to chapter 8.02 SMC.
2. Within thirty days, unless the applicant has consented to a longer period of time, of receipt of a proposed final short plat, the director shall review the plat for conformance with all conditions of the preliminary short plat approval, the requirements of this chapter and that arrangements have been made to insure the construction of required improvements. If all such conditions are met, the director shall approve the final short plat and authorize the recording of the plat. If all conditions are not met, the director shall provide the applicant in writing a statement of the necessary changes to bring the final short plat into conformance with the conditions.
- a. If the final short plat is required to be resubmitted, the subdivider is required to provide the following:
 - b. A cover letter addressing the corrections, additions or modifications required.
 - c. Title report no older than thirty days from issuance of a title company conforming that the title of the lands as described and shown on said plat is in the name of the owners signing the certificate or instrument of dedication; and
 - d. The required number of copies of the corrected final short plat map.
3. If the final short plat is approved, the surveyor causes the plat to be signed by the Spokane county treasurer and file of record with the Spokane county auditor. The surveyor is required to file the appropriate number of mylar and bond copies of the recorded short plat with the director.

G. Final Short Plat Map Requirements

The subdivider shall submit to the director a final short plat in the same form and with the same content as the preliminary short plat, as provided in subsections (B)(1) and (2) of this section, with the following exceptions or additional requirements:

- 1. A final short plat shall contain all the information required of the preliminary plat, except the following:
 - a. Show existing buildings.
 - b. Show existing utility lines and underground structures.
 - c. Show the topographical elevations; or
 - d. Contain the names and addresses of adjoining landowners.

2. The final short plat shall include the following:

- a. Surveyor's certificate, stamp, date and signature, as follows:
The following land surveyor's certificate to be shown on each sheet of the plat: "I, _____ registered land surveyor, hereby certify the plat of _____, as shown hereon, is based upon actual field survey of the land described and that all angles, distances, and courses are correctly shown and that all non fronting lot corners are set as shown on the plat. Monuments and fronting lot corners shall be set upon completion of the utility and street improvements.

Signed _____ (Seal)"

- b. A certification by the city treasurer, as applicable:

- i. "I hereby certify that the land described by this plat, as of the date of this certification, is not subject to any local improvement assessments. Examined and approved, this _____ day of _____, 20__.

City of Spokane Treasurer"

- ii. "I hereby certify that the land described by this plat, as of the date of this certificate, is not subject to any delinquent local improvement assessment. Future installments, if any, shall remain due and payable and it shall be the responsibility of the owners to initiate the segregation of the LID assessment. Examined and approved, this _____ day of _____, 20__.

City of Spokane Treasurer"

- iii. "A preliminary local improvement assessment exists against this property. It shall be the responsibility of the owner's to initiate the segregation of the LID assessment. After this assessment is finalized, it shall be due and payable. Examined and approved this _____ day of _____, 20__.

City of Spokane Treasurer"

- c. The certification by the planning director, as follows:

"This plat has been reviewed on this _____ day of _____, 20____ and is found to be in full compliance with all the conditions of approval stipulated in the Hearing Examiner's/Planning Director's approval of the preliminary plat # - -PP/SP.

City of Spokane Planning Director"

- d. The certification by the city engineer, as follows:

"Approved as to compliance with the survey data, the design of public works and provisions made for constructing the improvements and permanent control monuments this _____ day of _____, 20____.

City of Spokane Engineer"

- e. The certification by the Spokane county treasurer, as follows:

"I hereby certify that the land described in this plat, as of the date of this certification, is not subject to any outstanding fees or assessments. Examined and approved _____ day of _____, 20____.

Spokane County Treasurer"

- f. The certification by the Spokane county auditor on each page of the final short plat including the time, date, book and page number of the recording of the final mylar.

- g. Signature of every owner certifying that:

- i. the plat is made with the free consent and in accordance with the desires of the owners of the land;
- ii. the plat is made with the free consent and in accordance with the desires of the owners of the land;
- iii. the owners are the owners of the property and the only parties having interest in the land and is not encumbered by any delinquent taxes or assessments;
- iv. the owners adopt the plan of lots, blocks and streets shown;

- v. owner dedicates to the City and the City's permittees the easements shown for utilities and cable television purposes;
- vi. owner dedicates to the City the streets, alleys and other public places, including slope and construction easements and waives all claims for damages against any governmental authority including, without limitation, the City which may be occasioned to the adjacent land by the establishment, construction, drainage and maintenance of any public way so dedicated; and
- vii. owner conveys to the City as general City property the buffer strips adjoining unplatted property.

h. The drawing shall:

- i. be a legibly drawn, printed or reproduced permanent map;
- ii. if more than one sheet is required, each sheet shall show sheet numbers for the total sheets;
- iii. have margins that comply with the standards of the Spokane county auditor;
- iv. show in dashed lines the existing plat being replatted, if applicable;
- v. show monuments in accordance with SMC 17G.080.020(H)(1);
- vi. include any other information required by the conditions of approval; and
- vii. include any special statements of approval required from governmental agencies, including those pertaining to flood hazard areas, shorelines, critical areas and connections to adjacent state highways.

H. Filing.

Once the final plat has been reviewed, approved and signed by the applicable departments, the applicant shall file the final short plat with the county auditor within ten days of approval. No permits shall be issued for a proposed lot until the required conformed copies of the short plat have been submitted to the planning services department.

I. Redivision.

No land within the boundaries of a short subdivision may be further divided in any manner which will create additional lots within a period of five years except by subdivision in accordance with SMC 17G.080.050.

Section 17G.080.065 Unit Lot Subdivisions

A. Purpose.

The purpose of these provisions is to allow for the more flexible creation of lots of varying sizes and types, including for attached housing, cottage housing, and similar developments with multiple dwelling units on a parent site, while applying only those site development standards applicable to the parent site as a whole, rather than to individual lots resulting from the subdivision.

B. Applicability.

A unit lot subdivision creates a relationship between the parent site and each lot created, referred to as a “child” lot.

1. Unit Lot Subdivisions are allowed for all residential development on parent sites of two acres or less in zones that allow residential development. Subdivisions with a commercial or other non-residential use seeking similar flexibility must be approved through another platting action under chapter 17G.080 SMC.
2. A ~~((unit lot subdivision))~~ Unit Lot Subdivision may be used in any development with two or more dwelling units meeting the standards of this section.
3. A ~~((unit lot subdivision))~~ Unit Lot Subdivision may also be used to subdivide an existing or planned accessory dwelling unit from the principal structure, subject to the additional standards in subsection ~~((F))~~ (G) of this section.
4. A ~~((unit lot subdivision))~~ Unit Lot Subdivision may be combined with a subdivision or short subdivision so long as the portion of the development utilizing this section meets the ~~((requirements))~~ standards of this section and the additional requirements of subsection (E).

C. Application Procedure.

Unit ~~((lot subdivisions))~~ Lot Subdivisions resulting in nine or fewer lots shall be processed as short plats and all others shall be processed as subdivisions according to the associated permit types in chapter 17G.061 SMC.

D. General Regulations.

1. ~~((A unit lot subdivision shall meet development standards applicable to the parent lot's zoning, including but not limited to))~~ The parent site as a whole

shall meet all applicable development standards with respect to its surroundings, including but not limited to:

- a. Setbacks;
- b. ~~((Lot-size))~~ Building coverage;
- c. Design standards;
- ~~((e))~~d. ~~((Building))~~ Street frontage; and
- ~~((d))~~e. ~~((Floor-area-ratio))~~ Density;

2. So long as the parent site meets the applicable standards as a whole, each child lot may deviate from site development standards including but not limited to:

- a. Setbacks;
- b. Building coverage;
- c. Street frontage; and
- d. Density.

~~((2))~~3. All buildings shall meet all applicable provisions of the building and fire code;

~~((3))~~4. Lots created through a ~~((unit lot subdivision))~~ Unit Lot Subdivision shall be subject to all applicable requirements of Title 17 SMC, except as otherwise modified by this section;

~~((4))~~5. Each child lot's area and width for purposes of subdivision may be as small as the footprint of the building situated upon it, subject to the requirements of the building and fire code;

~~((5))~~6. Portions of the parent site ~~((not subdivided for child lots))~~ designated for common use shall be identified as Tracts or other common space and owned in common by the owners of the child lots or a larger collective organization. For example, a homeowners association comprised of the owners of the child lots located within the parent site. This requirement shall be included in deed restrictions as required in subsection ~~((E))~~ (F) of this section;

~~((6))~~7. The parent site and each child lot shall make adequate provisions for ingress, egress, and utility access to and from each lot created by reserving such common areas or other easements over and across the parent site as deemed necessary to comply with all other design and development standards generally applicable to the underlying site development plan.

~~((7))~~8. Separation requirements for utilities ~~((must))~~ shall be met.

~~((8))~~9. Driveways providing vehicle access to lots shall not serve more than nine (9) units unless approved by the City Engineer.

E. Combining with Other Platting Types.

When combined with another platting type, the following additional requirements apply:

1. A parent site within a larger subdivision is defined as the contiguous acreage identified for use of the Unit Lot Subdivision rules.
2. The plat shall identify and delineate all parent sites where Unit Lot Subdivision rules are to be applied.
3. A subdivision may include multiple parent sites. The aggregate size of all parent sites shall not exceed two acres.

~~((E))~~ E. Recording.

1. The plat recorded with the county auditor's office shall include the following:
 - a. Access easements, joint use and maintenance agreements, and covenants, conditions, and restrictions identifying the rights and responsibilities of property owners and/or the homeowners association for use and maintenance of common garage, parking and vehicle access areas; on-site recreation; landscaping; utilities; common open space; exterior building facades and roofs; and other similar features.
 - b. A note that approval of the subdivision was granted by the review of the site as a whole (stating the subject project file number if applicable);
 - c. A note that subsequent platting actions, additions or modifications to the structure(s) may not create or increase any nonconformity of the parent site as a whole, and shall conform to the approved site development plan;
 - d. A note stating that if a structure or portion of a structure has been damaged or destroyed, any repair, reconstruction or replacement of the structure(s) shall conform to the approved site development plan;
 - e. A note that additional development of the individual lots may be limited as a result of the application of development standards to the parent ~~((sit))~~ site.
2. The legal description of each lot shall identify it as part of a unit lot subdivision.

~~((F))~~ G. Accessory Dwelling Units.

A lot with an accessory dwelling unit may be subdivided under this section with the following additional requirements:

1. ~~((All utility lines for the accessory dwelling unit must branch from a common line on a portion of the parent site owned in common.))~~ Utility lines may cross property lines internal to the development provided that easements are placed to preserve access and protect them.
2. The plat recorded with the county auditor's office shall further specify the following:
 - a. The child lot that is associated with the accessory dwelling unit;
 - b. That the child lot associated with the accessory dwelling unit is subject to any and all additional regulations of an accessory dwelling unit under the Spokane Municipal Code.
3. The legal description of a lot for an accessory dwelling unit shall identify the lot as an accessory dwelling unit within a ~~((unit lot subdivision))~~ Unit Lot Subdivision.

EXHIBIT B

17. Update on SREC
18. Update from Catholic Charities

Consent items

1. 1970 – Gall's VB Renewal for Firefighter Uniforms
2. 0680 – Approval of Police Jumpsuits Value Blanket
3. 0680 – AXON MY90 Pilot Project
4. 0680 – AXON Interview Room System
5. 0680 – AXON Fleet 3
6. 0680 – Acceptance of Registered Sex Offender Grant FY 24-25

Executive session

None.

Adjournment

The meeting adjourned at 11:40 AM

Hearing Notices

Notice of Intent to Adopt 2024 Building Opportunities for Housing (BOH) Follow UP Fixes

The City of Spokane Planning Services Department proposed amendments to various code sections to correct errors, clarify requirements, and make it easier to implement.

Project Description: The proposal amends 17A.020.060 "F" Definitions, 17C.111.205 Development Standards Tables, 17C.111.210 Density, 17C.111.220 Building Coverage and Impervious Coverage, 17C.111.235 Setbacks, 17C.111.310 Open Space, 17C.111.315 Entrances, 17C.111.320 Windows, 17C.111.325 Building Articulation, 17C.111.335 Parking Facilities, 17C.111.420 Open Spaces, 17C.111.450 Pitched Roofs, 17C.230.020 Vehicle Parking Summary Table, 17C.230.100 General Standards, 17C.230.110 Minimum Required Parking Spaces, 17C.230.120 Maximum Required Parking Spaces, 17C.230.130 Parking Exceptions, 17C.230.140 Development Standards, 17G.080.040 Short Subdivisions, 17G.080.065 Unit Lot Subdivisions, and 17H.010.040 Initiation of Street Improvement Projects.

SEPA: These proposed changes will be reviewed as a non-project action under the State Environmental Policy Act (SEPA) under Spokane Municipal Code Section 17E.050.

Legislative Process: Initial Plan Commission Workshops were held on August 28, 2024, September 11, 2024, October 9th, 2024, and one is scheduled for October 23rd, 2024 to introduce the Commission to proposed amendments. A Plan Commission Public Hearing is tentatively scheduled for November 13, 2024. City Council action is expected to occur in Winter 2024.

More information: Any person may call or email Ryan Shea, Planner II, for more information regarding this proposed amendment. rshea@spokanecity.org, 509-625-6087.

BUILDING OFFICIAL HEARING NOTICE

Notice is hereby given that the Building Official has caused proper notice to be served upon the persons responsible for 1522 W Maxwell Avenue, PARCEL NO: 25131.3911 LEGAL DESCRIPTION: CHAMBERLIN ADD L11 B39 in compliance with the Spokane Municipal Code stating that a first hearing on this matter will be held before the Building Official on October 29, 2024, at 1:30 p.m. These hearings are held at 808 W Spokane Falls Blvd. Spokane. WA 99201, in the Council Briefing Room, Lower Level, City Hall. Remote participation is also available via Microsoft Teams, and remote participation information for this hearing will be posted on the city website as well on each agenda, which can be found under the substandard building topic here: <https://my.spokanecity.org/neighborhoods/code-enforcement/topics/>.

Notice is hereby given that attention has been directed to anyone who knows the present address or whereabouts of the owner or to any new owner or person in the position of responsibility over this property to contact the City of Spokane regarding plans to correct deficiencies and avoid potential outcomes of the show cause hearing, which may include a demolition or receivership order. Not hearing further on this matter the said first hearing will proceed. For more information on this hearing, including information regarding participation in the remote hearing, please contact:

Jennifer Loparco
Code Enforcement, City of Spokane
808 West Spokane Falls Blvd.
Spokane, WA 99201-3333



NONPROJECT DETERMINATION OF NONSIGNIFICANCE

FILE NO(s): 24-010CODE BOH Follow Up Fixes

PROPONENT: City of Spokane

DESCRIPTION OF PROPOSAL:

In November of 2023 the City of Spokane adopted new zoning regulations for lower-intensity residential zones. These changes, referred to as “Building Opportunity for Housing” (BOH) permanently implemented the temporary changes put in place by the Building Opportunities and Choices for All program (BOCA).

BOH was a major change to The City’s zoning regulations. As staff have worked with developers and property owners to implement the new regulations, many issues have been identified. This is an expected aspect of adopting major changes to the development code.

This proposal is expected to improve the public’s understanding of the code requirements and make it easier for staff to administer requirements. It also modifies some requirements based on challenges that exist in the current code that have been identified during review of proposed projects.

Plan Commission Consideration:

This proposal will be brought forward to Plan Commission for a hearing later this year.

LOCATION OF PROPOSAL, INCLUDING STREET ADDRESS, IF ANY: Citywide

LEAD AGENCY: City of Spokane

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An Environmental Impact Statement (EIS) is not required under RCW [43.21C.030\(2\)\(c\)](#). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public upon request.

- ☐ There is no comment period for this DNS.
- ☐ This DNS is issued after using the optional DNS process in section 197-11-355 WAC. There is no further comment period on the DNS.
- ☒ This DNS is issued under 197-11-340(2); the lead agency will not act on this proposal for at least 14 days from the date of issuance (below). **Comments regarding this DNS must be submitted no later than 4:00 p.m. on Nov. 13, 2024 if they are intended to alter the DNS.**

Responsible Official: Spencer Gardner

Position/Title: Director, Planning Services

Address: 808 W. Spokane Falls Blvd., Spokane, WA 99201

Phone: 509-625-6097

Date Issued:10/29/2024

Signature:

APPEAL OF THIS DETERMINATION



After a determination has become final, appeal may be made to:

Responsible Official: City of Spokane Hearing Examiner

Address: 808 W. Spokane Falls Blvd., Spokane, WA 99201

Email: hearingexaminer@spokanecity.org

Phone: 509-625-6010

Deadline: 21 days from the date of the signed DNS

12:00 p.m. on MM DD, 2024

The appeal must be on forms provided by the Responsible Official, and make specific factual objections. Appeals must be accompanied by the appeal fee. Contact the Responsible Official for assistance with the specifics of a SEPA appeal.






SEPA City Nonproject DNS- BOH Fixes

Final Audit Report

2024-10-29

Created:	2024-10-29
By:	Angela McCall (amccall@spokanecity.org)
Status:	Signed
Transaction ID:	CBJCHBCAABAAQAsXAJ2uEMV6wLDJqSwZ5mV6iCBAnQX-

"SEPA City Nonproject DNS- BOH Fixes" History

-  Document created by Angela McCall (amccall@spokanecity.org)
2024-10-29 - 3:16:45 PM GMT
-  Document emailed to Spencer Gardner (sgardner@spokanecity.org) for signature
2024-10-29 - 3:17:26 PM GMT
-  Email viewed by Spencer Gardner (sgardner@spokanecity.org)
2024-10-29 - 3:31:51 PM GMT
-  Document e-signed by Spencer Gardner (sgardner@spokanecity.org)
Signature Date: 2024-10-29 - 3:32:20 PM GMT - Time Source: server
-  Agreement completed.
2024-10-29 - 3:32:20 PM GMT

LEGAL NOTICES

NOTICE OF PUBLIC HEARING AND NOTICE OF SEPA DETERMINATION PROPOSED AMENDMENTS TO THE SPOKANE MUNICIPAL CODE RELATED TO THE BUILDING OPPORTUNITY FOR HOUSING PROJECT

Notice is hereby given that a SEPA Determination has been made and that the City of Spokane Plan Commission will hold a Public Hearing in a hybrid format on **Wednesday, November 13, 2024 beginning at 4 p.m.** in the Council Chambers, Lower Level of City Hall, 808 West Spokane Falls Blvd. and online via the Microsoft Teams Meetings software and over the phone, to receive public testimony regarding proposed citywide amendments to SMC Chapters 17A.020.060, 17C.111.205, 17C.111.210, 17C.111.220, 17C.111.235, 17C.111.310, 17C.111.315, 17C.111.320, 17C.111.325, 17C.111.335, 17C.111.420, 17C.111.450, 17C.230.020, 17C.230.100, 17C.230.110, 17C.230.120, 17C.230.130, 17C.230.140, 17G.080.040, and 17G.080.065. This hearing or portions thereof may be continued to a later date at the discretion of the Plan Commission.

Public testimony on these applications will be taken at the hearing and will be made part of the record. Written comments and oral testimony at the public hearing will be made part of the public record. **Only the applicant, persons submitting written comments, and persons testifying at the hearing may appeal the decision.**

Any person may submit written comments on the proposed action or request additional information:

City of Spokane, Planning Services & Economic Development
Ryan Shea, Planner II,
808 W. Spokane Falls Blvd.,
Spokane, WA 99201
(509) 625-6500;
rshea@spokanecity.org

LOCATION: Citywide

SEPA: A SEPA Checklist for this non-project action has been submitted. A Determination of Non-Significance (DNS) was issued on October 30, 2024, under WAC 197-11-340(2); the lead agency will not act on this proposal for at least 14 days. Comments regarding this DNS must be submitted no later than 4 pm, November 13, 2024, if they are intended to alter the DNS.


To learn more: Project webpage: <https://my.spokanecity.org/projects/building-opportunity-for-housing-follow-up-code-amendments/>

How to Attend the Meeting: The Public can attend the meeting in-person in the City Council Chambers at 808 W Spokane Falls Blvd. People may also attend online via Microsoft Teams or call in by phone to hear and testify. Access the **meeting link** and **call-in information** at the agenda posted in advance on the Commission's website: <https://my.spokanecity.org/bcc/commissions/plan-commission/>

AMERICANS WITH DISABILITIES ACT (ADA) INFORMATION: The City of Spokane is committed to providing equal access to its facilities, programs and services for persons with disabilities. The Spokane City Council Chamber in the lower level of Spokane City Hall, 808 W. Spokane Falls Blvd., is wheelchair accessible and is equipped with an infrared assistive listening system for persons with hearing loss. Headsets may be checked out (upon presentation of picture I.D.) at the City Cable 5 Production Booth located on the First Floor of the Municipal Building, directly above the Chase Gallery or through the meeting organizer. Individuals requesting reasonable accommodations or further information may call, write, or email Risk Management at 509.625.6221, 808 W. Spokane Falls Blvd, Spokane, WA, 99201; or mlowmaster@spokanecity.org. Persons who are deaf or hard of hearing may contact Human Resources through the Washington Relay Service at 7-1-1. Please contact us forty-eight (48) hours before the meeting date.

SR225930

LEGAL NOTICES



STATE ENVIRONMENTAL POLICY ACT DETERMINATION OF NONSIGNIFICANCE ADOPTION OF EXISTING DOCUMENT

Lead Agency:
Spokane Airport Board
9000 W. Airport Drive #204
Spokane, WA 99224

Agency Contact / Responsible Official:
Colin Hayden,
Project Manager
Planning & Development Department
Chayden@spokaneairports.net
509-455-6413

Agency File Number:
23-44-1809

Description of Proposal:
Rail-Truck Transload Facility, Phase 4

Location of Proposal:
East of Craig Road, between McFarlane and Thorpe Roads, Spokane, WA

Title of document being adopted:
Categorical Exclusion Worksheet

Date adopted document was prepared:
01-27-2021

Description of document (or portion thereof) being adopted:
The Categorical Exclusion (CatEx) Worksheet (OMB No. 2130-0615) and its findings are hereby adopted in its entirety. The CatEx document was prepared for the National Environmental Policy Act (NEPA) process, facilitated by the Federal Railroad Administration (FRA) as the Lead Agency. After review and evaluation of the project, proposed action and the CatEx documentation, FRA issued a Categorical Exclusion with no required mitigation. No appeals were received.

The adopted document is available at:
SEPA Register – <https://fortress.wa.gov/ecy/separ/Main/SEPA/Search.aspx>

We have identified and adopted this document as being appropriate for this proposal after independent review. The document meets our environmental review needs for the current proposal and will accompany the proposal to the decision makers.

The Lead Agency has determined that this proposal will not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This determination is based on the findings and conclusions from the adopted NEPA document.

This DNS is issued under WAC 197-11-340(2). The Lead Agency will not act on this proposal for 14 days from the date below. Comments must be submitted by November 18, 2024.

Signature Colin Hayden
Date 11/4/2024

SR226105

Legal Advertising Deadlines

NOON THE DAY BEFORE PUBLICATION

10:00am Friday for Sunday or Monday publication.
(Some exceptions do apply)

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legals@spokesman.com

LEGAL NOTICES

Mead School District 354 will receive proposals for School Security and Patrol Services. Proposals will be accepted until **November 26th, 2024 at 2:00pm** at the Mead School District Administration Building, 2323 East Farwell Road, Mead, WA 99021. Proposals will be publically open and read aloud at 2:00pm of said day. To obtain proposal documents please go the Mead School District web site: Mead354.org/AboutUs/ Department Directory/Purchasing. The Mead School District 354 Board of Directors reserves the right to accept or reject any or all proposals and to waive informalities.

SR225928

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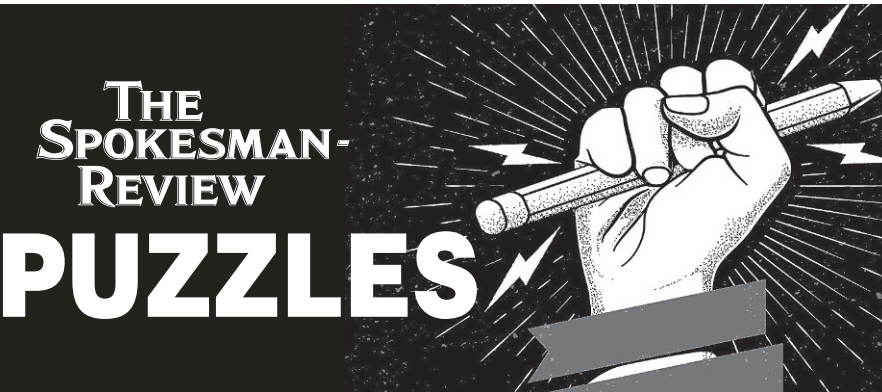
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WORD★Roundup™

by David L. Hoyt & Jeff Knurek

Find and Circle...

Four words starting and ending with K

Four car companies

Four African countries

Two coin-flip possibilities

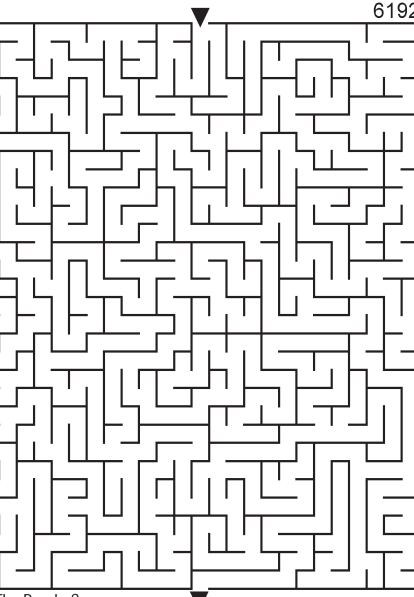
Home to U.S. presidents: the _____

Answers to Tuesday's puzzle: OCTOBER APRIL JUNE JULY / PEACH APPLE MANGO LEMON / PRAGUE VIENNA ROME / MERCURY VENUS EARTH / CENTAUR

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Minute Maze

6192



LEXICO®

Start at the double hexagon. Spell solutions to the clues below by winding your way through the grid. You can backtrack to use letters more than once. Each new word starts with the last letter of the previous word.

1. High body temperature

2. Invigorate

3. Weather forecast numbers

4. Sword blocker

5. Evade


F _ _ _ _

_ _ _ _ _

H _ _ _ _

_ _ _ _ _

D _ _ _ _



BRIDGE | Bobby Wolff, Dist. by Andrews McMeel for UFS

11-6-A

"It is as natural to die as to be born; and to a little infant, perhaps, the one is as painful as the other."

— Francis Bacon

Put yourself in North's shoes as we continue the theme of potentially natural bids in the opponents' suit. When the auction starts with one diamond from East and a one-heart response from West, some play a call of two diamonds as natural here. In any event, a jump to three diamonds ought to be played as intermediate: 13-16 or so with good diamonds. Thus, South has enough to take a shot at three no-trump.

After West leads a heart, declarer can count at least 10 tricks if diamonds split. However, based on the bidding, diamonds are known not to be breaking unless East has specifically 4=4=3=2 shape, in which case he might have raised hearts, and West probably would not have led a heart. If East has four diamonds, starting with the diamond king will be fatal. East will hold up, leaving declarer an entry short to set up the diamonds. Declarer should instead lead a low diamond, preserving a diamond in hand to clear the suit.

East wins the diamond nine and returns the heart jack, and now declarer has a second hurdle to overcome. It looks for all the world that West led from five hearts. If declarer covers with the queen, West can duck to keep a link and then run the rest of the suit when East scores the diamond ace. Declarer should duck the heart jack instead, holding the defense to two heart tricks.

When the defenders shift to spades, declarer wins in hand and clears diamonds. With the club finesse working, there are nine tricks against any defense.

NORTH

11-6-A

♠ A 7 6
♥ A
♦ K Q J 7 5 4 3
♣ 8 4

WEST

♠ 10 8 4 2
♥ K 9 8 5 3
♦ 10 9 7 5

EAST

♠ Q J 9 3
♥ J 7 6
♦ A 10 9 6
♣ K J

SOUTH

♠ K 5
♥ Q 10 4 2
♦ 8 2
♣ A Q 6 3 2

Vulnerable: Both
Dealer: East

The bidding:

South West North East

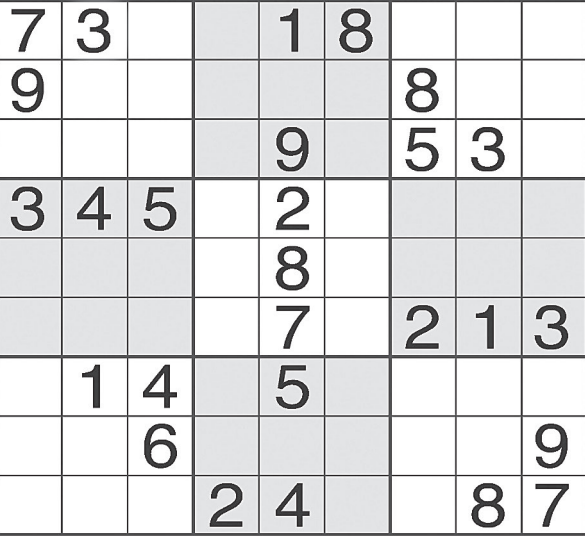
Pass 1♥ 3♦ 1♠

3 NT All pass

Opening Lead: Heart five

UNIVERSAL Sudoku Puzzle

Complete the grid so that every row, column and 3x3 box contains every digit from 1 to 9 inclusively.



11/6

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7 LITTLE WORDS

Find the 7 words to match the 7 clues. The numbers in parentheses represent the number of letters in each solution. Each letter combination can be used only once, but all letter combinations will be necessary to complete the puzzle.

CLUES

1 expanding (7)

2 suppresses (7)

3 set like concrete (6)

4 most like Pigpen (8)

5 strong dislikes (9)

6 not like a "clam" (9)

7 young NBA phenom Victor (10)

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ORD C36629 (KLITZKE AMENDMENT)(01-14-25)

1. That Section 2 of Ordinance C36629, relating to SMC 17C.111.205, be stricken and the following substituted in its place:

Section 17C.111.205 Development Standards Tables

Development standards that apply within the residential zones are provided in Tables 17C.111.205-1 through 17C.111.205-3.

TABLE 17C.111.205-1 LOT DEVELOPMENT STANDARDS [1]					
	RA	R1	R2	RMF	RHD
DENSITY STANDARDS					
Maximum density on sites 2 acres or less [2][3]	No maximum	No maximum	No maximum	No maximum	No maximum
Maximum density on sites larger than 2 acres [2]	10 units/acre	10 units/acre	20 units/acre	No maximum	No maximum
Minimum density [2]	4 units/acre	4 units/acre	10 units/acre	15 units/acre	15 units/acre
LOT DIMENSIONS FOR SUBDIVISIONS AND SHORT SUBDIVISIONS					
Minimum lot area	7,200 sq. ft.	1,200 sq. ft.	1,200 sq. ft.	1,200 sq. ft.	1,200 sq. ft.
Minimum lot width ((with no driveway approach)) [4]	40 ft.	15 ft.	15 ft.	15 ft.	15 ft.
((Minimum lot width with driveway approach [4]))	((40 ft.))	((36 ft.))	((36 ft.))	((25 ft.))	((25 ft.))
Minimum lot width within Airfield Overlay Zone	40 ft.	40 ft.	36 ft.	25 ft.	25 ft.
Minimum lot depth	80 ft.	80 ft.	40 ft.	N/A	N/A
Minimum lot frontage	40 ft.	Same as minimum lot width	Same as minimum lot width	Same as minimum lot width	Same as minimum lot width
MINIMUM LOT DIMENSIONS FOR UNIT LOT SUBDIVISIONS					
Minimum parent lot area	No minimum	No minimum	No minimum	No minimum	No minimum
Maximum parent lot area	2 acres	2 acres	2 acres	2 acres	2 acres
Minimum child lot area	No minimum	No minimum	No minimum	No minimum	No minimum

Minimum child lot depth	No minimum	No minimum	No minimum	No minimum	No minimum
LOT COVERAGE					
Maximum total building coverage [5][6][7]	50%	65%	80%	100%	100%
Maximum lot impervious coverage without engineer's stormwater drainage plan - not in ADC [5][8][9]	50%	60%	60%	N/A	N/A
Maximum lot impervious coverage without engineer's stormwater drainage plan - inside ADC [5][8][9]	40%	40%	40%	N/A	N/A
<p>Notes:</p> <p>[1] Plan district, overlay zone, or other development standards contained in Title 17C SMC may supersede these standards.</p> <p>[2] See SMC 17C.111.210 for applicability of minimum and maximum density standards in the residential zones.</p> <p>[3] Development within Airfield Overlay Zones is further regulated as described in SMC 17C.180.090, Limited Use Standards.</p> <p>[4] ((Lots with vehicle access only from an alley are not considered to have a "driveway approach" for the purposes of this standard.)) <u>Requirements associated with driveways such as minimum approach separation and driveway coverage maximums may limit driveways on narrow lots.</u></p> <p>[5] Lot and building coverage calculation includes all primary and accessory structures.</p> <p>[6] Building coverage for attached housing is calculated based on the overall development site, rather than individual lots.</p> <p>[7] Developments meeting certain criteria relating to transit, Centers & Corridors, or housing affordability are given a bonus for building coverage. See SMC 17C.111.225 for detailed eligibility criteria.</p> <p>[8] Projects may exceed impervious coverage requirements by including an engineer's drainage plan in submittals, subject to review by the City Engineer as described in SMC 17D.060.135. "ADC" means Area of Drainage Concern.</p> <p>[9] <u>Projects in the RMF and RHD zones that are exempted from review under the Spokane Regional Stormwater Manual shall follow the impervious coverage requirements of the R1 zone.</u></p>					

TABLE 17C.111.205-2 BUILDING AND SITING STANDARDS [1]					
	RA	R1	R2	RMF	RHD
PRIMARY BUILDINGS					
Floor area ratio	N/A	N/A	N/A	N/A	N/A

ORD C36629 (KLITZKE AMENDMENT)(01-14-25)

Maximum building footprint per primary building - lot area 7,000 sq. ft. or less	N/A	2,450 sq. ft.	2,450 sq. ft.	N/A	N/A
Maximum building footprint per primary building - lot area more than 7,000 sq. ft.	N/A	35%	35%	N/A	N/A
Maximum building height [2]	35 ft.	40 ft.	40 ft.	55 ft.	75 ft.
Minimum Setbacks					
Front [3]	15 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Interior side lot line - lot width 40 ft or less ([3])	3 ft.	3 ft.	3 ft.	3 ft.	3 ft.
Interior side lot line - lot width more than 40 ft [4] [5]	5 ft.	5 ft.	5 ft.	5 ft.	5 ft.
Street side lot line – all lot widths	5 ft.	5 ft.	5 ft.	5 ft.	5 ft.
Attached garage or carport entrance from street	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.
Rear	25 ft.	15 ft.	15 ft.	10 ft.	10 ft.
ACCESSORY DWELLING UNITS					
Maximum building footprint for accessory dwelling unit - lot area 5,500 sq. ft. or less	1,100 sq. ft.	1,100 sq. ft.	1,100 sq. ft.	1,100 sq. ft.	1,100 sq. ft.
Maximum building footprint for accessory dwelling unit - lots larger than 5,500 sq. ft.	15%	15%	15%	15%	15%
Maximum building height	25 ft.	25 ft.	25 ft.	25 ft.	25 ft.
Minimum side lot line setbacks [5] [6]	Same as Primary Structure				
Minimum rear setback with alley [4] [5] [6]	0 ft.	0 ft.	0 ft.	0 ft.	0 ft.
Minimum rear setback no alley	5 ft.	5 ft.	5 ft.	5 ft.	5 ft.
OTHER ACCESSORY STRUCTURES					
Maximum lot coverage for accessory structures – lots 5,500 sq. ft. or less	20%	20%	20%	See Primary Structure	See Primary Structure
Maximum lot coverage for accessory structures – lots larger than 5,500 sq. ft.	20%	15%	15%	See Primary Structure	See Primary Structure
Maximum building height	30 ft.	20 ft.	20 ft.	35 ft.	35 ft.
Minimum side lot line setbacks [4] [5] [6]	Same as Primary Structure				
Minimum rear setback with alley	0 ft.	0 ft.	0 ft.	0 ft.	0 ft.
Minimum rear setback no alley	5 ft.	5 ft.	5 ft.	5 ft.	5 ft.

OPEN SPACE [7]					
Minimum open space per unit [8]	250 sq. ft.	250 sq. ft.	250 sq. ft.	Studio: 48 sq. ft. per unit 1- bedroom: 75 sq. ft. per unit 2+ bedrooms: 150 sq. ft. per unit	Studio: 48 sq. ft. per unit 1- bedroom: 75 sq. ft. per unit 2+ bedrooms: 100 sq. ft. per unit Sites 20,000 sq. ft. or less: 36 sq. ft. per unit
Minimum common open space per unit as a substitute for private area - first six units	200 sq. ft.	200 sq. ft.	200 sq. ft.	Studio: 48 sq. ft. per unit 1- bedroom: 75 sq. ft. per unit 2+ bedrooms: 150 sq. ft. per unit	Studio: 48 sq. ft. per unit 1- bedroom: 75 sq. ft. per unit 2+ bedrooms: 100 sq. ft. per unit Sites 20,000 sq. ft. or less: 36 sq. ft. per unit

Minimum common open space per unit as a substitute for private area - all units after six	150 sq. ft.	150 sq. ft.	150 sq. ft.	Studio: 36 sq. ft. per unit 1- bedroom: 48 sq. ft. per unit 2+ bedrooms: 48 sq. ft. per unit	Studio: 36 sq. ft. per unit 1- bedroom: 48 sq. ft. per unit 2+ bedrooms: 48 sq. ft. per unit Sites 20,000 sq. ft. or less: 25 sq. ft. per unit
<p>Notes:</p> <p>[1] Plan district, overlay zone, or other development standards contained in Title 17C SMC may supersede these standards.</p> <p>[2] Base zone height may be modified according to SMC 17C.111.230, Height.</p> <p>[3] Certain elements such as covered porches may extend into the front setback. See SMC 17C.111.235, Setbacks.</p> <p>[4] There is an additional angled setback from the interior side lot line. Refer to SMC 17C.111.230(C) and 17C.111.235(E) for more detail.</p> <p>[5] Setbacks for a detached accessory structure and a covered accessory structure may be reduced to zero feet with a signed waiver from the neighboring property owner as specified in SMC 17C.111.240(C).</p> <p>[6] Accessory structures may be subject to an additional side setback adjacent to streets as specified in 17C.111.240(C)(5).</p> <p>[7] Residential units with a continuous pedestrian route as defined in SMC Section 17C.111.420(B) from the property boundary to a public park within 800 feet shall have a minimum of not more than 36 square feet of open space per unit.</p> <p>[8] Common open space may be substituted for private outdoor area according to SMC 17C.111.310.</p>					

TABLE 17C.111.205-3
DEVELOPMENT STANDARDS FOR PROPERTIES QUALIFYING FOR
DEVELOPMENT BONUS [1] [2]

ORD C36629 (KLITZKE AMENDMENT)(01-14-25)

	RA	R1	R2	RMF	RHD
LOT COVERAGE					
Maximum total building coverage	N/A	80%	90%	100%	100%
PRIMARY BUILDINGS					
Floor area ratio	N/A	N/A	N/A	N/A	N/A
Maximum building footprint per primary building - lot area 7,000 sq. ft. or less	N/A	2,450 sq. ft.	2,450 sq. ft.	N/A	N/A
Maximum building footprint per primary building - lot area more than 7,000 sq. ft.	N/A	35%	35%	N/A	N/A
Notes:					
[1] Standards not addressed in this table are consistent with the general standards in Tables 17C.111.205-1 and 17C.111.205-2.					
[2] Criteria to qualify for Development Bonuses is outlined in SMC 17C.111.225.					

2. That Section 9 of Ordinance C36629, relating to SMC 17C.111.325, be stricken and the following substituted in its place:

Section 17C.111.325 Building Articulation

A. Purpose.

To ensure that buildings along any public or private street display the greatest amount of visual interest and reinforce the residential scale of the streetscape and neighborhood.

B. Applicability.

~~((The following))~~ These standards apply to all ~~((building))~~ facades that face a public or private street~~((, except those that are separated from the street by another building. The standards apply to facades of attached housing irrespective of underlying lot lines))~~.

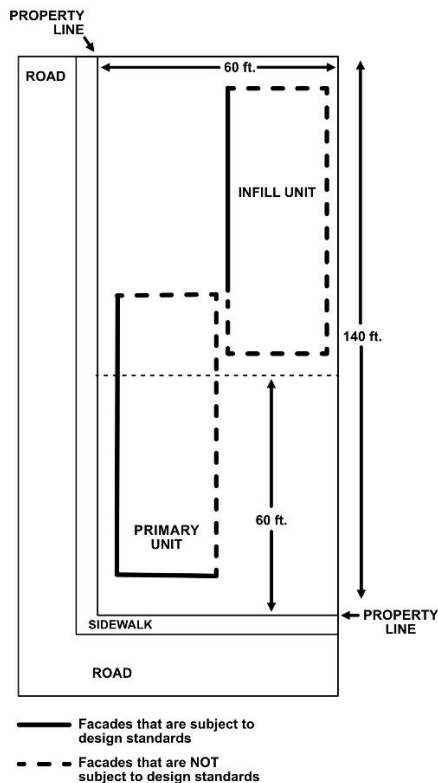
1. Attached Housing.

These standards apply to facades of attached housing. For purposes of this section, a grouping of attached houses shall be considered as a single building.

2. Exceptions.

- a. These standards do not apply when a façade or portion of façade is not visible from a public or private street or further than 60' away from a street lot line. See Figure 17C.111.325-A.
- b. These standards do not apply to a detached Accessory Dwelling Unit above a detached garage.

Figure 17C.111.325-A. Façade Exemption.



Note: Graphic to be inserted.

C. Building Articulation Implementation.

1. ~~((Buildings must))~~ Street-facing Facades shall be modulated along the street at least every ((thirty)) forty feet. ((Building modulations must step the building wall back or forward at least four feet. See Figure 17C.11325-A. (R)) Building modulations may be achieved in any one of the following ways. (R)
 - a. A step back or forward in the building wall of at least four feet. See Figure 17C.111.325-B.

- b. For facades no more than two stories high, a bay window or cantilevered bump-out at least four feet (4') wide and two feet (2') deep on the ground floor.
 - c. A cantilevered bump-out at least four feet (4') wide and two feet (2') deep that extends vertically the entire height of the facade.
 - d. A covered porch at least ten feet (10') wide and six feet (6') deep.
2. The scale of buildings (~~((must))~~) shall be moderated to create a human scale streetscape by including vertical and horizontal delineation as expressed by bays, belt lines, doors, or windows. (P)
3. (~~((Horizontal street-facing facades))~~) In addition to the requirement of subsection (C)(1), street-facing Facades thirty feet (30') or longer ((must)) shall include at least ((four)) one of the ((following)) design features listed below, or a similar treatment, ((per façade. At least one of these features must be used)) every thirty feet (30'). The modulation implemented to meet subsection (C)(1) may be counted in meeting this requirement. (P)
- a. Design Features.
- ~~((a. Varied building heights.~~
 - ~~b. Use of different materials.~~
 - ~~c. Different colors.~~
 - ~~d. Offsets.~~
 - ~~e. Projecting roofs (minimum of twelve inches).~~
 - ~~f. Recesses.~~
 - ~~g. Bay windows.~~
 - ~~h. Variation in roof materials, color, pitch, or aspect.~~
 - ~~i. Balconies~~
 - ~~j. Covered porch or patio.~~
 - ~~k. Dormers))~~
- i. Varied building heights.
 - ii. Use of different materials.
 - iii. Different colors.
 - iv. Offsets.
 - v. Projecting roofs (minimum of twelve inches).
 - vi. Recesses.
 - vii. Bay windows or bump-outs.
 - viii. Variation in roof materials, color, pitch, or aspect.
 - ix. Balconies
 - x. Covered porch or patio.
 - xi. Dormers

Figure 17C.111.325-((A))B. Building Articulation for Long Facades

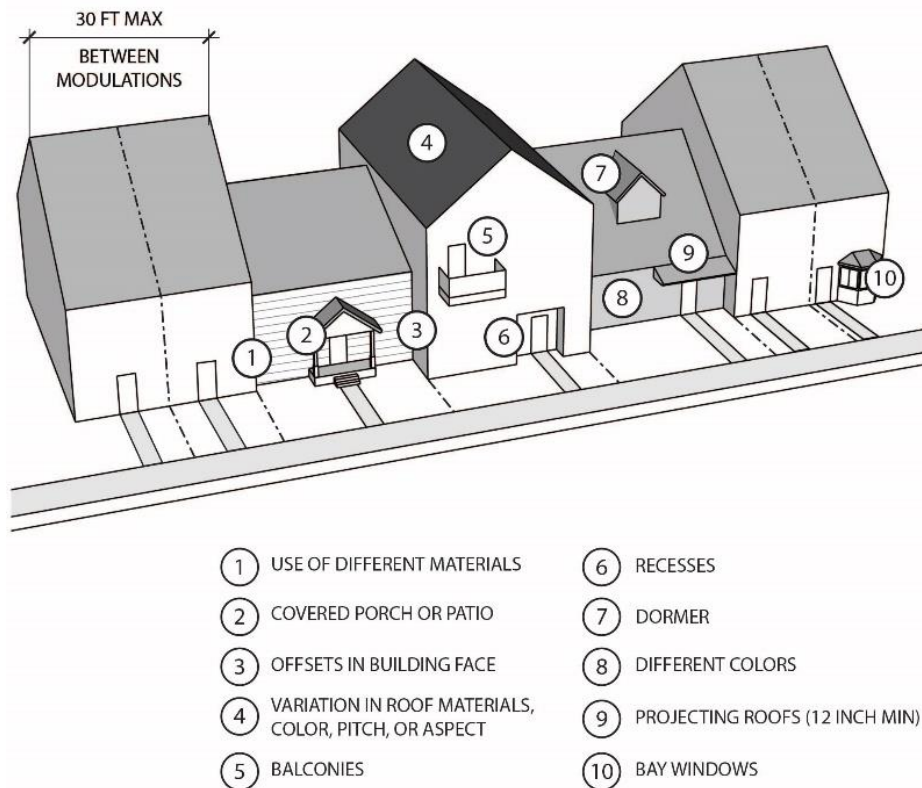
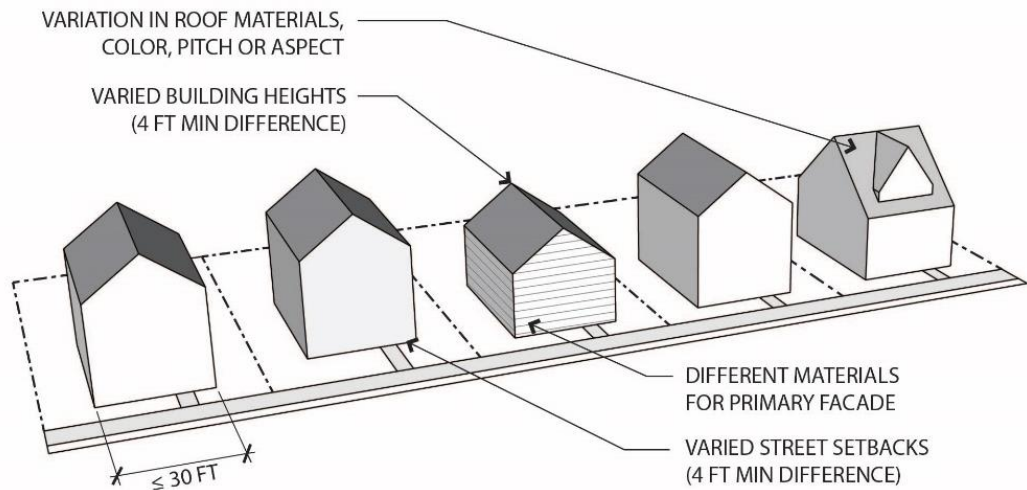


TABLE 17C.111.325-1 BUILDING ARTICULATION		
<u>Street-Facing Facade Width</u>	<u>Requirements</u>	<u>Total Number of Elements</u>
<u>Less than 30 feet</u>	<u>No modulation required from subsection (C)(1)</u> <u>No design features required from subsection (C)(3)</u>	<u>0</u>
<u>30-40 feet (not including 40 feet)</u>	<u>No modulation required from subsection (C)(1)</u> <u>One design feature required from subsection (C)(3)</u> <u>(modulation feature under (C)(1) may also meet this requirement)</u>	<u>1</u>
<u>40-60 feet (not including 60 feet)</u>	<u>One modulation required from subsection (C)(1)</u> <u>One additional design feature required from subsection (C)(3)</u>	<u>2</u>
<u>60-80 feet (not including 80 feet)</u>	<u>One modulation required from subsection (C)(1)</u> <u>Two additional design features required from subsection (C)(3)</u>	<u>3</u>
<u>80-90 feet (not including 90 feet)</u>	<u>Two modulations required from subsection (C)(1)</u> <u>One additional design feature required from subsection (C)(3)</u>	<u>3</u>
<u>90 feet or more</u>	<u>Two or more modulations required from subsection (C)(1), see subsection (C)(1) for further guidance</u> <u>Two or more additional design features required from subsection (C)(3), see subsection (C)(3) for further guidance</u>	<u>4+</u>

~~((4. The following standard applies when detached housing units or individual units of attached housing have street-facing facades that are thirty feet or less in width. Each such unit shall provide variation from adjacent units by using one or more of the following design features (see Figure 17C.111.325-B):~~

- ~~a. Street setbacks that differ by at least four feet.~~
- ~~b. Building heights that differ by at least four feet.~~
- ~~c. Use of different materials for the primary façade.~~
- ~~d. Variation in roof materials, color, pitch, or aspect.~~

~~Figure 17C.111.325-B. Building Variation for Narrow Facades))~~



Note: Graphic to be removed

~~((5. Development should reduce the potential impact of new housing on established and historic neighborhoods by incorporating elements and forms from nearby buildings. This may include reference to architectural details, building massing, proportionality, and use of high-quality materials such as wood, brick, and stone. (C)))~~

D. Consideration for Historic Features.

Development should reduce the potential impact of new housing on established and historic neighborhoods by incorporating elements and forms from nearby buildings. This may include reference to architectural details, building massing, proportionality, and use of high-quality materials such as wood, brick, and stone. (C)

PURPOSE OF AMENDMENT: The amendment of Section 2 is a simple wording change of the footnote to add clarity to SMC 17C.111.205. There are no substantive changes to this section.

The amendment of Section 9 is a further revision of SMC 17C.111.325 to add clarity to a section of BOH that has been difficult to administer. The changes to Table 17C.111.325-1 are to improve clarity and understanding of the requirements. There is one substantive change, which retains the requirement for certain design features at 30 feet in subsection (C)(3), as found in the current code (as opposed to 40 feet in the proposal as filed).