

THE CITY OF SPOKANE



ADVANCE COUNCIL AGENDA

MEETING OF MONDAY, MAY 12, 2014

MISSION STATEMENT

**TO DELIVER EFFICIENT AND EFFECTIVE SERVICES
THAT FACILITATE ECONOMIC OPPORTUNITY
AND ENHANCE QUALITY OF LIFE.**

MAYOR DAVID A. CONDON

COUNCIL PRESIDENT BEN STUCKART

COUNCIL MEMBER MICHAEL A. ALLEN

COUNCIL MEMBER CANDACE MUMM

COUNCIL MEMBER JON SNYDER

COUNCIL MEMBER MIKE FAGAN

COUNCIL MEMBER STEVE SALVATORI

COUNCIL MEMBER AMBER WALDREF

COUNCIL CHAMBERS
CITY HALL

808 W. SPOKANE FALLS BLVD.
SPOKANE, WA 99201

CITY COUNCIL BRIEFING SESSION

Council will adopt the Administrative Session Consent Agenda after they have had appropriate discussion. Items may be moved to the 6:00 p.m. Legislative Session for formal consideration by the Council at the request of any Council Member.

SPOKANE CITY COUNCIL BRIEFING SESSIONS (BEGINNING AT 3:30 P.M. EACH MONDAY) AND LEGISLATIVE SESSIONS (BEGINNING AT 6:00 P.M. EACH MONDAY) ARE BROADCAST LIVE ON CITY CABLE CHANNEL FIVE AND STREAMED LIVE ON THE CHANNEL FIVE WEBSITE. THE SESSIONS ARE REPLAYED ON CHANNEL FIVE ON WEDNESDAYS AT 6:00 P.M. AND FRIDAYS AT 10:00 A.M.

The Briefing Session is open to the public, but will be a workshop meeting. Discussion will be limited to Council Members and appropriate Staff and Counsel. There will be an opportunity for the expression of public views on any issue not relating to the Current or Advance Agendas during the Open Forum at the beginning and the conclusion of the Legislative Agenda.

ADDRESSING THE COUNCIL

- No one may speak without first being recognized for that purpose by the Chair. Except for named parties to an adjudicative hearing, a person may be required to sign a sign-up sheet as a condition of recognition.
- Each person speaking at the public microphone shall print his or her name and address on the sheet provided at the podium and verbally identify him/herself by name, address and, if appropriate, representative capacity.
- If you are submitting letters or documents to the Council Members, please provide a minimum of ten copies via the City Clerk. The City Clerk is responsible for officially filing and distributing your submittal.
- In order that evidence and expressions of opinion be included in the record and that decorum befitting a deliberative process be maintained, modes of expression such as demonstration, banners, applause and the like will not be permitted.
- A speaker asserting a statement of fact may be asked to document and identify the source of the factual datum being asserted.

SPEAKING TIME LIMITS: Unless deemed otherwise by the Chair, each person addressing the Council shall be limited to a three-minute speaking time.

CITY COUNCIL AGENDA: The City Council Advance and Current Agendas may be obtained prior to Council Meetings from the Office of the City Clerk during regular business hours (8 a.m. - 5 p.m.). The Agenda may also be accessed on the City website at www.spokanecity.org. Agenda items are available for public review in the Office of the City Clerk during regular business hours.

AMERICANS WITH DISABILITIES ACT (ADA) INFORMATION: The City of Spokane is committed to providing equal access to its facilities, programs and services for persons with disabilities. The Spokane City Council Chamber in the lower level of Spokane City Hall, 808 W. Spokane Falls Blvd., is wheelchair accessible and also is equipped with an infrared assistive listening system for persons with hearing loss. Headsets may be checked out (upon presentation of picture I.D.) at the City Cable 5 Production Booth located on the First Floor of the Municipal Building, directly above the Chase Gallery or through the meeting organizer. Individuals requesting reasonable accommodations or further information may call, write, or email Gita George-Hatcher at (509) 625-7083, 808 W. Spokane Falls Blvd, Spokane, WA, 99201; or ggeorge-hatcher@spokanecity.org. Persons who are deaf or hard of hearing may contact Ms. George-Hatcher at (509) 625-7083 through the Washington Relay Service at 7-1-1. Please contact us forty-eight (48) hours before the meeting date.

If you have questions, please call the Agenda Hotline at 625-6350.

BRIEFING SESSION

(3:30 p.m.)

(Council Chambers Lower Level of City Hall)

(No Public Testimony Taken)

Council Reports

Staff Reports

Committee Reports

Advance Agenda Review

Current Agenda Review

ADMINISTRATIVE SESSION

Roll Call of Council

CONSENT AGENDA

REPORTS, CONTRACTS AND CLAIMS

RECOMMENDATION

- | | | |
|---|--------------------------------|--|
| <p>1. Renew Blanket Order with Neptune Technologies Group (Tallasse, AL) for Neptune Water Meters, Registers and parts for the Water & Hydroelectric Services Department—Estimated annual expenditure \$750,000 (incl. tax). Lynn Shupe</p> | <p>Approve</p> | <p>OPR 2014-0365
BID 3675-10</p> |
| <p>2. Setting Final Assessment Roll Hearings before the Hearing Examiner for June 10, 2014, at:</p> <p>a. 1:30 p.m. for street improvements for Riverside Avenue from Altamont Street to Cook Street; Cook Street from Sprague Avenue to Riverside Avenue.
Gary Nelson</p> <p>b. 2:30 p.m. for street improvements of 25th Avenue from Freya Street to one-half block east of Rebecca Street.
Gary Nelson</p> <p>c. 3:30 p.m. for street improvements of Cochran Street from 16th Avenue to 15th Avenue and 15th Avenue from Lindeke Street to Cochran Street.
Gary Nelson</p> | <p>Set Hrgs.
6/10/2014</p> | <p>PRO 2012-0019
LID 2012049</p> <p>PRO 2012-0014
LID 2011165</p> <p>PRO 2012-0097
LID 2012099</p> |

- 3. Low Bid of Spokane Rock Products, Inc. (Spokane Valley, WA) for Grand Boulevard—McClellan Street from 14th Avenue to 8th Avenue—\$965,792.55 (plus tax). An administrative reserve of \$96,579.25 (plus tax), which is 10% of the contract price (plus tax), will be set aside.
Gary Nelson Approve PRO 2014-0020
ENG 2012114

- 4. Change Order No. 8 to contract with N & N Excavation, LLC (Spokane Valley, WA) for Euclid Avenue from Mayfair Street to Crestline Street Water Main Replacement—increase of \$35,025, or 1.8% and six working days. Total cost to date: \$2,187,620.82.
Ken Brown Approve PRO 2013-0010
ENG 2012086

- 5. Agreement to accept reimbursement of an officer's salary from the Washington State Criminal Justice Training Commission (Burien, WA) from January 1, 2014, to July 31, 2015—Estimated revenue \$170,774.
Rick Dobrow Approve OPR 2014-0366

- 6. Contract with Blumenthal Uniforms Co. (Spokane, WA) from April 1, 2014 to March 31, 2015, for light, mid-weight and heavy jumpsuits for Police Department—Estimated annual expense \$150,000.
Tim Schwering Approve OPR 2014-0367

- 7. Report of the Mayor of pending claims and payments of previously approved obligations, including those of Parks and Library, through _____, 2014, total \$_____, with Parks and Library claims approved by their respective boards. Warrants excluding Parks and Library total \$_____.

EXECUTIVE SESSION

(Closed Session of Council)

(Executive Session may be held or reconvened during the 6:00 p.m. Legislative Session)

CITY COUNCIL SESSION

(May be held or reconvened following the 3:30 p.m. Administrative Session)

(Council Briefing Center)

This session may be held for the purpose of City Council meeting with Mayoral nominees to Boards and/or Commissions. The session is open to the public.

LEGISLATIVE SESSION

(6:00 P.M.)

(Council Reconvenes in Council Chamber)

WORDS OF INSPIRATION

PLEDGE OF ALLEGIANCE

ROLL CALL OF COUNCIL

ANNOUNCEMENTS

(Announcements regarding Changes to the City Council Agenda)

BOARDS AND COMMISSIONS APPOINTMENTS

(Includes Announcements of Boards and Commissions Vacancies)

APPOINTMENTS

RECOMMENDATION

Plan Commission: Three Appointments

Confirm

CPR 1981-0295

Library Board: One Appointment

Confirm

CPR 1981-0400

CITY ADMINISTRATION REPORT

COUNCIL COMMITTEE REPORTS

(Committee Reports for Finance, Neighborhoods, Public Safety, Public Works, and Planning/Community and Economic Development Committees and other Boards and Commissions)

OPEN FORUM

This is an opportunity for citizens to discuss items of interest not relating to the Current or Advance Agendas nor relating to political campaigns/items on upcoming election ballots. This Forum shall be for a period of time not to exceed thirty minutes. After all the matters on the Agenda have been acted on, unless it is 10:00 p.m. or later, the open forum shall continue for a period of time not to exceed thirty minutes. Each speaker will be limited to three minutes, unless otherwise deemed by the Chair. If you wish to speak at the forum, please sign up on the sign-up sheet located in the Chase Gallery.

LEGISLATIVE AGENDA

NO EMERGENCY BUDGET ORDINANCES

NO EMERGENCY ORDINANCES

RESOLUTIONS

(Require Four Affirmative, Recorded Roll Call Votes)

- RES 2014-0053 Recognizing the *Logan Neighborhood Identity Plan and Model Form-Based Code for Hamilton Corridor* as a declaration by the community members of the City of Spokane Logan neighborhood council area of the priorities and desired future condition of their neighborhood that provides direction for City service delivery, capital improvement planning and focused growth land use implementation. **Boris Borisov**
- RES 2014-0054 Approving the appointment of Al Vorderbrueggen as Recreation Director for the Parks and Recreation Division. **Leroy Eadie**

NO FINAL READING ORDINANCES

FIRST READING ORDINANCES

(No Public Testimony Will Be Taken)

- ORD C35096 Relating to the establishment of fire departments within the fire division; repealing Spokane Municipal Code Sections 3.01A.270, 3.01A.275, 3.01A.280, 3.01A.285, 3.01A.290, 3.01A.295 and 3.01A.300. **Council President Stuckart**
- ORD C35097 Relating to mobile food vendors, providing regulations, conditions and licensing requirements for mobile food vending; adopting a new Chapter 10.51 to Title 10 of the Spokane Municipal Code; amending Spokane Municipal Code 10.40.010; adopting a new Spokane Municipal Code 8.02.0233 to Chapter 08.02 Spokane Municipal Code; amending Appendix B in Spokane Municipal Code 4.31.040; and amending Spokane Municipal Code 1.05.160, Penalty Schedule – Land Use Violation. **Andrew Worlock**
- ORD C35098 Relating to mobile food vending within the commercial, industrial, downtown and center and corridor zones, allowing mobile food vending as a limited use in these zones; and amending Spokane Municipal Code Sections 17C.120.100, 17C.120.110, 17C.120.270, 17C.122.070, 17C.124.100, 17C.124.110, 17C.130.100, 17C.130.110, and 17C.319.100; adopting a new Spokane Municipal Code Section 245 to chapter 17C.190 and adopting a new Chapter 17C.380 to Title 17C of the Spokane Municipal Code. **Andrew Worlock**

FURTHER ACTION DEFERRED

NO SPECIAL CONSIDERATIONS

NO HEARINGS

**Motion to Approve Advance Agenda for May 12, 2014
(per Council Rule 2.1.2)**

OPEN FORUM (CONTINUED)

This is an opportunity for citizens to discuss items of interest not relating to the Current or Advance Agendas nor relating to political campaigns/items on upcoming election ballots. This Forum shall be for a period of time not to exceed thirty minutes. After all the matters on the Agenda have been acted on, unless it is 10:00 p.m. or later, the open forum shall continue for a period of time not to exceed thirty minutes. Each speaker will be limited to three minutes, unless otherwise deemed by the Chair. If you wish to speak at the forum, please sign up on the sign-up sheet located in the Chase Gallery.

ADJOURNMENT

The May 12, 2014, Regular Legislative Session of the City Council is adjourned to May 19, 2014.

NOTES



Agenda Sheet for City Council Meeting of:

05/12/2014

<u>Date Rec'd</u>	4/18/2014
<u>Clerk's File #</u>	OPR 2014-0365
<u>Renews #</u>	OPR 2013-0320
<u>Cross Ref #</u>	
<u>Project #</u>	
<u>Bid #</u>	3675-10
<u>Requisition #</u>	VB

<u>Submitting Dept</u>	WATER & HYDROELECTRIC SERVICES
<u>Contact Name/Phone</u>	LYNN SHUPE 625-7851
<u>Contact E-Mail</u>	LSHUPE@SPOKANECITY.ORG
<u>Agenda Item Type</u>	Purchase w/o Contract
<u>Agenda Item Name</u>	4100 - RENEWAL OF NEPTUNE TECHNOLOGIES VB

Agenda Wording
 Renew Blanket Order with Neptune Technologies Group (Tallassee, AL) for Neptune Water Meters, Registers and parts for the City of Spokane Water & Hydroelectric Services Department. Estimated annual expenditure - \$750,000 including tax.

Summary (Background)
 On March 1, 2010 sealed bids were opened to provide the City of Spokane Water & Hydroelectric Services Department with an annual supply of Neptune Water Meters, Registers and parts to be purchased as needed on a Value Blanket Order. The bid allowed for four (4) one-year renewals - this is the fourth renewal. Pricing will remain the same as last year

<u>Fiscal Impact</u>	<u>Budget Account</u>
Expense \$ 750,000.00	# 4100-42430-94000-56595
Select \$	#
Select \$	#
Select \$	#

<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	KEGLEY, DANIEL	<u>Study Session</u>	
<u>Division Director</u>	ROMERO, RICK	<u>Other</u>	PWC - 4/28/2014
<u>Finance</u>	LESESNE, MICHELE	<u>Distribution List</u>	
<u>Legal</u>	WHALEY, HUNT	tprince	
<u>For the Mayor</u>	SANDERS, THERESA	acline	
<u>Additional Approvals</u>		dkegley	
<u>Purchasing</u>	WAHL, CONNIE	rburchell	
		taxes & licenses	

CITY OF SPOKANE REQUEST FOR BIDS

PART I. PRICING PAGE

TO: PURCHASING, CITY OF SPOKANE

BID NAME: NEPTUNE WATER METERS, REGISTERS AND PARTS

BID NO: 3674-10

The undersigned agrees to furnish the following items at the prices stated, subject to the conditions and requirements of this Bid.

ITEM NO.	QTY	DESCRIPTION	UNIT PRICE	TOTAL
I		NEPTUNE WATER METERS -- COMMERICAL METERS NSF 61 COMPLIANT		
	2 EA	4" PROTECTUS III METER P/R PIT REGS W/PIT RECEPTACLE 4 WHL - PRODUCT #EP4C1R7F5	\$5,149.97	\$10,299.94
	1 EA	4" PROTECTUS III METER P/R PIT REGS W/25' PIGTAIL 4WHL - PRODUCT #EP4C1R7F6SG55	\$5,149.97	\$5,149.97
	1 EA	4" PROTECTUS III METER P/R PIT REGS W/18" PIGTAIL 4WHL - PRODUCT #EP4C1R7F6	\$5,149.97	\$5,149.97
	5 EA	6" PROTECTUS III METER P/R PIT REGS W/PIT RECEPTACLE 4WHL - PRODUCT #EP4D1R7F5	\$7,263.38	\$36,316.90
	5 EA	6" PROTECTUS III METER P/R PIT REGS W/25' PIGTAIL 4WHL - PRODUCT #EP4D1R7F6SG55	\$7,263.38	\$36,316.90
	5 EA	6" PROTECTUS III METER P/R PIT REGS W/18" PIGTAIL 4WHL - PRODUCT #EP4D1R7F6	\$7,263.38	\$36,316.90
	3 EA	8" PROTECTUS III METER P/R PIT REGS W/PIT RECEPTACLE 4WHL - PRODUCT #EP4E1R7F5	\$9,570.25	\$28,710.75
	3 EA	8" PROTECTUS III METER P/R PIT REGS W/25' PIGTAIL 4WHL - PRODUCT #EP4E1R7F6SG55	\$9,570.25	\$28,710.75
	3 EA	8" PROTECTUS III METER P/R PIT REGS W/18" PIGTAIL 4WHL - PRODUCT #EP4E1R7F6	\$9,570.25	\$28,710.75
	1 EA	10" PROTECTUS III METER P/R PIT REGS W/PIT RECEPTACLE 4 WHL - PRODUCT #EP4F1R7F5	\$13,995.00	\$13,995.00
	1 EA	10" PROTECTUS III METER P/R PIT REGS W/25' PIGTAIL 4WHL - PRODUCT #EP4F1R7F6SG55	\$13,995.00	\$13,995.00
	1 EA	10" PROTECTUS III METER P/R PIT REGS W/18" PIGTAIL 4WHL - PRODUCT #EP4F1R7F6	\$13,995.00	\$13,995.00

ITEM NO.	QTY	DESCRIPTION	UNIT PRICE	TOTAL
	15 EA	1-1/2" HP TURBINE METER P/R PIT REG W/PIT RECEPTACLE 4WHL - PRODUCT #ET4HR7F5	\$353.85	\$5,307.75
	15 EA	1-1/2" HP TURBINE METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #ET4HR7F6SG55	\$353.85	\$5,307.75
	15 EA	1-1/2" HP TURBINE METER P/R PIT REG W/18" PIGTAIL 4WHL - PRODUCT #ET4HR7F6	\$353.85	\$5,307.75
	35 EA	2" HP TURBINE METER P/R PIT REG W/PIT RECEPTACLE 4WHL - PRODUCT #ET4AR7F5	\$432.04	\$15,121.40
	35 EA	2" HP TURBINE METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #ET4AR7F6SG55	\$432.04	\$15,121.40
	35 EA	2" HP TURBINE METER P/R PIT REG W/18" PIGTAIL 4WHL - PRODUCT #ET4AR7F6	\$432.04	\$15,121.40
	3 EA	3" HP TURBINE METER P/R PIT REG W/PIT RECEPTACLE 4WHL - PRODUCT #ET4BR7F5	\$614.52	\$1,843.56
	3 EA	3" HP TURBINE METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #ET4BR7F6SG55	\$614.52	\$1,843.56
	3 EA	3" HP TURBINE METER P/R PIT REG W/18" PIGTAIL 4WHL - PRODUCT #ET4BR7F6	\$614.52	\$1,843.56
	3 EA	4" HP TURBINE METER P/R PIT REG W/PIT RECEPTACLE 4WHL - PRODUCT #ET4CR7F5	\$1,093.65	\$3,280.95
	3 EA	4" HP TURBINE METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #ET4CR7F6SG55	\$1,093.65	\$3,280.95
	3 EA	4" HP TURBINE METER P/R PIT REG W/18" PIGTAIL 4WHL - PRODUCT #ET4CR7F6	\$1,093.65	\$3,280.95
	2 EA	6" HP TURBINE METER P/R PIT REG W/PIT RECEPTACLE 4WHL - PRODUCT #ET4DR7F5	\$2,838.99	\$5,677.98
	2 EA	6" HP TURBINE METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #ET4DR7F6SG55	\$2,838.99	\$5,677.98
	2 EA	6" HP TURBINE METER P/R PIT REG W/18" PIGTAIL 4WHL - PRODUCT #ET4DR7F6	\$2,838.99	\$5,677.98
	1 EA	8" HP TURBINE METER P/R PIT REG W/PIT RECEPTACLE 4WHL - PRODUCT #ET4ER7F5	\$4,312.48	\$4,312.48
	1 EA	8" HP TURBINE METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #ET4ER7F6SG55	\$4,312.48	\$4,312.48
	1 EA	8" HP TURBINE METER P/R PIT REG W/18" PIGTAIL 4WHL - PRODUCT #ET4ER7F6	\$4,312.48	\$4,312.48
	3 EA	2" TRU/FLO METER P/R PIT REG W/PIT RECEPTACLE 4WHL - PRODUCT #EC2AR7F5	\$1,248.58	\$3,745.74

ITEM NO.	QTY	DESCRIPTION	UNIT PRICE	TOTAL
	3 EA	2" TRU-FLO METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #EC2AR7F6SG55	\$1,248.58	\$3,745.74
	3 EA	2" TRU-FLO METER P/R PIT REG W/18" PIGTAIL 4WHL - PRODUCT #EC2AR7F6	\$1,248.58	\$3,745.74
	12 EA	3" TRU/FLO METER P/R PIT REG W/PIT RECEPTACLE 4WHL - PRODUCT #EC3BR7F5	\$1,704.75	\$20,457.00
	12 EA	3" TRU/FLO METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #EC3BR7F6SG55	\$1,704.75	\$20,457.00
	12 EA	3" TRU/FLO METER P/R PIT REG W/18" PIGTAIL 4WHL - PRODUCT #EC3BR7F6	\$1,704.75	\$20,457.00
	12 EA	4" TRU/FLO METER P/R PIT REG W/PIT RECEPTACLE 4WHL - PRODUCT #EC3CR7F5	\$2,380.44	\$28,565.28
	12 EA	4" TRU/FLO METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #EC3CR7F6SG55	\$2,380.44	\$28,565.28
	12 EA	4" TRU/FLO METER P/R PIT REG W/18" PIGTAIL 4WHL - PRODUCT #EC3CR7F6	\$2,380.44	\$28,565.28
	1 EA	6" TRU/FLO METER P/R PIT REG W/PIT RECEPTACLE 4WHL - PRODUCT #EC3DR7F5	\$3,926.89	\$3,926.89
	1 EA	6" TRU/FLO METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #EC3DR7F6SG55	\$3,926.89	\$3,926.89
	1 EA	6" TRU/FLO METER P/R PIT REG W/18" PIGTAIL 4WHL - PRODUCT #EC3DR7F6	\$3,926.89	\$3,926.89
	1 EA	FIRE HYDRANT METER W/NST COUPLINGS - PRODUCT #ET2BR8F1SB32	\$737.54	\$737.54
		RESIDENTIAL METERS		
	350 EA	5/8" T10 METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #ED2B31R7F6SG55	\$82.61	\$28,913.50
	350 EA	5/8" T10 METER P/R PIT REG W/PIT RECEPTACLE 4WHL - PRODUCT #ED2B31R7F5	\$82.61	\$28,913.50
	350 EA	5/8" T10 METER P/R PIT REG W/18" PIGTAIL 4WHL - PRODUCT #ED2B31R7F6	\$82.61	\$28,913.50
	250 EA	3/4" T10 METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #ED2C11R7F6SG55	\$123.48	\$30,870.00
	250 EA	3/4" T10 METER P/R PIT REG W/PIT RECEPTACLE 4WHL - PRODUCT #ED2C11R7F5	\$123.48	\$30,870.00
	250 EA	3/4" T10 METER P/R PIT REG W/18" PIGTAIL 4WHL - PRODUCT #ED2C11R7F6	\$123.48	\$30,870.00
	300 EA	1" T10 METER P/R PIT REG W/25' PIGTAIL 4WHL - PRODUCT #ED2F11R7F6SG55	\$172.04	\$51,612.00

ITEM NO.	QTY	DESCRIPTION	UNIT PRICE	TOTAL
	300 EA	1" T10 METER P/R PIT REG W/PIT RECEPTACLE 4WHL – PRODUCT #ED2F11R7F5	\$172.04	\$51,612.00
	300 EA	1" T10 METER P/R PIT REG W/18" PIGTAIL 4WHL – PRODUCT #ED2F11R7F6	\$172.04	\$51,612.00
	35 EA	1-1/2" T10 METER P/R PIT REG W/25' PIGTAIL 4WHL – PRODUCT #ED2H11R7F6SG55	\$301.90	\$10,566.50
	35 EA	1-1/2" T10 METER P/R PIT REG W/PIT RECEPTACLE 4WHL – PRODUCT #ED2H11R7F5	\$301.90	\$10,566.50
	35 EA	1-1/2" T10 METER P/R PIT REG W/18" PIGTAIL 4WHL – PRODUCT #ED2H11R7F6	\$301.90	\$10,566.50
	35 EA	2" T10 METER P/R PIT REG W/25' PIGTAIL 4WHL – PRODUCT #ED2J11R7F6SG55	\$400.05	\$14,001.75
	35 EA	2" T10 METER P/R PIT REG W/PIT RECEPTACLE 4WHL – PRODUCT #ED2J11R7F5	\$400.05	\$14,001.75
	35 EA	2" T10 METER P/R PIT REG W/18" PIGTAIL 4WHL – PRODUCT #ED2J11R7F6	\$400.05	\$14,001.75
TOTAL ITEM I:				\$934,013.71
II		NEPTUNE REGISTERS		
	10 EA	3/4" T8 & 4" T/F DISC PRO-READ REGISTERS 4WHL – PRODUCT #R61F21	\$66.78	\$667.80
	200 EA	5/8" T10 PRO-READ PIT REGISTERS 4WHL – PRODUCT #R72F11	\$66.78	\$13,356.00
	200 EA	3/4" T10 PRO-READ PIT REGISTERS 4WHL – PRODUCT #R72F21	\$66.78	\$13,356.00
	200 EA	1" T10 PRO-READ PIT REGISTERS 4WHL – PRODUCT #R72F31	\$66.78	\$13,356.00
	100 EA	1-1/2" T10 PRO-READ PIT REGISTERS 4WHL – PRODUCT #R72F41	\$66.78	\$6,678.00
	100 EA	2" T10 PRO-READ PIT REGISTERES 4WHL – PRODUCT #R72F51	\$66.78	\$6,678.00
	10 EA	3" TRIDENT TURBINE PRO-READ PIT REGISTERS 4WHL – PRODUCT #R73F21	\$66.78	\$667.80
	10 EA	4" TRIDENT TURBINE PRO-READ PIT REGISTERS 4WHL – PRODUCT #R73F31	\$66.78	\$667.80
	10 EA	6" TRIDENT TURBINE PRO-READ PIT REGISTERS 4WHL – PRODUCT #R73F41	\$66.78	\$667.80
	25 EA	2" HP TURBINE PRO-READ PIT REGISTERS 4WHL – PRODUCT #R75F11	\$66.78	\$1,669.50

ITEM NO.	QTY	DESCRIPTION	UNIT PRICE	TOTAL
	25 EA	3" HP TURBINE PRO-READ PIT REGISTERS 4WHL - PRODUCT #R75F21	\$66.78	\$1,669.50
	25 EA	4" HP TURBINE PRO-READ PIT REGISTERS 4WHL - PRODUCT #R75F31	\$66.78	\$1,669.50
	25 EA	6" HP TURBINE PRO-READ PIT REGISTERS 4WHL - PRODUCT #R75F41	\$66.78	\$1,669.50
	10 EA	4" HPT PROTECTUS III PRO-READ PIT REGISTERS 4WHL - PRODUCT #R75M61	\$66.78	\$667.80
	10 EA	¾" T10 PRO-READ PIT REGISTERS FOR HPP3 4" 4WHL - PRODUCT #R78F21	\$66.78	\$667.80
	10 EA	6" HPT PROTECTUS III PRO-READ PIT REGISTERS 4WHL - PRODUCT #R75M71	\$66.78	\$667.80
	10 EA	2" T10 PRO-READ PIT REGISTERS FOR HPP3 6" 4WHL - PRODUCT #R78F41	\$66.78	\$667.80
	5 EA	8" HPT PROTECTUS III PRO-READ PIT REGISTERS 4WHL - PRODUCT #R75M81	\$66.78	\$333.90
	5 EA	10" HPT PROTECTUS III PRO-READ PIT REGISTERS 4WHL - PRODUCT #R75M91	\$66.78	\$333.90
	10 EA	2" T10 PRO-READ PIT REGISTERS FOR HPP3 8" & 10" 4WHL - PRODUCT #R78F51	\$66.78	\$667.80
TOTAL ITEM II:				\$66,780.00
III		STRAINERS		
	1 EA	3" BRONZE STRAINER - PRODUCT #53107-000	\$433.32	\$433.32
	1 EA	4" BRONZE STRAINER - PRODUCT #53107-100	\$530.00	\$530.00
	1 EA	6" BRONZE STRAINER - PRODUCT #52000-201	\$857.74	\$857.74
TOTAL ITEM III:				\$1,821.06
IV		MISCELLANEOUS & PARTS		
		READERS, PROGRAMMERS & ACCESSORIES		
	6 EA	CE5320B HANDHELD W/HR2650i RECEIVER - PRODUCT #12935-100	\$4,675.00	\$28,050.00
	6 EA	ETHERNET CRADLE AND POWER ADAPTER - CE5320B - PART #12638-000	\$425.00	\$2,550.00
	6 EA	HANDHELD FIELD PROGRAMMER MOUSE - PRODUCT #12913-000	\$500.00	\$3,000.00
	6 EA	PROGRAMMING ADAPTER - COILS TO TERMINALS - PRODUCT #12937-000	\$35.00	\$210.00

ITEM NO.	QTY	DESCRIPTION	UNIT PRICE	TOTAL
	1 EA	ADVANTAGE II PROBE/ARB V – COMPLETE – PRODUCT #12517-000	\$994.50	\$994.50
		PARTS		
	500 EA	MAXI PIT RECEPTACLE COMP – PRODUCT #11396-300	\$19.55	\$9,775.00
	1 EA	R900 WALL METER INTERFACE UNIT (DUAL PORT) – PRODUCT #12510-200	\$76.50	\$76.50
	200 EA	PRORECEPTACLE WALL ASSY BLACK – PRODUCT #12081-000	\$13.29	\$2,658.00
TOTAL ITEM IV:				\$47,314.00
TOTAL ITEMS 1 – IV:				\$1,058,928.77
WA SALES TAX (8.7 %)				\$92,126.80
GRAND TOTAL:				\$1,151,055.57
DISCOUNT PERCENTAGE FOR PARTS AND ITEMS NOT SPECIFICALLY CALLED OUT IN THIS BID DOCUMENT : <u>15%</u>				
CATALOG/PRICE LIST NUMBER AND DATE TO WHICH DISCOUNT APPLIES: <u>U676-15 EFFECTIVE FEBRUARY 2010 OR LATEST REVISION</u>				

PAYMENT: Net 30 days

DELIVERY: We (I) will deliver complete the above items within 30 days from receipt of order.

F.O.B. Delivery Point: Water Department Warehouse, 914 E North Foothills Drive, Spokane WA, 99207

ACCEPTANCE: The signing and submittal of Part 1 of this proposal shall be an indication of acknowledgement and acceptance of these terms and conditions and compliance shall be part of the bidders' proposal.

Firm Name: NEPTUNE TECHNOLOGY GROUP INC. Signature: *Lawrence M. Russo*

Mailing Address: 1600 ALABAMA HIGHWAY 229 By: LAWRENCE M. RUSSO
(Type or Print)

TALLASSEE, ALABAMA 36078 Title: VP, FINANCE

Phone: 334-283-6555 Date: FEBRUARY 25, 2010



Agenda Sheet for City Council Meeting of:

05/12/2014

<u>Date Rec'd</u>	4/30/2014
<u>Clerk's File #</u>	PRO 2012-0019
<u>Renews #</u>	
<u>Cross Ref #</u>	
<u>Project #</u>	2012049
<u>Bid #</u>	
<u>Requisition #</u>	

<u>Submitting Dept</u>	ENGINEERING SERVICES
<u>Contact Name/Phone</u>	GARY NELSON 625-6678
<u>Contact E-Mail</u>	GNELSON@SPOKANECITY.ORG
<u>Agenda Item Type</u>	Contract Item
<u>Agenda Item Name</u>	0370 SET FINAL HEARING - RIVERSIDE AVENUE

Agenda Wording
 Setting Hearing before the Hearing Examiner on Final Assessment Roll for June 10, 2014 at 1:30 p.m. for Street Improvements for Riverside Avenue from Altamont Street to Cook Street; Cook Street from Sprague Avenue to Riverside Avenue.

Summary (Background)
 See Attached

<u>Fiscal Impact</u>	<u>Budget Account</u>
Neutral \$	#
Select \$	#
Select \$	#
Select \$	#

<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	TWOHIG, KYLE	<u>Study Session</u>	
<u>Division Director</u>	QUINTRALL, JAN	<u>Other</u>	
<u>Finance</u>	LESESNE, MICHELE	<u>Distribution List</u>	
<u>Legal</u>	DALTON, PAT	lhattenburg@spokanecity.org	
<u>For the Mayor</u>	SANDERS, THERESA	mhughes@spokanecity.org	
<u>Additional Approvals</u>		cclark@spokanecity.org	
<u>Purchasing</u>		rreidinger@spokanecity.org	
		areid@spkanecity.org	
		htrautman@spokanecity.org	
		kmoat@spokanecity.org	

BACKGROUND: (Continued)

COMPLETED COST OF IMPROVEMENT	\$ 221,141.40
SALES TAX	267.53
ENGINEERING FEE	59,924.91
CITY CLERK	256.59
CITY TREASURER	2,450.00
ACCOUNTING	2,114.40
INTEREST	5,756.37
BONDS	30.00
ATTORNEY'S FEE	271.27
UTILITY RELOCATIONS	1,713.18
SOILS ANALYSIS	8,267.17
TOTAL PROJECT COST	\$ 302,192.82
10-YEAR STREET BOND	149,606.59
COMMUNITY DEVELOPMENT FUNDS	134,501.00
TOTAL NET PROJECT ASSESSMENT	\$ 18,085.23

This assessment roll has been prepared on a ten-year payment basis with dates for payment of assessments on October 1, 2014 and the bond issue date for November 1, 2014. The contract was awarded to Red Diamond Construction, and started August 8, 2013 and completed September 6, 2013. Ordinance No. C-34883 ordered this improvement on June 18, 2012.

CITY OF SPOKANE
 ENGINEERING SERVICES
 **** FINAL ASSESSMENT ROLL ****

FILE	PROJECT DESCRIPTION
2012049	Street Improvements for Riverside Avenue from Altamont Street to Cook Street; Cook Street from Sprague Avenue to Riverside Avenue

FILE	PROJECT DESCRIPTION	IMPROVEMENT TYPE
2012049 LID	Street Improvements for Riverside Avenue from Altamont Street to Cook Street; Cook Street from Sprague Avenue to Riverside Avenue	PAVING

COMPLETED COST OF IMPROVEMENT	\$ 221,141.40
SALES TAX	267.53
ENGINEERING FEE	59,924.91
CITY CLERK	256.59
CITY TREASURER	2,450.00
ACCOUNTING	2,114.40
INTEREST	5,756.37
BONDS	30.00
ATTORNEY'S FEE	271.27
UTILITY RELOCATIONS	1,713.18
SOILS ANALYSIS	8,267.17
TOTAL PROJECT COST	\$ 302,192.82
10-YEAR STREET BOND	149,606.59
COMMUNITY DEVELOPMENT FUNDS	134,501.00
TOTAL NET PROJECT ASSESSMENT	\$ 18,085.23

CITY OF SPOKANE
PUBLIC WORKS DEPARTMENT
***** FINAL ASSESSMENT ROLL *****

PBWK FILE		PROJECT DESCRIPTION		
2012049 LID		STREET IMPROVEMENTS FOR RIVERSIDE AVENUE FROM ALTAMONT STREET TO COOK STREET; COOK STREET FROM SPRAGUE AVENUE TO RIVERSIDE AVENUE		
1	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2003 / 35164.2003	SUB OF SEC 16 L5-6 B144	N 112 ALTAMONT ST	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
AMERICAN BUILDING MAINTENANCE W 8101 SAM HOUSTON #150 PK S HOUSTON TX 77072	AMERICAN BUILDING MAINTENANCE W 8101 SAM HOUSTON #150 PK S HOUSTON TX 77072	337.63		337.63
2	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2004 / 35164.2004	SUB OF SEC 16 L7 B144	N 108 ALTAMONT ST	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
AMERICAN BUILDING MAINTENANCE W 8101 SAM HOUSTON #150 PK S HOUSTON TX 77072	AM BLDG MAINT W 8101 SAM HOUSTON #150 PK S HOUSTON TX 77072	548.65		548.65
3	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2005 / 35164.2005	SUB OF SEC 16 L8 B144	E 2401 RIVERSIDE AV	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
AMERICAN BUILDING MAINTENANCE W 8101 SAM HOUSTON #150 PK S HOUSTON TX 77072	AMER BLDG MAINT W 8101 SAM HOUSTON #150 PK S HOUSTON TX 77072	970.69		970.69
4	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2006 / 35164.2006	SUB OF SEC 16 L9 B144	N 101 COOK ST	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
HESCO PROPERTIES, LLC W 1325 1ST STE 206 SPOKANE WA 99201	HESCO PROPERTIES, LLC W 1325 1ST STE 206 SPOKANE WA 99201	970.69	CONCRETE DRIVEWAY 204.43	1,175.12
5	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2007 / 35164.2007	SUB OF SEC 16 L10-11 B144	N 107 COOK ST	N

CITY OF SPOKANE
PUBLIC WORKS DEPARTMENT
***** FINAL ASSESSMENT ROLL *****

PBWK FILE

PROJECT DESCRIPTION

2012049 LID

STREET IMPROVEMENTS FOR RIVERSIDE AVENUE FROMALTAMONT STREET TO COOK STREET; COOK STREET
FROM SPRAGUE AVENUE TO RIVERSIDE AVENUE

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
HESCO PROPERTIES, LLC W 1325 1ST STE 206 SPOKANE WA 99201	HESCO PROPERTIES, LLC W 1325 1ST STE 206 SPOKANE WA 99201	759.67		759.67

6	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2008 / 35164.2008	SUB OF SEC 16 L12 B144	N 115 COOK ST	Y

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
PENN, VINCENT L PO BOX 4112 SPOKANE WA 99220	PENN, VINCENT L PO BOX 4112 SPOKANE WA 99220	126.61		126.61

7	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2101 / 35164.2101	SUB OF SEC 16 L2TO7 B147 INC VAC ALLEY WITHIN &INC W1/2 OFVA C ST E OF&ADJ L6-7	E 2503 RIVERSIDE AV	Y

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
ECLIPSE AERONAUTICAL CORP E 2503 RIVERSIDE SPOKANE WA 99202	ECLIPSE AERONAUTICAL CORP E 2503 RIVERSIDE SPOKANE WA 99202	294.16	CONCRETE CURB 347.70	641.86

8	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2501 / 35164.2501	SUB OF SEC 16 L1 B146	E 2504 RIVERSIDE AV	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
CITY OF SPOKANE W 808 SPOKANE FALLS BLV SPOKANE WA 99201	CITY OF SPOKANE W 808 SPOKANE FALLS BLV SPOKANE WA 99201	879.74		879.74

9	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2502 / 35164.2502	SUB OF SEC 16 L2 B146	E 2508 RIVERSIDE AV	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
CITY OF SPOKANE W 808 SPOKANE FALLS RM 650B	CITY OF SPOKANE W 808 SPOKANE FALLS RM 650B	451.76		451.76

PBWK FILE		PROJECT DESCRIPTION		
2012049 LID		STREET IMPROVEMENTS FOR RIVERSIDE AVENUE FROM ALTAMONT STREET TO COOK STREET; COOK STREET FROM SPRAGUE AVENUE TO RIVERSIDE AVENUE		
SPOKANE WA 99201-3333		SPOKANE WA 99201-3333		
10	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2503 / 35164.2503	SUB OF SEC 16 L3 B146	E 2512 RIVERSIDE AV	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
TORMINO, DOROTHY E 2706 VERNON CT SPOKANE WA 99223-	TORMINO, DOROTHY E 2706 VERNON CT SPOKANE WA 99223-	166.44		166.44
11	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2509 / 35164.2509	SUB OF SEC 16 L9-10B146	E 2515 SPRAGUE AV	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
SPRAGUE E 2515, LLC PO BOX 9328 SPOKANE WA 99209	SPRAGUE E 2515, LLC PO BOX 9328 SPOKANE WA 99209	166.44		166.44
12	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2510 / 35164.2510	SUB OF SEC 16 L11-12 B146	E 2503 SPRAGUE AV	Y
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
INLAND NORTHWEST INVESTMENTS, E 15018 SHELLY CT VERADALE WA 99037	INLAND NORTHWEST INVESTMENTS, E 15018 SHELLY CT VERADALE WA 99037	1,331.50	CONCRETE DRIVEWAY 342.57 HMA TRANSITION 776.94	2,451.01
13	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2601 / 35164.2601	SUB OF SEC 16 L1 B145	N 20 ALTAMONT ST	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
WANG, JENN-HWAN & SHIAO-YULEE E 4909 17TH CT SPOKANE WA 99223-1036	WANG LIVING TRUST E 4909 17TH CRT SPOKANE WA 99223	594.42	CONCRETE DRIVEWAY 211.09 WATER SERVICE 1,259.94	2,065.45
14	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2602 / 35164.2602	SUB OF SEC 16 L2 B145	E 2408 RIVERSIDE AV	N

PBWK FILE

PROJECT DESCRIPTION

2012049 LID

STREET IMPROVEMENTS FOR RIVERSIDE AVENUE FROMALTAMONT STREET TO COOK STREET; COOK STREET
FROM SPRAGUE AVENUE TO RIVERSIDE AVENUE

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
CITY OF SPOKANE	CITY OF SPOKANE	594.42		1,245.05
W 808 SPOKANE FALLS BLV SPOKANE WA 99201-3333USA	W 808 SPOKANE FALLS BLV SPOKANE WA 99201-3333USA		CONCRETE DRIVEWAY 526.69 CSBC TRANSITION 123.94	

15	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2603 / 35164.2603	SUB OF SEC 16 L3 B145	E 2410 RIVERSIDE AV	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
CITY OF SPOKANE	CITY OF SPOKANE	594.42		1,866.72
W 808 SPOKANE FALLS BLV SPOKANE WA 99201-3333USA	W 808 SPOKANE FALLS BLV SPOKANE WA 99201-3333USA		WATER SERVICE 1,272.30	

16	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2604 / 35164.2604	SUB OF SEC 16 L4 B145	E 2418 RIVERSIDE AV	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
CITY OF SPOKANE	CITY OF SPOKANE	594.42		594.42
W 808 SPOKANE FALLS BLV SPOKANE WA 99201-3333USA	W 808 SPOKANE FALLS BLV SPOKANE WA 99201-3333USA			

17	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2607 / 35164.2607	SUB OF SEC 16 L7 B145	E 2429 SPRAGUE AV	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
FANG-RU, CHEN	CHEN, FANG-RU	874.04		874.04
E 2429 SPRAGUE AVE SPOKANE WA 99202-3934USA	E 2429 SPRAGUE AVE SPOKANE WA 99202			

18	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2608 / 35164.2608	SUB OF SEC 16 L8 B145	E 2423 SPRAGUE AV	Y

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
WAITING, GREGORY C & CINDY A	WAITING, GREGORY C & CINDY A	447.48		447.48
E 2423 SPRAGUE AVE SPOKANE WA 99202	E 2423 SPRAGUE AVE SPOKANE WA 99202			

CITY OF SPOKANE
PUBLIC WORKS DEPARTMENT
***** FINAL ASSESSMENT ROLL *****

PBWK FILE

PROJECT DESCRIPTION

2012049 LID

STREET IMPROVEMENTS FOR RIVERSIDE AVENUE FROM ALTAMONT STREET TO COOK STREET; COOK STREET
FROM SPRAGUE AVENUE TO RIVERSIDE AVENUE

19	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2609 / 35164.2609	SUB OF SEC 16 L9 B145	E 2417 SPRAGUE AV	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
CHIU, VAN E 3605 15TH AVE SPOKANE WA	CHIU, VAN E 3605 15TH AVE SPOKANE WA	99223-3608USA	99223-3608USA	165.01

20	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	16534-2615 / 35164.2615	SUB OF SEC 16 LTS 5 & 6 BLK 145	E 2424 RIVERSIDE AV	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
CITY OF SPOKANE W 808 SPOKANE FALLS BLV SPOKANE WA	CITY OF SPOKANE W 808 SPOKANE FALLS BLV SPOKANE WA	99201	99201 CONCRETE STEPS	1,578.26 573.18 2,151.44

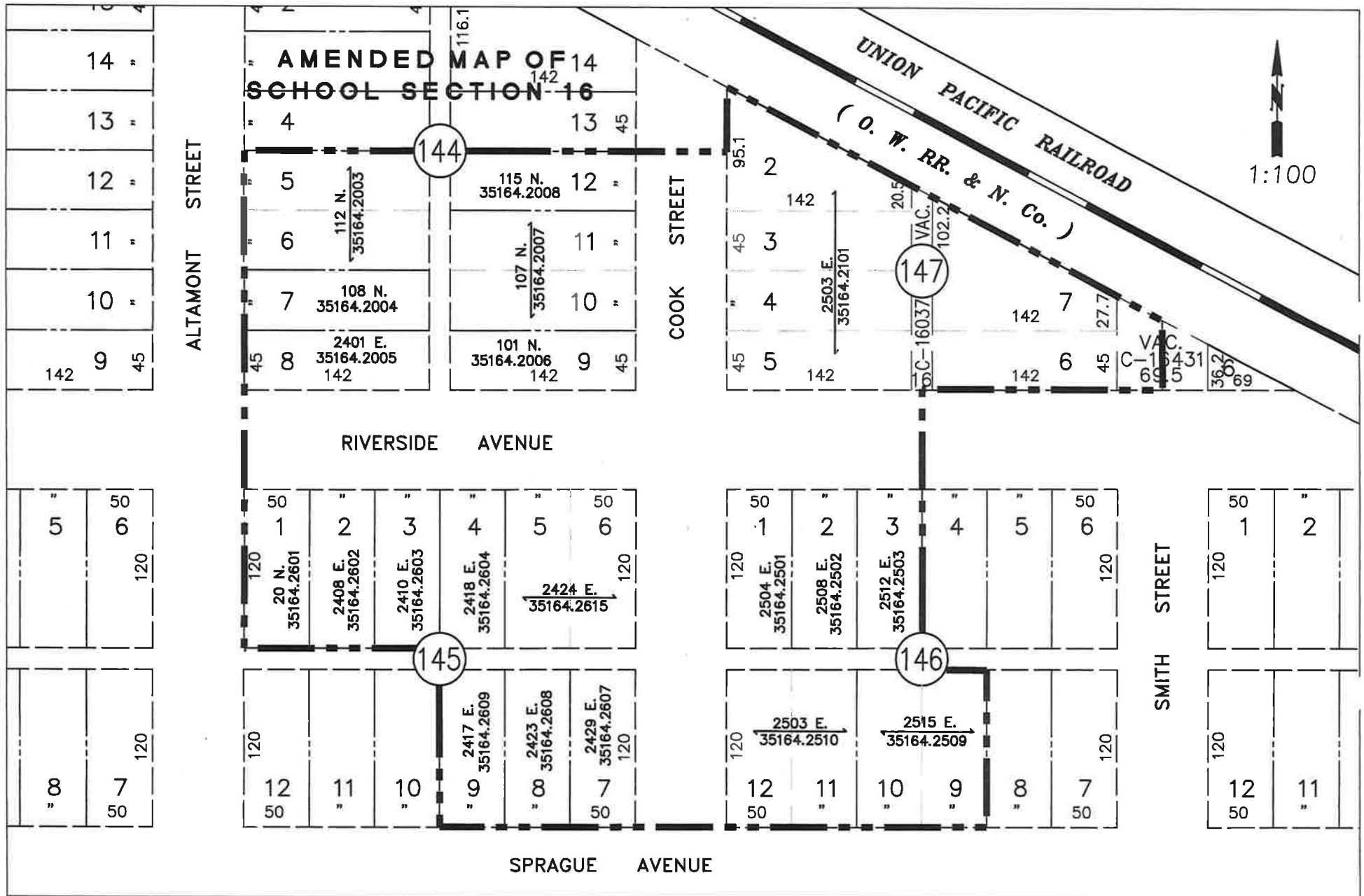
PBWK FILE

PROJECT DESCRIPTION

2012049 LID

STREET IMPROVEMENTS FOR RIVERSIDE AVENUE FROM ALTAMONT STREET TO COOK STREET; COOK STREET
FROM SPRAGUE AVENUE TO RIVERSIDE AVENUE

SPECIAL-DESCRIPTION	ASSESSMENT-METHOD-DESCRIPTION	METHOD-CODE
DISTRICT	ZONE TERMINI	ZT
CONCRETE CURB	RELATIVE COST	RC
CONCRETE DRIVEWAY	RELATIVE COST	RC
CONCRETE STEPS	RELATIVE COST	RC
CSBC TRANSITION	RELATIVE COST	RC
HMA TRANSITION	RELATIVE COST	RC
WATER SERVICE	RELATIVE COST	RC



DISTRICT MAP
PROJECT # 2012049, Riverside Ave from Altamont St to Cook St
& Cook St from Sprague Ave to Riverside Ave

Prep. by M.B.M.

Plotted: Mar 20, 2012



Agenda Sheet for City Council Meeting of:

05/12/2014

<u>Date Rec'd</u>	4/30/2014
<u>Clerk's File #</u>	PRO 2012-0014
<u>Renews #</u>	
<u>Cross Ref #</u>	
<u>Project #</u>	2011165
<u>Bid #</u>	
<u>Requisition #</u>	

<u>Submitting Dept</u>	ENGINEERING SERVICES
<u>Contact Name/Phone</u>	GARY NELSON 625-6678
<u>Contact E-Mail</u>	GNELSON@SPOKANECITY.ORG
<u>Agenda Item Type</u>	Contract Item
<u>Agenda Item Name</u>	0370 SET FINAL HEARING - 25TH AVE

Agenda Wording
 Setting Hearing before the Hearing Examiner on Final Assessment Roll for June 10, 2014 at 2:30 p.m. for Street Improvements of 25th Avenue from Freya Street to one-half block east of Rebecca Street.

Summary (Background)
 See attached

<u>Fiscal Impact</u>	<u>Budget Account</u>
Neutral \$	#
Select \$	#
Select \$	#
Select \$	#

<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	TWOHIG, KYLE	<u>Study Session</u>	
<u>Division Director</u>	QUINTRALL, JAN	<u>Other</u>	
<u>Finance</u>	LESESNE, MICHELE	<u>Distribution List</u>	
<u>Legal</u>	DALTON, PAT	lhattenburg@spokanecity.org	
<u>For the Mayor</u>	SANDERS, THERESA	mhughes@spokanecity.org	
<u>Additional Approvals</u>		cclark@spokanecity.org	
<u>Purchasing</u>		rriedinger@spokanecity.org	
		areid@spokanecity.org	
		htrautman@spokanecity.org	

BACKGROUND: (Continued)

COMPLETED COST OF IMPROVEMENT	\$ 241,311.35
PROJECT SALES TAX	1,556.14
ENGINEERING FEE	76,291.65
CITY CLERK	256.59
CITY TREASURER	4,100.00
ACCOUNTING	2,307.25
INTEREST	7,224.74
BONDS	345.00
ATTORNEY'S FEE	3,386.14
TREE RELATED EXPENSES	2,131.12
POSTAL COMMUNITY BOX UNIT	2,929.47
SEIMISIC TESTING	12,608.40
SOILS ANALYSIS	9,941.23
TOTAL PROJECT COST	\$ 364,389.08
STREET FUND BLOCK GRANT	18,498.38
WATER CONSTRUCTION FUNDS	7,278.04
10-YEAR STREET BOND	112,869.88
TOTAL NET PROJECT ASSESSMENT	\$ 225,742.78

This assessment roll has been prepared on a ten-year payment basis with dates for payment of assessments on October 1, 2014, and the bond issue date for November 1, 2014. The contract was awarded to Spokane Rock Products, Inc., and started July 9, 2013 and completed September 6, 2013. Ordinance No. C-34876 ordered this improvement on June 4, 2012.

CITY OF SPOKANE
ENGINEERING SERVICES
**** FINAL ASSESSMENT ROLL ****

FILE	PROJECT DESCRIPTION
2011165	25TH AVENUE FROM FREYA STREET TO ONE-HALF BLOCK EAST OF REBECCA STREET

FILE	PROJECT DESCRIPTION	IMPROVEMENT TYPE
2011165 LID	25TH AVENUE FROM FREYA STREET TO ONE-HALF BLCOK EAST OF REBECCA STREET	PAVING

COMPLETED COST OF IMPROVEMENT	\$ 241,311.35
PROJECT SALES TAX	1,556.14
ENGINEERING FEE	76,291.65
CITY CLERK	256.59
CITY TREASURER	4,100.00
ACCOUNTING	2,307.25
INTEREST	7,224.74
BONDS	345.00
ATTORNEY'S FEE	3,386.14
TREE RELATED EXPENSES	2,131.12
POSTAL COMMUNITY BOX UNIT	2,929.47
SEIMISIC TESTING	12,608.40
SOILS ANAYSIS	9,941.23
 TOTAL PROJECT COST	 \$ 364,389.08
 STREET FUND BLOCK GRANT	 18,498.38
WATER CONSTRUCTION FUNDS	7,278.04
10-YEAR STREET BOND	112,869.88
 TOTAL NET PROJECT ASSESSMENT	 \$ 225,742.78

PBWK FILE	PROJECT DESCRIPTION
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2011165 LID	25TH AVENUE FROM FREYA STREET TO ONE-HALF BLOCKEAST OF REBECCA STREET

1	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1301 / 35274.1301	LINCOLN HTS N100FT L1-2 B93	S 2507 FREYA ST	Y

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
CHAPMAN-ROSENBERRY, CARLA M S 2507 FREYA ST SPOKANE WA 99223	CHAPMAN, M A S 2507 FREYA ST SPOKANE WA 99223-4040USA	4,954.45		4,954.45

2	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1307 / 35274.1307	LINCOLN HTS N1/2 L8 B93	E 3708 25TH AV	Y

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
SCHNEIDER, ANGELA M E 3708 25TH AVE SPOKANE WA 99223	SCHNEIDER, ANGELA M E 3708 25TH AVE SPOKANE WA 99223	5,396.82	CONCRETE DRIVEWAY 360.23 CONCRETE TRANSITION 73.87	5,830.92

3	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1309 / 35274.1309	LINCOLN HTS N1/2 L9 B93	ADDRESS UNKNOWN	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
MAY, BARBARA E E 3715 26TH AVE SPOKANE WA 99223	BECKER, ETAL CAROL L E 3715 26TH AVE SPOKANE WA 99223	5,396.82	CONCRETE DRIVEWAY 189.85 SEWER SERVICE 2,214.14 WATER SERVICE 1,805.94	9,606.75

4	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1311 / 35274.1311	LINCOLN HTS N1/2 L10B93	E 3718 25TH AV	Y

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
THOMPSON, STACY LYNN E 3718 25TH AVE SPOKANE WA 99223	THOMPSON, STACY LYNN E 3718 25TH AVE SPOKANE WA 99223	5,396.82	CONCRETE DRIVEWAY 298.27 CONCRETE TRANSITION 330.65	6,025.74

5	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1316 / 35274.1316	LINCOLN HTS S65FT OF N130FT OF LT 11 AND 12 BLK 93	S 2508 REBECCA ST	N

PBWK FILE

PROJECT DESCRIPTION

2011165 LID

25TH AVENUE FROM FREYA STREET TO ONE-HALF BLOCKEAST OF REBECCA STREET

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
CASE, JOHN SCOTT & HOLLY A E 4422 SUMAC DR SPOKANE WA 99223-2203	CASE, JOHN SCOTT & HOLLY A E 4422 SUMAC DR SPOKANE WA 99223-2203	3,008.06		3,008.06

6	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1317 / 35274.1317	LINCOLN HTS N65FT OF N130FT OF LT 11 AND 12 BLK 93	S 2504 REBECCA ST	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
MOORE, HUGH G & KAREN M S 2504 REBECCA ST SPOKANE WA 99223-5665USA	MOORE, HUGH G & KAREN M S 2504 REBECCA ST SPOKANE WA 99223-5665USA	7,785.58	CONCRETE DRIVEWAY 336.75 CSBC TRANSITION 165.00	8,287.33

7	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1318 / 35274.1318	LINCOLN HEIGHTS ADD N1/2 LTS 6 & 7 BLK 93	E 3626 25TH AV	Y

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
COULTER, ROBERT P & JUDY & MEL E 3626 25TH AVE SPOKANE WA 99223	COULTER, ROBERT P & JUDY & MEL E 3626 25TH AVE SPOKANE WA 99223	10,793.64	CONCRETE DRIVEWAY 329.24 CONCRETE TRANSITION 703.51	11,826.39

8	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1320 / 35274.1320	CUNINGHAM CITY SHORT PLAT Z-2007-033-SP (AFN 5624935) PARCEL '1'	E 3612 25TH AV	Y

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
EVERBANK W 301 BAY ST JACKSONVILLE FL 32202	EVERBANK W 301 BAY ST JACKSONVILLE FL 32202	5,396.82	CONCRETE DRIVEWAY 329.24 CONCRETE TRANSITION 608.53	6,334.59

9	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1401 / 35274.1401	LINCOLN HTS N1/2 L1 B94	E 3804 25TH AV	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
PISKUN, TIMOFEY I & NINA N E 3804 25TH AVE	PISKUN, TIMOFEY I & NINA N E 3804 25TH AVE	.00	CONCRETE DRIVEWAY	.00

PBWK FILE		PROJECT DESCRIPTION				
2011165 LID		25TH AVENUE FROM FREYA STREET TO ONE-HALF BLOCKEAST OF REBECCA STREET				
SPOKANE WA 99223		SPOKANE WA 99223		CONCRETE TRANSITION		
10	PARCEL-NO	LEGAL-DESCRIPTION			PARCEL ADDRESS	P-SIGN
	27534-1414 / 35274.1414	LINCOLN HTS N1/2 L3 B94			E 3812 25TH AV	N
TAXPAYER	OWNER/PURCHASER		DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS		TOTAL ASSESSMENT
THOMPSON, KENNETH L E 3812 25TH SPOKANE WA 99223 USA	THOMPSON, KENNETH L E 3812 25TH SPOKANE WA 99223 USA		5,396.82	CONCRETE DRIVEWAY 321.27 CONCRETE TRANSITION 422.10		6,140.19
11	PARCEL-NO	LEGAL-DESCRIPTION			PARCEL ADDRESS	P-SIGN
	27534-1421 / 35274.1421	LINCOLN HTS N1/2 OF LT 2 BLK 94			E 3808 25TH AV	Y
TAXPAYER	OWNER/PURCHASER		DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS		TOTAL ASSESSMENT
DUFFY, TERRY L E 3808 25TH AVE SPOKANE WA 99223 USA	DUFFY, TERRY L E 3808 25TH AVE SPOKANE WA 99223 USA		5,396.82	CONCRETE DRIVEWAY 321.27 CONCRETE TRANSITION 703.51		6,421.60
12	PARCEL-NO	LEGAL-DESCRIPTION			PARCEL ADDRESS	P-SIGN
	27534-1427 / 35274.1427	LINCOLN HEIGHTS N 130' LTS 4 BLK 94			E 3818 25TH AV	N
TAXPAYER	OWNER/PURCHASER		DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS		TOTAL ASSESSMENT
EDEN, CLAY D & TINA M E 16419 ADAMS RD FAIRFIELD WA 99012	EDEN, CLAY D & TINA M E 16419 ADAMS RD FAIRFIELD WA 99012		5,396.81	CONCRETE DRIVEWAY 305.78 CONCRETE TRANSITION 562.80		6,265.39
13	PARCEL-NO	LEGAL-DESCRIPTION			PARCEL ADDRESS	P-SIGN
	27534-1428 / 35274.1428	LINCOLN HEIGHTS N 130' LTS 5 BLK 94			E 3820 25TH AV	N
TAXPAYER	OWNER/PURCHASER		DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS		TOTAL ASSESSMENT
CHASTEK, MELISSA A / KOONTZ, T W 10620 12TH #92 AVE SPOKANE WA 99224	CHASTEK, MELISSA A / KOONTZ, T W 10620 12TH #92 AVE SPOKANE WA 99224		5,396.81	CONCRETE DRIVEWAY 247.81 CONCRETE TRANSITION 165.32		5,809.94
14	PARCEL-NO	LEGAL-DESCRIPTION			PARCEL ADDRESS	P-SIGN
	27534-1432 / 35274.1432	LINCOLN HEIGHTS N1/2 LOT 6 BLK 94			E 3826 25TH AV	Y

PBWK FILE		PROJECT DESCRIPTION		
2011165 LID		25TH AVENUE FROM FREYA STREET TO ONE-HALF BLOCKEAST OF REBECCA STREET		
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
STEWART, TODD & KRISTINA E 3826 25TH AVE SPOKANE WA 99223	STEWART, TODD & KRISTINA E 3826 25TH AVE SPOKANE WA 99223	2,698.40	CONCRETE DRIVEWAY 373.52 CONCRETE TRANSITION 881.15	3,953.07
15	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1433 / 35274.1433	LINCOLN HEIGHTS N1/2 LOT 7 BLK 94	E 3904 25TH AV	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
MINO, DOUGLAS E 3904 25TH AVE SPOKANE WA 99223-5603	MINO, DOUGLAS E 3904 25TH AVE SPOKANE WA 99223-5603	5,396.81	CONCRETE DRIVEWAY 309.76 CONCRETE TRANSITION 316.57	6,023.14
16	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1902 / 35274.1902	LINCOLN HTS S1/2 L1 B99	E 3805 25TH AV	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
SHELDON, BRIAN D & RHONDA R E 3805 25TH AVE SPOKANE WA 99223-5664	SHELDON, BRIAN D & RHONDA R E 3805 25TH AVE SPOKANE WA 99223-5664	2,698.40	CONCRETE DRIVEWAY 156.88 CONCRETE TRANSITION 422.11	3,277.39
17	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1903 / 35274.1903	LINCOLN HTS L2 B99	E 3808 24TH AV	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
DARLING, STEPHEN J / ADAM A S 6912 BROOKSHIRE CT SPOKANE WA 99223	DARLING, STEPHEN J / ADAM A S 6912 BROOKSHIRE CT SPOKANE WA 99223	5,396.81	CONCRETE DRIVEWAY 313.76 CSBC TRANSITION 221.17 WATER SERVICE 1,805.94	7,737.68
18	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1905 / 35274.1905	LINCOLN HTS S1/2 L3 B99	E 3811 25TH AV	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
REEVES, MATTHEW M & ALYSSA L PO BOX 464	REEVES, MATTHEW M & ALYSSA L PO BOX 464	5,396.81	CONCRETE DRIVEWAY 185.86	5,888.10

PBWK FILE		PROJECT DESCRIPTION		
2011165 LID		25TH AVENUE FROM FREYA STREET TO ONE-HALF BLOCKEAST OF REBECCA STREET		
VALLEYFORD WA	99036	VALLEYFORD WA	99036	CSBC TRANSITION 305.43
19	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1909 / 35274.1909	LINCOLN HTS L7 B99	E 3904 24TH AV	Y
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
MILNES LIVING TRUST	MILNES LIVING TRUST	5,396.81		7,896.41
E 3904 24TH AVE	E 3904 24TH AVE		CONCRETE DRIVEWAY 247.81	
SPOKANE WA	99223-5550USA	SPOKANE WA	99223-5550USA	CSBC TRANSITION 445.85
			WATER SERVICE 1,805.94	
20	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1924 / 35274.1924	LINCOLN HEIGHTS TR C OF CITY SHORT PLAT 84-02 BEING A PT NOF LT 5 BLK 99 8408070157	E 3823 25TH AV	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
NGUYEN, DUNY	NGUYEN, DUNY	5,396.81		5,633.13
E 2803 33RD AVE	E 2803 33RD AVE		CONCRETE DRIVEWAY 236.32	
SPOKANE WA	99223-4606USA	SPOKANE WA	99223-4606USA	
21	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1925 / 35274.1925	LINCOLN HEIGHTS TR D OF CITY SHORT PLAT 84-02 BEING A PT NOF LT 6 BLK 99 8408070157	E 3827 25TH AV	Y
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
PERKINS, AMBER L & MATTHEW R	PERKINS, AMBER L & MATTHEW R	5,396.81		5,629.13
E 3827 25TH AVE	E 3827 25TH AVE		CONCRETE DRIVEWAY 232.32	
SPOKANE WA	99223	SPOKANE WA	99223	
22	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-1927 / 35274.1927	LINCOLN HEIGHTS S1/2 LOT 4 BLK 99	E 3817 25TH AV	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
REINING, ADRIAN B	REINING, ADRIAN B	5,396.81		5,881.99
E 3718 25TH AVE	E 3718 25TH AVE		CONCRETE DRIVEWAY 305.78	
SPOKANE WA	99223	SPOKANE WA	99223	CONCRETE TRANSITION 179.40

PBWK FILE

PROJECT DESCRIPTION

2011165 LID

25TH AVENUE FROM FREYA STREET TO ONE-HALF BLOCK EAST OF REBECCA STREET

23	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-2003 / 35274.2003	LINCOLN HTS S1/2 L2B100	E 3607 25TH AV	Y

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
JURICH, BRENDA L E 3607 25TH AVE SPOKANE WA 99223	JURICH, BRENDA L E 3607 25TH AVE SPOKANE WA 99223	5,396.81	CONCRETE DRIVEWAY 278.79 CONCRETE TRANSITION 436.18	6,111.78

24	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-2006 / 35274.2006	LINCOLN HTS L6 B100	E 3628 24TH AV	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
BAIR, DAVID & ANNA PO BOX 30211 SPOKANE WA 99223	BAIR, DAVID & ANNA PO BOX 30211 SPOKANE WA 99223	5,396.81	CONCRETE DRIVEWAY 247.81 WATER SERVICE 1,805.95	7,450.57

25	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-2007 / 35274.2007	LINCOLN HTS L7 B100	E 3704 24TH AV	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
MUENCH, KENNETH E 3704 24TH AVE SPOKANE WA 99223-3935USA	MUENCH, KENNETH E 3704 24TH AVE SPOKANE WA 99223-3935USA	5,396.81	WATER SERVICE 1,805.95	7,202.76

26	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-2008 / 35274.2008	LINCOLN HTS L8 B100	E 3707 25TH AV	N

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
MUENCH, KENNETH E 3704 24TH AVE SPOKANE WA 99223-3935USA	MUENCH, KENNETH E 3704 24TH AVE SPOKANE WA 99223-3935USA	5,396.81	WATER SERVICE 1,805.95	7,202.76

27	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-2013 / 35274.2013	LINCOLN HTS S1/2 L12 B100	E 3727 25TH AV	Y

PBWK FILE

PROJECT DESCRIPTION

2011165 LID

25TH AVENUE FROM FREYA STREET TO ONE-HALF BLOCKEAST OF REBECCA STREET

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
WALL, KRISTEN M & JOHN T E 3727 25TH AVE SPOKANE WA 99223	WALL, KRISTEN M & JOHN T E 3727 25TH AVE SPOKANE WA 99223	5,396.81	CONCRETE DRIVEWAY 313.76 CONCRETE TRANSITION 597.98	6,308.55
28	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-2014 / 35274.2014	LINCOLN HTS S1/2 OF LT 1 BLK 100	S 2427 FREYA ST	Y
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
SPARKS, GEORGE A & DIANNA S 2427 FREYA ST SPOKANE WA 99223-4038USA	SPARKS, GEORGE A & DIANNA S 2427 FREYA ST SPOKANE WA 99223-4038USA	5,396.81	CONCRETE DRIVEWAY 298.27 CONCRETE TRANSITION 302.51	5,997.59
29	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-2017 / 35274.2017	LINCOLN HTS S1/2 LT 3 BLK 100	E 3611 25TH AV	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
OLBEKSON, TRAVIS & KELLIE E 3611 25TH AVE SPOKANE WA 99223	OLBEKSON, TRAVIS & KELLIE E 3611 25TH AVE SPOKANE WA 99223	5,396.81	CONCRETE DRIVEWAY 247.81 CSBC TRANSITION 354.58	5,999.20
30	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-2023 / 35274.2023	LINCOLN HEIGHTS ADD , S1/2 OF LT11 BLK100	E 3721 25TH AV	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
ELWELL, MEGHANN M & NICHOLAS F PO BOX 650 VERADALE WA 99037	ELWELL, MEGHANN M & NICHOLAS F PO BOX 650 VERADALE WA 99037	5,396.81	CONCRETE DRIVEWAY 309.76 CONCRETE TRANSITION 211.06	5,917.63
31	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-2026 / 35274.2026	LINCOLN HEIGHTS ADD. S1/2 LT10 BLK100	E 3717 25TH AV	N
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
MOORE, HUGH G & KAREN M S 2504 REBECCA ST SPOKANE WA 99223	MOORE, HUGH G & KAREN M S 2504 REBECCA ST SPOKANE WA 99223	5,396.81	CONCRETE DRIVEWAY 348.56 CSBC TRANSITION 410.75	7,962.07

PBWK FILE		PROJECT DESCRIPTION			
2011165 LID		25TH AVENUE FROM FREYA STREET TO ONE-HALF BLOCKEAST OF REBECCA STREET			
					WATER SERVICE 1,805.95
32	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN	
	27534-2027 / 35274.2027	LINCOLN HEIGHTS ADDITION S120FT LT 4 BLK 100	E 3617 25TH AV	Y	
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT	
HERNANDEZ, RICHARD M 3463 OLD NACHES HWY YAKIMA WA 98908	HERNANDEZ, RICHARD M 3463 OLD NACHES HWY YAKIMA WA 98908	5,308.34	CONCRETE DRIVEWAY 309.76 CONCRETE TRANSITION 232.15 CSBC TRANSITION 186.06	6,036.31	
33	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN	
	27534-2028 / 35274.2028	LINCOLN HEIGHTS ADDITION S120FT LT 5 BLK 100	E 3621 25TH AV	Y	
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT	
HERNANDEZ, RICHARD M 3463 OLD NACHES HWY YAKIMA WA 98908	RICHARD M HERNANDEZ FAMILY TRU 3463 OLD NACHES HWY YAKIMA WA 98908-	5,308.34	CONCRETE DRIVEWAY 313.76 CONCRETE TRANSITION 397.48	6,019.58	
34	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN	
	27534-2031 / 35274.2031	(CITY OF SPOKANE) Z2008-65 SP "MOUNSEY SHORT PLAT" LT 2 (AUDITORS #5781794 BK 25 PG 48 & 49) BEING A PTN OF BLK 10 0 OF LINCOLN HEIGHTS	E 3713 25TH AV	Y	
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT	
N2M, LLC W 729 SHOSHONE PL SPOKANE WA 99203-2053	N2M LLC W 729 SHOSHONE PL SPOKANE WA 99203	5,396.81	CONCRETE DRIVEWAY 290.29 WATER SERVICE 1,805.95	7,493.05	
35	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN	
	27534-3303 / 35274.3303	SP Z2006-081 LT 3 BLK 1 (AFN# 5540561)	E 3622 25TH AV	Y	
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT	
COULTER, ROBERT P & JUDY A E 3626 25TH AVE SPOKANE WA 99223	COULTER, ROBERT P & JUDY A E 3626 25TH AVE SPOKANE WA 99223	5,396.81	CONCRETE DRIVEWAY 290.29 WATER SERVICE 1,805.95	7,493.05	

PBWK FILE

PROJECT DESCRIPTION

2011165 LID

25TH AVENUE FROM FREYA STREET TO ONE-HALF BLOCK EAST OF REBECCA STREET

36	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	27534-3304 / 35274.3304	SP Z2006-081 LT 4 BLK 1 (AFN# 5540561)	E 3618 25TH AV	Y

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
PRATT, LIBRA / LYNCH, ROBERT E 3618 25TH AVE SPOKANE WA 99223	PRATT, LIBRA / LYNCH, ROBERT E 3618 25TH AVE SPOKANE WA 99223	5,396.81	CONCRETE DRIVEWAY 329.24 CONCRETE TRANSITION 390.44	6,116.49

PBWK FILE

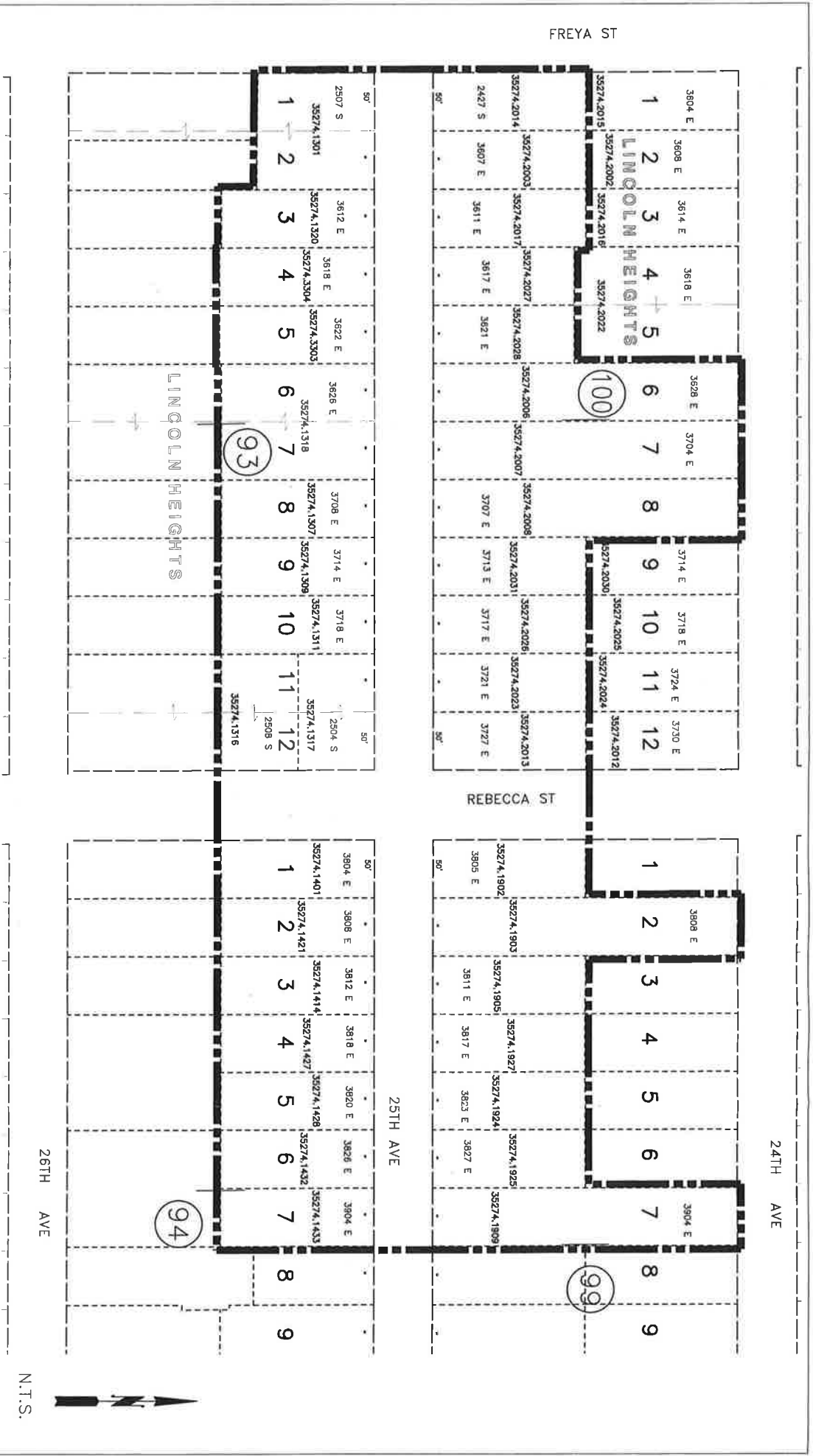
PROJECT DESCRIPTION

2011165 LID

25TH AVENUE FROM FREYA STREET TO ONE-HALF BLOCKEAST OF REBECCA STREET

SPECIAL-DESCRIPTION ASSESSMENT-METHOD-DESCRIPTION METHOD-CODE

DISTRICT ZONE TERMINI ZT
CONCRETE DRIVEWAY RELATIVE COST RC
CONCRETE TRANSITION RELATIVE COST RC
CSBC TRANSITION RELATIVE COST RC
SEWER SERVICE RELATIVE COST RC
WATER SERVICE RELATIVE SCALER RS



DISTRICT MAP
PROJECT # 2011-165, 25th Ave from Freya St to 1/2 Block East of Rebecca St



Agenda Sheet for City Council Meeting of:

05/12/2014

<u>Date Rec'd</u>	4/30/2014
<u>Clerk's File #</u>	PRO 2012-0097
<u>Renews #</u>	
<u>Cross Ref #</u>	
<u>Project #</u>	2012099
<u>Bid #</u>	
<u>Requisition #</u>	

<u>Submitting Dept</u>	ENGINEERING SERVICES
<u>Contact Name/Phone</u>	GARY NELSON 625-6678
<u>Contact E-Mail</u>	GNELSON@SPOKANECITY.ORG
<u>Agenda Item Type</u>	Contract Item
<u>Agenda Item Name</u>	0370 SET FINAL HEARING - COCHRAN STREET

Agenda Wording
 Setting Hearing before the Hearing Examiner on Final Assessment Roll for June 10, 2014 at 3:30 p.m. for Street Improvement of Cochran Street from 16th Avenue to 15th Avenue and 15th Avenue from Lindeke Street to Cochran Street.

Summary (Background)
 See attached

<u>Fiscal Impact</u>	<u>Budget Account</u>
Neutral \$	#
Select \$	#
Select \$	#
Select \$	#

<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	TWOHIG, KYLE	<u>Study Session</u>	
<u>Division Director</u>	QUINTRALL, JAN	<u>Other</u>	
<u>Finance</u>	LESESNE, MICHELE	<u>Distribution List</u>	
<u>Legal</u>	DALTON, PAT	lhattenburg@spokanecity.org	
<u>For the Mayor</u>	SANDERS, THERESA	mhughes@spokanecity.org	
<u>Additional Approvals</u>		cclark@spokanecity.org	
<u>Purchasing</u>		rreidinger@spokanecity.org	
		areid@spokanecity.org	
		htrautman@spokanecity.org	

BACKGROUND: (Continued)

COMPLETED COST OF IMPROVEMENT	\$ 155,113.94
ENGINEERING FEE	65,436.53
CITY CLERK	256.59
CITY TREASURER	1,350.00
ACCOUNTING	1,483.09
INTEREST	5,873.85
BONDS	225.00
ATTORNEY'S FEE	2,182.06
SOILS TEST – 15TH AVENUE	5,933.60
SOILS TEST – COCHRAN Street	5,092.72
SIGNS AND MARKERS	66.42
TREE RELATED – 15TH AVENUE	3,083.99
TREE RELATED – COCHRAN STREET	4,155.43
HYDRANT RELOCATE	3,236.87
POSTAL COMMUNITY BOX UNIT	<u>1,577.24</u>
TOTAL PROJECT COST	\$ 255,067.33
10-YEAR STREET BOND FUNDS	109,596.71
TOTAL NET PROJECT ASSESSMENT	\$ 145,470.62

This assessment roll has been prepared on a ten-year payment basis with dates for payment of assessments on October 1, 2014, and the bond issue date for November 1, 2014. The contract was awarded to Red Diamond Construction, Inc., and started October 11, 2013 and completed November 4, 2014. Ordinance No. C-34952 ordered this improvement on December 17, 2012.

CITY OF SPOKANE
ENGINEERING SERVICES
**** PRELIMINARY ASSESSMENT ROLL ****

FILE	PROJECT DESCRIPTION
2012099	STREET IMPROVEMENTS OF COCHRAN STREET FROM 16TH AVENUE TO 14TH AVENUE; 15TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET; 14TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET

FILE	PROJECT DESCRIPTION	IMPROVEMENT TYPE
2012099 LID	STREET IMPROVEMENTS OF COCHRAN STREET FROM 16TH AVENUE TO 14TH AVENUE; 15TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET; 14TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET	PAVING
	COMPLETED COST OF IMPROVEMENT	\$ 470,305.31
	ENGINEERING FEE	202,231.28
	CITY CLERK	256.59
	CITY TREASURER	2,450.00
	ACCOUNTING	4,496.73
	INTEREST	30,637.71
	BONDS	622.50
	ATTORNEY'S FEE	6,205.09
	ESTIMATED PROJECT SALES TAX	<u>1,044.00</u>
	TOTAL PROJECT COST	\$ 718,249.21
	TEN-YEAR STREET BOND	304,575.67
	TOTAL NET PROJECT ASSESSMENT	\$ 413,673.54

PBWK FILE		PROJECT DESCRIPTION		
2012099 LID		STREET IMPROVEMENTS OF COCHRAN STREET FROM 16TH AVENUE TO 14TH AVENUE; 15TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET; 14TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET		
1	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	24523-3302 / 25243.3302	WOODLAND ADD L6 LESS R/W; ALL L7 B13	W 2606 14TH AV	
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
VIDAL, JOSE M & CAITLIN K W 2606 14TH AVE SPOKANE WA 99224	VIDAL, JOSE M & CAITLIN K W 2606 14TH AVE SPOKANE WA 99224	6,512.27	COCHRAN STREET 10,224.76 CSBC TRANSITION 242.11 DRIVEWAY 654.68	17,633.82
2	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	24523-3309 / 25243.3309	WOODLAND ADDITION LT 8 BLK 13	W 2618 14TH AV	
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
BARTOL, MARY L / HAYNES, STEVE W 2618 14TH AVE SPOKANE WA 99224-4453USA	BARTOL, MARY L / HAYNES, STEVE W 2618 14TH AVE SPOKANE WA 99224-4453USA	13,999.49	CONCRETE TRANSITION 553.31 DRIVEWAY 650.38	15,203.18
3	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	24523-3310 / 25243.3310	WOODLAND ADDITION LT 9 BLK 13	W 2624 14TH AV	
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
MOUNT, DIANA LYNN W 2624 14TH AVE SPOKANE WA 99224-4453	MOUNT, DIANA LYNN W 2624 14TH AVE SPOKANE WA 99224-4453	13,999.49	CONCRETE TRANSITION 385.34 DRIVEWAY 545.99	14,930.82
4	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	24523-3311 / 25243.3311	WOODLAND ADDITION LT 10 BLK 13	W 2630 14TH AV	
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
JOHNSTON, DEBORAH K W 2630 14TH AVE SPOKANE WA 99224 USA	JOHNSTON, DEBORAH K W 2630 14TH AVE SPOKANE WA 99224 USA	13,999.49	CONCRETE TRANSITION 829.97 DRIVEWAY 650.38	15,479.84
5	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	24523-3403 / 25243.3403	WOODLAND ADD THAT PTN OF ABANDONED RR R/W LYG S OF 11TH A VE	S 1209 LINDEKE AV	

CITY OF SPOKANE
PUBLIC WORKS DEPARTMENT
***** PRELIMINARY ASSESSMENT ROLL *****

PBWK FILE		PROJECT DESCRIPTION						
2012099 LID		STREET IMPROVEMENTS OF COCHRAN STREET FROM 16TH AVENUE TO 14TH AVENUE; 15TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET; 14TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET						
		AND N OF 14 OVER PTNS OF BLKS 2,4,13&14 & TR A						
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT				
UNION PACIFIC RR/PROPERTY TA S 1700 FARNAM ST/10TH FL OMAHA NE 68402-2010USA	UNION PAC RR PO 2500 BROOMFIELD CO 80038 USA	.00	COCHRAN STREET 14,922.77	14,922.77				
6	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN				
	25522-0114 / 25252.0114	QUEEN ANNE ADD: LOT 10 & E 1/2 OF LOT 9 BLK 'A'	W 2615 14TH AV					
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT				
PEREZ, WILSON D W 2615 14TH AVE SPOKANE WA 99224	PEREZ, WILSON D W 2615 14TH AVE SPOKANE WA 99224	20,990.91	COCHRAN STREET 176.67 DRIVEWAY 963.55	22,131.13				
7	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN				
	25522-0115 / 25252.0115	QUEEN ANNE ADD: LOT 11 BLK 'A'	W 2611 14TH AV					
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT				
KETTLESON, TIFFANY M & RYAN W W 2611 14TH AVE SPOKANE WA 99224	KETTLESON, TIFFANY M & RYAN W W 2611 14TH AVE SPOKANE WA 99224	11,521.67	COCHRAN STREET 3,659.23 DRIVEWAY 678.95	15,859.85				
8	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN				
	25522-0116 / 25252.0116	QUEEN ANNE ADD: LOT 12 BLK 'A'	W 2605 14TH AV					
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT				
MCTAGGART, CAROLYN A W 2605 14TH AVE SPOKANE WA 99224	MCTAGGART, CAROLYN A W 2605 14TH AVE SPOKANE WA 99224	5,156.06	COCHRAN STREET 15,284.45 DRIVEWAY 1,196.38	21,636.89				
9	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN				
	25522-0117 / 25252.0117	QUEEN ANNE ADD: LOT 13 BLK 'A'	W 2604 15TH AV					
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT				
FRIED, LISA M OR OSBORNE, RYAN W 2604 15TH AVE	FRIED, LISA M OR OSBORNE, RYAN W 2604 15TH AVE	5,156.06	COCHRAN STREET 15,284.45	22,226.71				

PBWK FILE		PROJECT DESCRIPTION						
2012099 LID		STREET IMPROVEMENTS OF COCHRAN STREET FROM 16TH AVENUE TO 14TH AVENUE; 15TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET; 14TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET						
SPOKANE WA	99224	SPOKANE WA	99224	CONCRETE TRANSITION	276.65			
				DRIVEWAY	1,509.55			
10	PARCEL-NO	LEGAL-DESCRIPTION		PARCEL ADDRESS			P-SIGN	
25522-0118 / 25252.0118		QUEEN ANNE ADD: LOT 14 BLK 'A'		W 2608 15TH AV				
TAXPAYER		OWNER/PURCHASER		DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT		
GENTRY, JOHN B & JILL M		GENTRY, JOHN B & JILL M		11,521.67		16,349.15		
S 1231 DIVISION ST		S 1231 DIVISION ST			COCHRAN STREET	3,659.23		
WALLA WALLA WA 99362		WALLA WALLA WA 99362			CONCRETE TRANSITION	256.90		
					DRIVEWAY	911.35		
11	PARCEL-NO	LEGAL-DESCRIPTION		PARCEL ADDRESS			P-SIGN	
25522-0119 / 25252.0119		QUEEN ANNE ADD: LOT 15 & E 1/2 OF LOT 16 BLK 'A'		W 2612 15TH AV				
TAXPAYER		OWNER/PURCHASER		DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT		
ANDERSON, JACOB A & KRYSTEL A		ANDERSON, JACOB A & KRYSTEL A		20,990.91		22,407.78		
W 2612 15TH AVE		W 2612 15TH AVE			COCHRAN STREET	176.67		
SPOKANE WA 99224		SPOKANE WA 99224			CONCRETE TRANSITION	276.65		
					DRIVEWAY	963.55		
12	PARCEL-NO	LEGAL-DESCRIPTION		PARCEL ADDRESS			P-SIGN	
25522-0201 / 25252.0201		QUEEN ANNE ADD LESS R/W L1-2 B B		W 2551 14TH AV				
TAXPAYER		OWNER/PURCHASER		DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT		
UNION PACIFIC RAILROAD CO		OWR & N CO		.00		23,860.27		
1400 DOUGLAS STOP 1640		S 1700 FARNAM 10TH FLOOR S			COCHRAN STREET	18,987.49		
OMAHA NE 68179		OMAHA NE 68102-2010			SEWER SERVICE	3,248.52		
					WATER SERVICE	1,624.26		
13	PARCEL-NO	LEGAL-DESCRIPTION		PARCEL ADDRESS			P-SIGN	
25522-0213 / 25252.0213		QUEEN ANNE ADD L23 LESS R/W;ALL L24 B B		ADDRESS UNKNOWN				
TAXPAYER		OWNER/PURCHASER		DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT		
UNION PACIFIC RAILROAD CO		OWR & N CO		.00		31,136.33		
1400 DOUGLAS STOP 1640		S 1700 FARNAM 10TH FLOOR S			COCHRAN STREET	25,549.89		
OMAHA NE 68179		OMAHA NE 68102-2010			DRIVEWAY	713.66		
					SEWER SERVICE	3,248.52		
					WATER SERVICE	1,624.26		

PBWK FILE		PROJECT DESCRIPTION		
2012099 LID		STREET IMPROVEMENTS OF COCHRAN STREET FROM 16TH AVENUE TO 14TH AVENUE; 15TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET; 14TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET		
14	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	25522-0408 / 25252.0408	QUEEN ANN ADDITION LT 11 BLK D	W 2607 15TH AV	
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
FEESER, JOHN B & GEORGANNA R W 2607 15TH AVE SPOKANE WA	FEESER, JOHN B & GEORGANNA R W 2607 15TH AVE SPOKANE WA 99224-5550USA	11,521.67	COCHRAN STREET 3,659.23 CSBC TRANSITION 181.01 DRIVEWAY 650.38	16,012.29
15	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	25522-0409 / 25252.0409	QUEEN ANNE ADD L12 B D	S 1504 COCHRAN ST	
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
MARTUSHEV, SAVATY & ELIZAVETA S 1504 COCHRAN ST SPOKANE WA	BABER, BERNADETTE/NEWTON, ARLI E 4116 ALMERICA RD PHOENIX AZ 85008	5,156.06	COCHRAN STREET 15,284.45 DRIVEWAY 835.52	21,276.03
16	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	25522-0410 / 25252.0410	QUEEN ANNE ADD L13 B D	S 1510 COCHRAN ST	
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
MANS, MICHELE S 1510 COCHRAN ST SPOKANE WA	MANS, MICHELE S 1510 COCHRAN ST SPOKANE WA 99224	.00	COCHRAN STREET 18,544.78 DRIVEWAY 806.96	19,351.74
17	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	25522-0411 / 25252.0411	QUEEN ANNE ADD L14 B D	W 2610 16TH AV	
TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
VILA, FRANK E 8027 WOODLAND PARK DR SPOKANE WA	VILA, FRANK E 8027 WOODLAND PARK DR SPOKANE WA 99212	.00	COCHRAN STREET 8,685.53 DRIVEWAY 598.19	9,283.72
18	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	25522-0427 / 25252.0427	QUEEN ANNE ADDITION E1/2 LT 9 & ALL LT 10 BLK D	W 2609 15TH AV	

PBWK FILE

PROJECT DESCRIPTION

2012099 LID

STREET IMPROVEMENTS OF COCHRAN STREET FROM 16TH AVENUE TO 14TH AVENUE; 15TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET; 14TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
MILOVANOVIC, ZELJKA W 2609 15TH AVE SPOKANE WA 99224-5550	MILOVANOVIC, ZELJKA W 2609 15TH AVE SPOKANE WA 99224-5550	20,990.91	COCHRAN STREET 176.67 DRIVEWAY 911.35	22,078.93

19	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	25522-0501 / 25252.0501	QUEEN ANNE ADD ALL L1&2 L3 LESS R/W B E	W 2551 15TH AV	

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
CITY OF SPOKANE W 808 SPOKANE FALLS BLV SPOKANE WA 99256-0001USA	SPOKANE, CITY OF W 808 SPOKANE FALLS BLV SPOKANE WA 99201-3333USA	.00	COCHRAN STREET 29,490.80 DRIVEWAY 713.66 SEWER SERVICE 3,248.52 WATER SERVICE 1,624.26	35,077.24

20	PARCEL-NO	LEGAL-DESCRIPTION	PARCEL ADDRESS	P-SIGN
	25522-0509 / 25252.0509	QUEEN ANNE ADD L21 LESS R/W;ALL L22-23-24 B E	W 2550 16TH AV	

TAXPAYER	OWNER/PURCHASER	DISTRICT ASSESSMENT	SPECIAL ASSESSMENTS	TOTAL ASSESSMENT
CITY OF SPOKANE W 808 SPOKANE FALLS BLV SPOKANE WA 99256-0001USA	SPOKANE, CITY OF W 808 SPOKANE FALLS BLV SPOKANE WA 99201-3333USA	.00	COCHRAN STREET 31,228.61 DRIVEWAY 713.66 SEWER SERVICE 3,248.52 WATER SERVICE 1,624.26	36,815.05

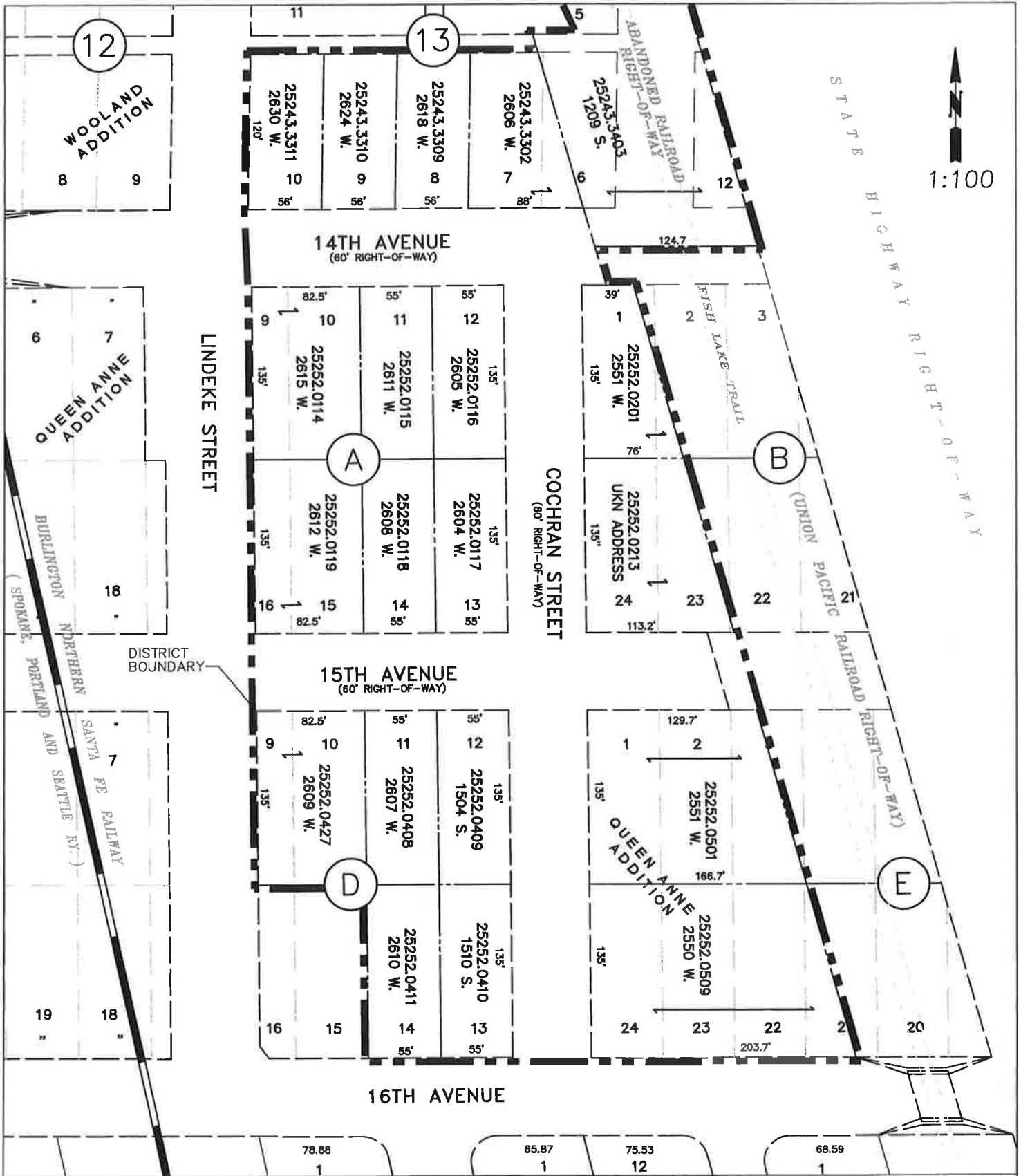
PBWK FILE

PROJECT DESCRIPTION

2012099 LID

STREET IMPROVEMENTS OF COCHRAN STREET FROM 16TH AVENUE TO 14TH AVENUE; 15TH AVENUE FROM LINDEKE
STREET TO COCHRAN STREET; 14TH AVENUE FROM LINDEKE STREET TO COCHRAN STREET

SPECIAL-DESCRIPTION	ASSESSMENT-METHOD-DESCRIPTION	METHOD-CODE
-----	-----	-----
DISTRICT	ZONE TERMINI	ZT
CONCRETE TRANSITION	RELATIVE COST	RC
CSBC TRANSITION	RELATIVE COST	RC
DRIVEWAY	RELATIVE COST	RC
SEWER SERVICE	RELATIVE SCALER	RS
WATER SERVICE	RELATIVE SCALER	RS
COCHRAN STREET	RELATIVE SCALER	RS



DISTRICT MAP

PROJECT # 2012099, Cochran St from 16th Ave to 14th Ave; 15th Ave from Lindeke St to Cochran St; & 14th Ave from Lindeke St to Cochran St



Agenda Sheet for City Council Meeting of:

05/12/2014

<u>Date Rec'd</u>	4/30/2014
<u>Clerk's File #</u>	PRO 2014-0020
<u>Renews #</u>	
<u>Cross Ref #</u>	
<u>Project #</u>	2012114
<u>Bid #</u>	
<u>Requisition #</u>	BT

<u>Submitting Dept</u>	ENGINEERING SERVICES
<u>Contact Name/Phone</u>	GARY NELSON 625-6678
<u>Contact E-Mail</u>	GNELSON@SPOKANECITY.ORG
<u>Agenda Item Type</u>	Contract Item
<u>Agenda Item Name</u>	0370 LOW BID AWARD - SPOKANE ROCK PRODUCTS, INC. GRAND/MCCLELLAN

Agenda Wording
 Low Bid of Spokane Rock Products, Inc. (Spokane Valley, WA) for Grand Blvd.-McClellan St. from 14th Ave. to 8th Ave. - \$965,792.55 plus tax. An admin reserve of \$96,579.25 plus tax, which is 10% of the contract price plus tax, will be set aside.

Summary (Background)
 On April 28, 2014 bids were opened for the above project. The low bid was from Spokane Rock Products, Inc. in the amount of \$965,792.55, which is \$2,908.55 or .33% over the Engineer's Estimate; three other bids were received as follows: Shamrock Paving, Inc. - \$998,817.45, Inland Asphalt Company - \$1,034,995.80, Halme Construction, Inc. - \$1,036,014.75.

<u>Fiscal Impact</u>	<u>Budget Account</u>
Expense \$ 629,818.82	# 3200-95058-95300-56501-99999
Expense \$ 25,000.00	# 6785-49820-95300-56501-99999
Expense \$ 217,994.35	# 4370-43101-94000-56501-99999
Expense \$ 218,522.53	# 4100-42490-94000-56501-15712

<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	TWOHIG, KYLE	<u>Study Session</u>	
<u>Division Director</u>	QUINTRALL, JAN	<u>Other</u>	PCED 5/5/2014
<u>Finance</u>	LESESNE, MICHELE	<u>Distribution List</u>	
<u>Legal</u>	WHALEY, HUNT	lhattenburg@spokanecity.org	
<u>For the Mayor</u>	SANDERS, THERESA	pdolan@spokanecity.org	
<u>Additional Approvals</u>		mlesesne@spokanecity.org	
<u>Purchasing</u>		htrautman@spokanecity.org	
		rdykes@spokanecity.org	
		mhughes@spokanecity.org	
		acline@spokanecity.org	

City Of Spokane
Engineering Services Department

***** Bid Tabulation *****

Project Number: 2012114

Project Description Grand-McClellan, 14th Ave to 8th Ave

Original Date 8/20/2013 11:07:10 AM

Funding Source Federal

Update Date 4/28/2014 3:09:26 PM

Preparer John Saywers

Addendum

Project Number: 2012114			Engineer's Estimate		Spokane Rock Products Inc		Shamrock Paving Inc		Inland Asphalt Company	
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

Schedule Description				Tax Classification							
Schedule	01	Common Items		Public Street Improvement							
101	REIMBURSEMENT FOR THIRD PARTY DAMAGE	1	EST	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
102	SPCC PLAN	1	LS	*****	750.00	*****	1,000.00	*****	500.00	*****	500.00
103	POTHOLING	20	EA	400.00	8,000.00	225.00	4,500.00	300.00	6,000.00	260.00	5,200.00
104	PUBLIC LIAISON REPRESENTATIVE	1	LS	*****	7,000.00	*****	5,000.00	*****	7,000.00	*****	14,800.00
105	REFERENCE AND REESTABLISH SURVEY MONUMENT	8	EA	250.00	2,000.00	200.00	1,600.00	210.00	1,680.00	206.00	1,648.00
106	CLASSIFICATION AND PROTECTION OF SURVEY MONUMENTS	1	LS	*****	2,500.00	*****	3,000.00	*****	3,100.00	*****	3,100.00
107	MOBILIZATION	1	LS	*****	50,000.00	*****	73,000.00	*****	52,000.00	*****	87,550.00
108	PROJECT TEMPORARY TRAFFIC CONTROL	1	LS	*****	25,000.00	*****	81,000.00	*****	63,000.00	*****	79,750.00
109	SPECIAL SIGNS	210	SF	20.00	4,200.00	8.50	1,785.00	9.00	1,890.00	8.75	1,837.50
110	SEQUENTIAL ARROW SIGN	4600	HR	3.00	13,800.00	1.00	4,600.00	1.00	4,600.00	0.88	4,048.00
111	TYPE III BARRICADE	10	EA	75.00	750.00	30.00	300.00	35.00	350.00	31.00	310.00
112	PORTABLE CHANGEABLE MESSAGE SIGN	240	HR	6.25	1,500.00	5.00	1,200.00	5.50	1,320.00	5.15	1,236.00
113	ESC LEAD	1	LS	*****	1,000.00	*****	2,500.00	*****	2,500.00	*****	500.00
114	INLET PROTECTION	15	EA	115.00	1,725.00	85.00	1,275.00	70.00	1,050.00	88.00	1,320.00

Project Number: 2012114			Engineer's Estimate		Spokane Rock Products Inc		Shamrock Paving Inc		Inland Asphalt Company	
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

Schedule Description

Tax Classification

Schedule 01

Common Items

Public Street Improvement

115	STREET CLEANING	40 HR	100.00	4,000.00	150.00	6,000.00	175.00	7,000.00	134.00	5,360.00
				Schedule Totals	122,226.00	186,761.00	151,991.00			207,160.50

Project Number: 2012114			Engineer's Estimate		Spokane Rock Products Inc		Shamrock Paving Inc		Inland Asphalt Company	
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

Schedule Description					Tax Classification					
Schedule 02 Grind and Overlay					Public Street Improvement					
201	REMOVAL OF STRUCTURE AND OBSTRUCTION	1 LS	*****	5,000.00	*****	2,500.00	*****	9,000.00	*****	2,575.00
202	REMOVE EXISTING CURB	1170 LF	5.00	5,850.00	9.00	10,530.00	7.00	8,190.00	9.25	10,822.50
203	REMOVE CEMENT CONCRETE SIDEWALK AND DRIVEWAY	575 SY	9.00	5,175.00	6.00	3,450.00	7.50	4,312.50	6.15	3,536.25
204	REMOVE MANHOLE, CATCH BASIN OR DRYWELL	6 EA	550.00	3,300.00	350.00	2,100.00	420.00	2,520.00	360.00	2,160.00
205	REMOVE CURB/GRATE INLET	2 EA	350.00	700.00	225.00	450.00	360.00	720.00	230.00	460.00
206	SAWCUTTING CURB	62 EA	25.00	1,550.00	25.00	1,550.00	25.00	1,550.00	22.00	1,364.00
207	SAWCUTTING RIGID PAVEMENT	2000 LFI	1.00	2,000.00	1.00	2,000.00	1.00	2,000.00	0.70	1,400.00
208	SAWCUTTING FLEXIBLE PAVEMENT	5000 LFI	0.70	3,500.00	0.35	1,750.00	0.30	1,500.00	0.25	1,250.00
209	REMOVE UNSUITABLE FOUNDATION MATERIAL	50 CY	12.00	600.00	15.00	750.00	13.50	675.00	18.50	925.00
210	REPLACE UNSUITABLE FOUNDATION MATERIAL	50 CY	25.00	1,250.00	21.00	1,050.00	33.00	1,650.00	28.85	1,442.50
211	CSTC FOR SIDEWALK AND DRIVEWAYS	35 CY	42.00	1,470.00	100.00	3,500.00	24.00	840.00	38.55	1,349.25
212	HMA CL. 1/2 IN. PG 70-28, 2 INCH THICK	19095 SY	8.50	162,307.50	7.75	147,986.25	8.00	152,760.00	8.90	169,945.50
213	HMA FOR PRELEVELING CL. 3/8 IN. PG 70-28	600 TO	80.00	48,000.00	80.00	48,000.00	80.00	48,000.00	79.50	47,700.00
214	HMA FOR PAVEMENT REPAIR CL. 1/2 IN. PG 70-28, 4 INCH THICK	830 SY	30.00	24,900.00	39.50	32,785.00	26.00	21,580.00	25.70	21,331.00
215	PAVEMENT REPAIR EXCAVATION INCL. HAUL	830 SY	12.00	9,960.00	8.00	6,640.00	29.25	24,277.50	18.65	15,479.50
216	PLANING BITUMINOUS PAVEMENT	19095 SY	2.50	47,737.50	1.90	36,280.50	2.25	42,963.75	2.50	47,737.50
217	JOB MIX COMPLIANCE PRICE ADJUSTMENT	1 CAL	-1.00	-1.00	-1.00	-1.00	-1.00	-1.00	-1.00	-1.00
218	COMPACTION PRICE ADJUSTMENT	1 EST	3,661.00	3,661.00	3,661.00	3,661.00	3,661.00	3,661.00	3,661.00	3,661.00
219	CEMENT CONCRETE CURB WALL 16 IN. - 30 IN. TALL	90 LF	50.00	4,500.00	38.00	3,420.00	33.50	3,015.00	33.50	3,015.00

<i>Project Number:</i> 2012114		<i>Engineer's Estimate</i>			Spokane Rock Products Inc		Shamrock Paving Inc		Inland Asphalt Company	
<i>Item No</i>	<i>Bid Item Description</i>	<i>Estimated Quantity</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Unit Price</i>	<i>Amount</i>
<i>Schedule Description</i>					<i>Tax Classification</i>					
<i>Schedule 02 Grind and Overlay</i>					<i>Public Street Improvement</i>					
220	SEGMENTAL CONCRETE RETAINING WALL	120 SF	50.00	6,000.00	41.69	5,002.80	43.00	5,160.00	43.00	5,160.00
221	REMOVE AND REPLACE SEGMENTAL CONCRETE RETAINING WALL, 9TH AND McCLELLAN	1 LS	*****	2,000.00	*****	2,800.00	*****	3,000.00	*****	3,000.00
222	GRATE INLET TYPE 3	1 EA	1,050.00	1,050.00	1,750.00	1,750.00	1,200.00	1,200.00	1,870.00	1,870.00
223	ADJUST EXISTING VALVE BOX, MONUMENT OR CLEANOUT IN ASPHALT	34 EA	320.00	10,880.00	225.00	7,650.00	350.00	11,900.00	230.00	7,820.00
224	ADJUST EXISTING MANHOLE, CATCH BASIN, DRYWELL, OR INLET IN ASPHALT	42 EA	450.00	18,900.00	480.00	20,160.00	450.00	18,900.00	495.00	20,790.00
225	CATCH BASIN TYPE 1	3 EA	1,900.00	5,700.00	1,650.00	4,950.00	1,950.00	5,850.00	2,075.00	6,225.00
228	TOPSOIL TYPE A, 2 INCH THICK	20 SY	7.00	140.00	9.50	190.00	10.00	200.00	9.75	195.00
229	SOD INSTALLATION	20 SY	15.00	300.00	14.25	285.00	15.00	300.00	14.65	293.00
230	REMOVE AND REPLACE EXISTING SPRINKLER HEADS AND LINES	1 LS	*****	3,500.00	*****	2,517.00	*****	2,600.00	*****	2,590.00
231	CEMENT CONCRETE CURB	656 LF	16.00	10,496.00	14.60	9,577.60	15.00	9,840.00	15.00	9,840.00
232	CEMENT CONC. CURB AND GUTTER	274 LF	22.00	6,028.00	24.60	6,740.40	22.70	6,219.80	22.75	6,233.50
233	RAMP DETECTABLE WARNING	272 SF	20.00	5,440.00	20.00	5,440.00	20.60	5,603.20	20.60	5,603.20
234	CEMENT CONC. SIDEWALK	575 SY	40.00	23,000.00	30.60	17,595.00	42.00	24,150.00	41.90	24,092.50
235	CHANNELIZING DEVICES	5 EA	65.00	325.00	106.00	530.00	110.00	550.00	109.00	545.00
236	TRAFFIC SIGNAL SYSTEM RETROFIT MCCLELLAN AND 9TH	1 LS	*****	27,000.00	*****	20,600.00	*****	22,000.00	*****	21,220.00
237	TRAFFIC SIGNAL SYSTEM RETROFIT McCLELLAN AND 8TH	1 LS	*****	12,000.00	*****	5,100.00	*****	9,000.00	*****	5,255.00
238	TRAFFIC SIGNAL SYSTEM RETROFIT GRAND BOULEVARD AND 14TH	1 LS	*****	12,000.00	*****	17,000.00	*****	22,500.00	*****	15,760.00

Project Number: 2012114			Engineer's Estimate		Spokane Rock Products Inc		Shamrock Paving Inc		Inland Asphalt Company	
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

<i>Schedule Description</i>				<i>Tax Classification</i>						
<i>Schedule 02</i> Grind and Overlay				Public Street Improvement						
240	SIGNING, PERMANENT	1 LS	*****	12,000.00	*****	9,145.00	*****	9,500.00	*****	9,420.00
241	PAVEMENT MARKING - DURABLE HEAT APPLIED	1977 SF	10.00	19,770.00	9.00	17,793.00	9.10	17,990.70	9.10	17,990.70
242	PAVEMENT MARKING - DURABLE INLAY TAPE	1542 SF	9.00	13,878.00	11.00	16,962.00	11.75	18,118.50	10.85	16,730.70
244	WORD AND SYMBOL MARKINGS - DURABLE HEAT APPLIED	2 EA	200.00	400.00	135.00	270.00	140.00	280.00	138.00	276.00
245	TEMPORARY PAVEMENT MARKING	1 LS	*****	2,000.00	*****	2,000.00	*****	2,000.00	*****	1,815.00
246	REINFORCED DOWELED CURB	20 LF	13.00	260.00	9.20	184.00	15.00	300.00	11.35	227.00
247	TRAFFIC ISLAND CONCRETE	13 SY	34.00	442.00	40.00	520.00	39.50	513.50	38.70	503.10
Schedule Totals				524,969.00		483,163.55		526,889.45		519,607.70

Project Number: 2012114			Engineer's Estimate		Spokane Rock Products Inc		Shamrock Paving Inc		Inland Asphalt Company	
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

<i>Schedule Description</i>				<i>Tax Classification</i>						
<i>Schedule 03 SEWER</i>				<i>Public Street Improvement</i>						
301	REMOVE EXISTING CURB	100 LF	5.00	500.00	8.00	800.00	10.00	1,000.00	8.24	824.00
302	REMOVE CEMENT CONCRETE SIDEWALK AND DRIVEWAY	35 SY	9.00	315.00	8.00	280.00	8.50	297.50	8.24	288.40
303	REMOVE MANHOLE, CATCH BASIN OR DRYWELL	12 EA	550.00	6,600.00	350.00	4,200.00	350.00	4,200.00	360.50	4,326.00
304	REMOVE CURB/GRATE INLET	2 EA	350.00	700.00	350.00	700.00	250.00	500.00	360.50	721.00
305	REMOVE EXISTING 4-IN TO 12-IN STORM PIPE	650 LF	10.00	6,500.00	7.00	4,550.00	10.50	6,825.00	7.21	4,686.50
306	SAWCUTTING CURB	8 EA	25.00	200.00	25.00	200.00	21.00	168.00	25.75	206.00
307	SAWCUTTING FLEXIBLE PAVEMENT	12000 LFI	0.70	8,400.00	0.35	4,200.00	0.30	3,600.00	0.23	2,760.00
308	SAWCUTTING RIGID PAVEMENT	200 LFI	1.00	200.00	1.00	200.00	1.00	200.00	0.77	154.00
309	ABANDON EXISTING MANHOLE, CATCH BASIN OR DRYWELL	2 EA	400.00	800.00	350.00	700.00	350.00	700.00	360.50	721.00
310	REMOVE AND DISPOSE OF TROLLEY RAILS	100 LF	18.00	1,800.00	22.00	2,200.00	9.00	900.00	22.66	2,266.00
311	CSTC FOR SIDEWALK AND DRIVEWAYS	5 CY	42.00	210.00	100.00	500.00	30.00	150.00	38.50	192.50
312	HMA FOR PAVEMENT REPAIR CL. 1/2 IN. PG 70-28, 4 INCH THICK	1150 SY	30.00	34,500.00	34.00	39,100.00	26.00	29,900.00	22.70	26,105.00
313	PAVEMENT REPAIR EXCAVATION INCL. HAUL	1150 SY	12.00	13,800.00	7.00	8,050.00	29.25	33,637.50	18.65	21,447.50
314	CATCH BASIN TYPE 1	13 EA	1,900.00	24,700.00	1,650.00	21,450.00	1,950.00	25,350.00	1,699.50	22,093.50
315	MANHOLE OR DRYWELL FRAME AND COVER (LOCKABLE)	25 EA	630.00	15,750.00	450.00	11,250.00	700.00	17,500.00	515.00	12,875.00
316	CONNECT 6-12 - IN. DIAMETER PIPE TO EXISTING CATCH BASIN, DRYWELL, OR MANHOLE	9 EA	150.00	1,350.00	125.00	1,125.00	400.00	3,600.00	123.60	1,112.40
317	CLEANING EXISTING DRAINAGE STRUCTURE	9 EA	200.00	1,800.00	225.00	2,025.00	220.00	1,980.00	257.50	2,317.50
318	EXTRA WORK ALLOWANCE FOR ROCK EXCAVATION - TRENCHES	40 CY	80.00	3,200.00	50.00	2,000.00	130.00	5,200.00	82.40	3,296.00

Project Number: 2012114			Engineer's Estimate		Spokane Rock Products Inc		Shamrock Paving Inc		Inland Asphalt Company	
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

<i>Schedule Description</i>				<i>Tax Classification</i>						
<i>Schedule 03 SEWER</i>				<i>Public Street Improvement</i>						
319	REPLACE UNSUITABLE PIPE FOUNDATION MATERIAL	10 CY	27.00	270.00	21.00	210.00	30.00	300.00	24.72	247.20
320	REMOVE UNSUITABLE PIPE FOUNDATION MATERIAL	10 CY	20.00	200.00	18.00	180.00	18.00	180.00	19.57	195.70
321	TRENCH SAFETY SYSTEM	1 LS	*****	1,500.00	*****	2,500.00	*****	1,450.00	*****	2,575.00
322	RECONNECT SIDE SEWER	1 EA	1,200.00	1,200.00	1,500.00	1,500.00	620.00	620.00	1,545.00	1,545.00
323	SIDE SEWER CLEANING AND VIDEO INSPECTION	1 EA	400.00	400.00	500.00	500.00	425.00	425.00	515.00	515.00
324	CATCH BASIN DUCTILE IRON SEWER PIPE 8 IN. DIAM.	650 LF	51.00	33,150.00	48.00	31,200.00	49.00	31,850.00	49.40	32,110.00
325	CONNECT 8 IN. DIAM. SEWER PIPE TO EXISTING SEWER PIPE	2 EA	500.00	1,000.00	300.00	600.00	800.00	1,600.00	309.00	618.00
326	PLUGGING EXISTING PIPE	4 EA	300.00	1,200.00	100.00	400.00	250.00	1,000.00	103.00	412.00
327	TEMPORARY ADJACENT UTILITY SUPPORT	1 LS	*****	1,500.00	*****	2,500.00	*****	300.00	*****	2,575.00
328	CLEANING EXISTING SANITARY SEWER	9 EA	500.00	4,500.00	255.00	2,295.00	250.00	2,250.00	255.00	2,295.00
329	SANITARY SEWER PIPE 8 IN. DIAM. INCL. STRUCTURAL EXCAVATION CLASS B	30 LF	130.00	3,900.00	28.00	840.00	95.00	2,850.00	49.50	1,485.00
330	SEWER REPAIR AT LATERAL CONNECTION	1 EA	750.00	750.00	1,500.00	1,500.00	975.00	975.00	2,150.00	2,150.00
Schedule Totals				170,895.00		147,755.00		179,508.00		153,115.20

<i>Project Number:</i> 2012114		<i>Engineer's Estimate</i>			Spokane Rock Products Inc		Shamrock Paving Inc		Inland Asphalt Company	
<i>Item No</i>	<i>Bid Item Description</i>	<i>Estimated Quantity</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Unit Price</i>	<i>Amount</i>
<i>Schedule Description</i>					<i>Tax Classification</i>					
<i>Schedule 04 WATER</i>					Not Public Street Improvement					
401	REMOVE AND DISPOSE OF TROLLEY RAILS	750 LF	18.00	13,500.00	12.00	9,000.00	9.00	6,750.00	22.65	16,987.50
402	SAWCUTTING FLEXIBLE PAVEMENT	7400 LFI	0.70	5,180.00	0.35	2,590.00	0.30	2,220.00	0.25	1,850.00
403	HMA FOR PAVEMENT REPAIR CL. 1/2 IN. PG 70-28, 4 INCH THICK	1125 SY	30.00	33,750.00	38.20	42,975.00	22.00	24,750.00	22.00	24,750.00
404	PAVEMENT REPAIR EXCAVATION INCL. HAUL	1125 SY	12.00	13,500.00	8.00	9,000.00	20.00	22,500.00	18.60	20,925.00
405	DUCTILE IRON PIPE FOR WATER MAIN 6 IN.	362 LF	38.00	13,756.00	45.00	16,290.00	46.00	16,652.00	46.35	16,778.70
406	DUCTILE IRON PIPE FOR WATER MAIN 8 IN.	372 LF	40.00	14,880.00	48.00	17,856.00	56.00	20,832.00	49.45	18,395.40
407	DUCTILE IRON PIPE FOR WATER MAIN 12 IN.	25 LF	65.00	1,625.00	125.00	3,125.00	125.00	3,125.00	130.00	3,250.00
408	REMOVAL OF EXISTING WATER MAIN	800 LF	10.00	8,000.00	5.00	4,000.00	8.00	6,400.00	6.18	4,944.00
409	TRENCH SAFETY SYSTEM	1 LS	*****	1,500.00	*****	1,500.00	*****	1,460.00	*****	1,545.00
410	EXTRA WORK ALLOWANCE FOR ROCK EXCAVATION - TRENCHES	100 CY	80.00	8,000.00	65.00	6,500.00	130.00	13,000.00	82.40	8,240.00
411	REMOVE UNSUITABLE PIPE FOUNDATION MATERIAL	25 CY	20.00	500.00	18.00	450.00	18.00	450.00	18.50	462.50
412	REPLACE UNSUITABLE PIPE FOUNDATION MATERIAL	25 CY	27.00	675.00	35.00	875.00	30.00	750.00	36.00	900.00
413	TEMPORARY ADJACENT UTILITY SUPPORT	1 LS	*****	3,000.00	*****	1,500.00	*****	350.00	*****	1,545.00
414	GATE VALVE 6 IN.	1 EA	1,000.00	1,000.00	2,200.00	2,200.00	1,200.00	1,200.00	2,266.00	2,266.00
415	GATE VALVE 8 IN.	2 EA	1,800.00	3,600.00	2,800.00	5,600.00	1,600.00	3,200.00	2,884.00	5,768.00
416	RECONNECT EXISTING HYDRANT	3 EA	2,000.00	6,000.00	2,500.00	7,500.00	2,000.00	6,000.00	2,575.00	7,725.00
417	TRENCH EXCAVATION FOR WATER SERVICE TAP	20 CY	50.00	1,000.00	45.00	900.00	35.00	700.00	103.00	2,060.00
418	WATER TAP APPLICATION FEE	2 EA	40.00	80.00	40.00	80.00	40.00	80.00	40.00	80.00

Project Number: 2012114			Engineer's Estimate		Spokane Rock Products Inc		Shamrock Paving Inc		Inland Asphalt Company	
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

<i>Schedule Description</i>				<i>Tax Classification</i>						
<i>Schedule 04 WATER</i>				Not Public Street Improvement						
419	RECONNECT EXISTING WATER SERVICE, 4 IN DIAMETER AND LARGER	5 EA	1,650.00	8,250.00	2,000.00	10,000.00	600.00	3,000.00	2,060.00	10,300.00
420	REINFORCED DOWELED CURB	260 LF	13.00	3,380.00	9.20	2,392.00	11.50	2,990.00	11.30	2,938.00
421	CONCRETE TRAFFIC ISLAND 24 IN. WIDE	29 LF	22.00	638.00	20.00	580.00	10.00	290.00	9.70	281.30
422	TRAFFIC ISLAND CONCRETE	70 SY	34.00	2,380.00	40.00	2,800.00	39.00	2,730.00	38.70	2,709.00
423	PLUGGING EXISTING PIPE	4 EA	150.00	600.00	100.00	400.00	250.00	1,000.00	103.00	412.00
Schedule Totals				144,794.00		148,113.00		140,429.00		155,112.40

Project Number: 2012114			Engineer's Estimate		Halme Construction Inc					
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

Schedule Description				Tax Classification						
Schedule 01 Common Items				Public Street Improvement						
101	REIMBURSEMENT FOR THIRD PARTY DAMAGE	1 EST	1.00	1.00	1.00	1.00	0.00	0.00	0.00	0.00
102	SPCC PLAN	1 LS	*****	750.00	*****	500.00	*****	0.00	*****	0.00
103	POTHOLING	20 EA	400.00	8,000.00	350.00	7,000.00	0.00	0.00	0.00	0.00
104	PUBLIC LIAISON REPRESENTATIVE	1 LS	*****	7,000.00	*****	5,500.00	*****	0.00	*****	0.00
105	REFERENCE AND REESTABLISH SURVEY MONUMENT	8 EA	250.00	2,000.00	225.00	1,800.00	0.00	0.00	0.00	0.00
106	CLASSIFICATION AND PROTECTION OF SURVEY MONUMENTS	1 LS	*****	2,500.00	*****	3,500.00	*****	0.00	*****	0.00
107	MOBILIZATION	1 LS	*****	50,000.00	*****	80,000.00	*****	0.00	*****	0.00
108	PROJECT TEMPORARY TRAFFIC CONTROL	1 LS	*****	25,000.00	*****	80,000.00	*****	0.00	*****	0.00
109	SPECIAL SIGNS	210 SF	20.00	4,200.00	11.50	2,415.00	0.00	0.00	0.00	0.00
110	SEQUENTIAL ARROW SIGN	4600 HR	3.00	13,800.00	2.00	9,200.00	0.00	0.00	0.00	0.00
111	TYPE III BARRICADE	10 EA	75.00	750.00	70.00	700.00	0.00	0.00	0.00	0.00
112	PORTABLE CHANGEABLE MESSAGE SIGN	240 HR	6.25	1,500.00	11.50	2,760.00	0.00	0.00	0.00	0.00
113	ESC LEAD	1 LS	*****	1,000.00	*****	1,200.00	*****	0.00	*****	0.00
114	INLET PROTECTION	15 EA	115.00	1,725.00	55.00	825.00	0.00	0.00	0.00	0.00
115	STREET CLEANING	40 HR	100.00	4,000.00	150.00	6,000.00	0.00	0.00	0.00	0.00
Schedule Totals				122,226.00		201,401.00		0.00		0.00

Project Number: 2012114			Engineer's Estimate		Halme Construction Inc					
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

Schedule Description					Tax Classification					
Schedule 02 Grind and Overlay					Public Street Improvement					
201	REMOVAL OF STRUCTURE AND OBSTRUCTION	1 LS	*****	5,000.00	*****	3,850.00	*****	0.00	*****	0.00
202	REMOVE EXISTING CURB	1170 LF	5.00	5,850.00	3.00	3,510.00	0.00	0.00	0.00	0.00
203	REMOVE CEMENT CONCRETE SIDEWALK AND DRIVEWAY	575 SY	9.00	5,175.00	6.00	3,450.00	0.00	0.00	0.00	0.00
204	REMOVE MANHOLE, CATCH BASIN OR DRYWELL	6 EA	550.00	3,300.00	240.00	1,440.00	0.00	0.00	0.00	0.00
205	REMOVE CURB/GRATE INLET	2 EA	350.00	700.00	240.00	480.00	0.00	0.00	0.00	0.00
206	SAWCUTTING CURB	62 EA	25.00	1,550.00	20.00	1,240.00	0.00	0.00	0.00	0.00
207	SAWCUTTING RIGID PAVEMENT	2000 LFI	1.00	2,000.00	1.00	2,000.00	0.00	0.00	0.00	0.00
208	SAWCUTTING FLEXIBLE PAVEMENT	5000 LFI	0.70	3,500.00	0.50	2,500.00	0.00	0.00	0.00	0.00
209	REMOVE UNSUITABLE FOUNDATION MATERIAL	50 CY	12.00	600.00	12.50	625.00	0.00	0.00	0.00	0.00
210	REPLACE UNSUITABLE FOUNDATION MATERIAL	50 CY	25.00	1,250.00	7.50	375.00	0.00	0.00	0.00	0.00
211	CSTC FOR SIDEWALK AND DRIVEWAYS	35 CY	42.00	1,470.00	70.00	2,450.00	0.00	0.00	0.00	0.00
212	HMA CL. 1/2 IN. PG 70-28, 2 INCH THICK	19095 SY	8.50	162,307.50	8.75	167,081.25	0.00	0.00	0.00	0.00
213	HMA FOR PRELEVELING CL. 3/8 IN. PG 70-28	600 TO	80.00	48,000.00	91.00	54,600.00	0.00	0.00	0.00	0.00
214	HMA FOR PAVEMENT REPAIR CL. 1/2 IN. PG 70-28, 4 INCH THICK	830 SY	30.00	24,900.00	35.00	29,050.00	0.00	0.00	0.00	0.00
215	PAVEMENT REPAIR EXCAVATION INCL. HAUL	830 SY	12.00	9,960.00	20.00	16,600.00	0.00	0.00	0.00	0.00
216	PLANING BITUMINOUS PAVEMENT	19095 SY	2.50	47,737.50	2.00	38,190.00	0.00	0.00	0.00	0.00
217	JOB MIX COMPLIANCE PRICE ADJUSTMENT	1 CAL	-1.00	-1.00	-1.00	-1.00	0.00	0.00	0.00	0.00
218	COMPACTION PRICE ADJUSTMENT	1 EST	3,661.00	3,661.00	3,661.00	3,661.00	0.00	0.00	0.00	0.00
219	CEMENT CONCRETE CURB WALL 16 IN. - 30 IN. TALL	90 LF	50.00	4,500.00	43.00	3,870.00	0.00	0.00	0.00	0.00

<i>Project Number:</i> 2012114		<i>Engineer's Estimate</i>			Halme Construction Inc					
<i>Item No</i>	<i>Bid Item Description</i>	<i>Estimated Quantity</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Unit Price</i>	<i>Amount</i>
<i>Schedule Description</i>				<i>Tax Classification</i>						
<i>Schedule 02</i> Grind and Overlay				Public Street Improvement						
220	SEGMENTAL CONCRETE RETAINING WALL	120 SF	50.00	6,000.00	54.00	6,480.00	0.00	0.00	0.00	0.00
221	REMOVE AND REPLACE SEGMENTAL CONCRETE RETAINING WALL, 9TH AND McCLELLAN	1 LS	*****	2,000.00	*****	5,500.00	*****	0.00	*****	0.00
222	GRATE INLET TYPE 3	1 EA	1,050.00	1,050.00	1,000.00	1,000.00	0.00	0.00	0.00	0.00
223	ADJUST EXISTING VALVE BOX, MONUMENT OR CLEANOUT IN ASPHALT	34 EA	320.00	10,880.00	250.00	8,500.00	0.00	0.00	0.00	0.00
224	ADJUST EXISTING MANHOLE, CATCH BASIN, DRYWELL, OR INLET IN ASPHALT	42 EA	450.00	18,900.00	400.00	16,800.00	0.00	0.00	0.00	0.00
225	CATCH BASIN TYPE 1	3 EA	1,900.00	5,700.00	1,700.00	5,100.00	0.00	0.00	0.00	0.00
228	TOPSOIL TYPE A, 2 INCH THICK	20 SY	7.00	140.00	10.00	200.00	0.00	0.00	0.00	0.00
229	SOD INSTALLATION	20 SY	15.00	300.00	16.00	320.00	0.00	0.00	0.00	0.00
230	REMOVE AND REPLACE EXISTING SPRINKLER HEADS AND LINES	1 LS	*****	3,500.00	*****	2,800.00	*****	0.00	*****	0.00
231	CEMENT CONCRETE CURB	656 LF	16.00	10,496.00	22.00	14,432.00	0.00	0.00	0.00	0.00
232	CEMENT CONC. CURB AND GUTTER	274 LF	22.00	6,028.00	33.00	9,042.00	0.00	0.00	0.00	0.00
233	RAMP DETECTABLE WARNING	272 SF	20.00	5,440.00	23.00	6,256.00	0.00	0.00	0.00	0.00
234	CEMENT CONC. SIDEWALK	575 SY	40.00	23,000.00	40.00	23,000.00	0.00	0.00	0.00	0.00
235	CHANNELIZING DEVICES	5 EA	65.00	325.00	120.00	600.00	0.00	0.00	0.00	0.00
236	TRAFFIC SIGNAL SYSTEM RETROFIT MCCLELLAN AND 9TH	1 LS	*****	27,000.00	*****	23,500.00	*****	0.00	*****	0.00
237	TRAFFIC SIGNAL SYSTEM RETROFIT McCLELLAN AND 8TH	1 LS	*****	12,000.00	*****	5,800.00	*****	0.00	*****	0.00
238	TRAFFIC SIGNAL SYSTEM RETROFIT GRAND BOULEVARD AND 14TH	1 LS	*****	12,000.00	*****	17,500.00	*****	0.00	*****	0.00

Project Number: 2012114			Engineer's Estimate		Halme Construction Inc					
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

<i>Schedule Description</i>				<i>Tax Classification</i>						
<i>Schedule 02 Grind and Overlay</i>				<i>Public Street Improvement</i>						
240	SIGNING, PERMANENT	1 LS	*****	12,000.00	*****	10,500.00	*****	0.00	*****	0.00
241	PAVEMENT MARKING - DURABLE HEAT APPLIED	1977 SF	10.00	19,770.00	10.00	19,770.00	0.00	0.00	0.00	0.00
242	PAVEMENT MARKING - DURABLE INLAY TAPE	1542 SF	9.00	13,878.00	12.00	18,504.00	0.00	0.00	0.00	0.00
244	WORD AND SYMBOL MARKINGS - DURABLE HEAT APPLIED	2 EA	200.00	400.00	150.00	300.00	0.00	0.00	0.00	0.00
245	TEMPORARY PAVEMENT MARKING	1 LS	*****	2,000.00	*****	2,600.00	*****	0.00	*****	0.00
246	REINFORCED DOWELED CURB	20 LF	13.00	260.00	10.50	210.00	0.00	0.00	0.00	0.00
247	TRAFFIC ISLAND CONCRETE	13 SY	34.00	442.00	45.00	585.00	0.00	0.00	0.00	0.00
Schedule Totals				524,969.00		534,270.25		0.00		0.00

Project Number: 2012114			Engineer's Estimate		Halme Construction Inc					
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

Schedule Description					Tax Classification					
Schedule 03 SEWER					Public Street Improvement					
301	REMOVE EXISTING CURB	100 LF	5.00	500.00	3.00	300.00	0.00	0.00	0.00	0.00
302	REMOVE CEMENT CONCRETE SIDEWALK AND DRIVEWAY	35 SY	9.00	315.00	6.00	210.00	0.00	0.00	0.00	0.00
303	REMOVE MANHOLE, CATCH BASIN OR DRYWELL	12 EA	550.00	6,600.00	240.00	2,880.00	0.00	0.00	0.00	0.00
304	REMOVE CURB/GRATE INLET	2 EA	350.00	700.00	240.00	480.00	0.00	0.00	0.00	0.00
305	REMOVE EXISTING 4-IN TO 12-IN STORM PIPE	650 LF	10.00	6,500.00	14.50	9,425.00	0.00	0.00	0.00	0.00
306	SAWCUTTING CURB	8 EA	25.00	200.00	20.00	160.00	0.00	0.00	0.00	0.00
307	SAWCUTTING FLEXIBLE PAVEMENT	12000 LFI	0.70	8,400.00	0.50	6,000.00	0.00	0.00	0.00	0.00
308	SAWCUTTING RIGID PAVEMENT	200 LFI	1.00	200.00	1.00	200.00	0.00	0.00	0.00	0.00
309	ABANDON EXISTING MANHOLE, CATCH BASIN OR DRYWELL	2 EA	400.00	800.00	225.00	450.00	0.00	0.00	0.00	0.00
310	REMOVE AND DISPOSE OF TROLLEY RAILS	100 LF	18.00	1,800.00	11.00	1,100.00	0.00	0.00	0.00	0.00
311	CSTC FOR SIDEWALK AND DRIVEWAYS	5 CY	42.00	210.00	70.00	350.00	0.00	0.00	0.00	0.00
312	HMA FOR PAVEMENT REPAIR CL. 1/2 IN. PG 70-28, 4 INCH THICK	1150 SY	30.00	34,500.00	28.50	32,775.00	0.00	0.00	0.00	0.00
313	PAVEMENT REPAIR EXCAVATION INCL. HAUL	1150 SY	12.00	13,800.00	20.00	23,000.00	0.00	0.00	0.00	0.00
314	CATCH BASIN TYPE 1	13 EA	1,900.00	24,700.00	1,700.00	22,100.00	0.00	0.00	0.00	0.00
315	MANHOLE OR DRYWELL FRAME AND COVER (LOCKABLE)	25 EA	630.00	15,750.00	700.00	17,500.00	0.00	0.00	0.00	0.00
316	CONNECT 6-12 - IN. DIAMETER PIPE TO EXISTING CATCH BASIN, DRYWELL, OR MANHOLE	9 EA	150.00	1,350.00	270.00	2,430.00	0.00	0.00	0.00	0.00
317	CLEANING EXISTING DRAINAGE STRUCTURE	9 EA	200.00	1,800.00	100.00	900.00	0.00	0.00	0.00	0.00
318	EXTRA WORK ALLOWANCE FOR ROCK EXCAVATION - TRENCHES	40 CY	80.00	3,200.00	55.00	2,200.00	0.00	0.00	0.00	0.00

Project Number: 2012114			Engineer's Estimate		Halme Construction Inc					
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

Schedule Description					Tax Classification					
Schedule 03 SEWER					Public Street Improvement					
319	REPLACE UNSUITABLE PIPE FOUNDATION MATERIAL	10 CY	27.00	270.00	7.50	75.00	0.00	0.00	0.00	0.00
320	REMOVE UNSUITABLE PIPE FOUNDATION MATERIAL	10 CY	20.00	200.00	12.50	125.00	0.00	0.00	0.00	0.00
321	TRENCH SAFETY SYSTEM	1 LS	*****	1,500.00	*****	550.00	*****	0.00	*****	0.00
322	RECONNECT SIDE SEWER	1 EA	1,200.00	1,200.00	525.00	525.00	0.00	0.00	0.00	0.00
323	SIDE SEWER CLEANING AND VIDEO INSPECTION	1 EA	400.00	400.00	425.00	425.00	0.00	0.00	0.00	0.00
324	CATCH BASIN DUCTILE IRON SEWER PIPE 8 IN. DIAM.	650 LF	51.00	33,150.00	44.00	28,600.00	0.00	0.00	0.00	0.00
325	CONNECT 8 IN. DIAM. SEWER PIPE TO EXISTING SEWER PIPE	2 EA	500.00	1,000.00	260.00	520.00	0.00	0.00	0.00	0.00
326	PLUGGING EXISTING PIPE	4 EA	300.00	1,200.00	90.00	360.00	0.00	0.00	0.00	0.00
327	TEMPORARY ADJACENT UTILITY SUPPORT	1 LS	*****	1,500.00	*****	2,000.00	*****	0.00	*****	0.00
328	CLEANING EXISTING SANITARY SEWER	9 EA	500.00	4,500.00	600.00	5,400.00	0.00	0.00	0.00	0.00
329	SANITARY SEWER PIPE 8 IN. DIAM. INCL. STRUCTURAL EXCAVATION CLASS B	30 LF	130.00	3,900.00	40.00	1,200.00	0.00	0.00	0.00	0.00
330	SEWER REPAIR AT LATERAL CONNECTION	1 EA	750.00	750.00	950.00	950.00	0.00	0.00	0.00	0.00
Schedule Totals				170,895.00		163,190.00		0.00		0.00

<i>Project Number:</i> 2012114		<i>Engineer's Estimate</i>			Halme Construction Inc					
<i>Item No</i>	<i>Bid Item Description</i>	<i>Estimated Quantity</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Unit Price</i>	<i>Amount</i>
<i>Schedule Description</i>					<i>Tax Classification</i>					
<i>Schedule 04 WATER</i>					Not Public Street Improvement					
401	REMOVE AND DISPOSE OF TROLLEY RAILS	750 LF	18.00	13,500.00	11.00	8,250.00	0.00	0.00	0.00	0.00
402	SAWCUTTING FLEXIBLE PAVEMENT	7400 LFI	0.70	5,180.00	0.50	3,700.00	0.00	0.00	0.00	0.00
403	HMA FOR PAVEMENT REPAIR CL. 1/2 IN. PG 70-28, 4 INCH THICK	1125 SY	30.00	33,750.00	28.50	32,062.50	0.00	0.00	0.00	0.00
404	PAVEMENT REPAIR EXCAVATION INCL. HAUL	1125 SY	12.00	13,500.00	20.00	22,500.00	0.00	0.00	0.00	0.00
405	DUCTILE IRON PIPE FOR WATER MAIN 6 IN.	362 LF	38.00	13,756.00	44.00	15,928.00	0.00	0.00	0.00	0.00
406	DUCTILE IRON PIPE FOR WATER MAIN 8 IN.	372 LF	40.00	14,880.00	48.00	17,856.00	0.00	0.00	0.00	0.00
407	DUCTILE IRON PIPE FOR WATER MAIN 12 IN.	25 LF	65.00	1,625.00	90.00	2,250.00	0.00	0.00	0.00	0.00
408	REMOVAL OF EXISTING WATER MAIN	800 LF	10.00	8,000.00	4.50	3,600.00	0.00	0.00	0.00	0.00
409	TRENCH SAFETY SYSTEM	1 LS	*****	1,500.00	*****	275.00	*****	0.00	*****	0.00
410	EXTRA WORK ALLOWANCE FOR ROCK EXCAVATION - TRENCHES	100 CY	80.00	8,000.00	55.00	5,500.00	0.00	0.00	0.00	0.00
411	REMOVE UNSUITABLE PIPE FOUNDATION MATERIAL	25 CY	20.00	500.00	12.50	312.50	0.00	0.00	0.00	0.00
412	REPLACE UNSUITABLE PIPE FOUNDATION MATERIAL	25 CY	27.00	675.00	7.50	187.50	0.00	0.00	0.00	0.00
413	TEMPORARY ADJACENT UTILITY SUPPORT	1 LS	*****	3,000.00	*****	2,000.00	*****	0.00	*****	0.00
414	GATE VALVE 6 IN.	1 EA	1,000.00	1,000.00	1,000.00	1,000.00	0.00	0.00	0.00	0.00
415	GATE VALVE 8 IN.	2 EA	1,800.00	3,600.00	1,350.00	2,700.00	0.00	0.00	0.00	0.00
416	RECONNECT EXISTING HYDRANT	3 EA	2,000.00	6,000.00	1,700.00	5,100.00	0.00	0.00	0.00	0.00
417	TRENCH EXCAVATION FOR WATER SERVICE TAP	20 CY	50.00	1,000.00	15.00	300.00	0.00	0.00	0.00	0.00
418	WATER TAP APPLICATION FEE	2 EA	40.00	80.00	40.00	80.00	0.00	0.00	0.00	0.00

Project Number: 2012114		Engineer's Estimate		Halme Construction Inc						
Item No	Bid Item Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount

<i>Schedule Description</i>				<i>Tax Classification</i>							
<i>Schedule 04 WATER</i>				Not Public Street Improvement							
419	RECONNECT EXISTING WATER SERVICE, 4 IN DIAMETER AND LARGER	5 EA	1,650.00	8,250.00	1,300.00	6,500.00	0.00	0.00	0.00	0.00	
420	REINFORCED DOWELED CURB	260 LF	13.00	3,380.00	10.50	2,730.00	0.00	0.00	0.00	0.00	
421	CONCRETE TRAFFIC ISLAND 24 IN. WIDE	29 LF	22.00	638.00	28.00	812.00	0.00	0.00	0.00	0.00	
422	TRAFFIC ISLAND CONCRETE	70 SY	34.00	2,380.00	45.00	3,150.00	0.00	0.00	0.00	0.00	
423	PLUGGING EXISTING PIPE	4 EA	150.00	600.00	90.00	360.00	0.00	0.00	0.00	0.00	
Schedule Totals				144,794.00		137,153.50		0.00		0.00	

Project Number

2012114

Grand-McClellan, 14th Ave to 8th Ave

SCHEDULE SUMMARY

	Sched 1	Sched 2	Sched 3	Sched 4	Sched 5	Sched 6	Sched 7	Sched 8	Total
Engineer's Est	122,226.00	524,969.00	170,895.00	144,794.00	0.00	0.00	0.00	0.00	962,884.00
Spokane Rock Product	186,761.00	483,163.55	147,755.00	148,113.00	0.00	0.00	0.00	0.00	965,792.55
Shamrock Paving Inc	151,991.00	526,889.45	179,508.00	140,429.00	0.00	0.00	0.00	0.00	998,817.45
Inland Asphalt Compan	207,160.50	519,607.70	153,115.20	155,112.40	0.00	0.00	0.00	0.00	1,034,995.80
Halme Construction Inc	201,401.00	534,270.25	163,190.00	137,153.50	0.00	0.00	0.00	0.00	1,036,014.75

Low Bid Contractor: Spokane Rock Products Inc

	Contractor's Bid	Engineer's Estimate	% Variance	
Schedule 01	\$186,761.00	\$122,226.00	52.80	% Over Estimate
Schedule 02	\$483,163.55	\$524,969.00	7.96	% Under Estimate
Schedule 03	\$147,755.00	\$170,895.00	13.54	% Under Estimate
Schedule 04	\$160,998.83	\$157,391.08	2.29	% Over Estimate
Bid Totals	\$978,678.38	\$975,481.08	0.33	% Over Estimate



Agenda Sheet for City Council Meeting of:

05/12/2014

<u>Date Rec'd</u>	4/30/2014
<u>Clerk's File #</u>	PRO 2013-0010
<u>Renews #</u>	
<u>Cross Ref #</u>	
<u>Project #</u>	2012086
<u>Bid #</u>	
<u>Requisition #</u>	CR 14440

<u>Submitting Dept</u>	ENGINEERING SERVICES
<u>Contact Name/Phone</u>	KEN BROWN 625-7722
<u>Contact E-Mail</u>	KBROWN@SPOKANECITY.ORG
<u>Agenda Item Type</u>	Contract Item
<u>Agenda Item Name</u>	0370 CHANGE ORDER NO. 8 - N & N EXCAVATION, LLC FOR EUCLID AVENUE

Agenda Wording
 Change Order No. 8 to Contract with N & N Excavation, LLC for Euclid Avenue from Mayfair Street to Crestline Street Water Main Replacement; with an increase of \$35,025.00 or 1.8% and six working days (Total cost-to-date \$2,187,620.82).

Summary (Background)
 This Change Order provides payment for additional Ductile Iron Pipe requested by the Water Department.

<u>Fiscal Impact</u>	<u>Budget Account</u>
Expense \$ 35,025.00	# 4100 42490 94000 56501 15712
Select \$	#
Select \$	#
Select \$	#

<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	TWOHIG, KYLE	<u>Study Session</u>	
<u>Division Director</u>	QUINTRALL, JAN	<u>Other</u>	PCED 5/5/2014
<u>Finance</u>	LESESNE, MICHELE	<u>Distribution List</u>	
<u>Legal</u>	DALTON, PAT	lhattenburg@spokanecity.org	
<u>For the Mayor</u>	SANDERS, THERESA	pdolan@spokanecity.org	
<u>Additional Approvals</u>		mlesesne@spokanecity.org	
<u>Purchasing</u>		htrautman@spokanecity.org	
		rdykes@spokanecity.org	
		mhughes@spokanecity.org	
		acline@spokanecity.org	

PCED Agenda Item

Consent/Informational Item

Bid

Contract

Project Update

Title: Euclid Avenue from Mayfair Street to Crestline Street Water Main Replacement, Project Number 2012086

Date: May 5, 2014

Prepared By: Ken Brown

Narrative: Legislative Change Order Agreement No. 8 to contract with N & N Excavation, LLC for the Euclid Avenue Water Main Replacement project. The Water Department requested an additional 934 LF of 6-inch Ductile Iron Pipe be constructed as part of this project at a cost of \$35,025 which includes all labor, equipment and materials required to perform the work.

Original Contract Amount: \$ 1,988,746.20

Original Administrative Reserve: \$ 198,874.62

Total Amount authorized: \$ 2,187,620.82

This Request: \$ 35,025.00 (1.8%)

This project is funded by Water Department, Bond and Wastewater Management funds. Costs for this change order will come from Water Department Capital Funds.

Further Updates/Information:

CITY OF SPOKANE

CONSTRUCTION MANAGEMENT

LEGISLATIVE CHANGE ORDER AGREEMENT NO. 8

N & N EXCAVATION, LLC

2012086

EUCLID WATER MAIN REPLACEMENT

March 28, 2014

If this is a change to a Federal Aid Project and the amount authorized in the Local Agency Agreement is exceeded and federal funds are not available for this change, the Local Agency will assume the total cost of this Change Order. Federal Aid Number : _____

- Change ordered by Engineer under the terms of Section 1-04.4 of the Standard Specifications
- Change proposed by Contractor

PROPOSED CHANGE

All work shall be performed in accordance with the appropriate section(s) of the Standard Specifications.

The City Water Dept. added 934 LF of 6" Ductile Iron Pipe to the project at the original contract price of \$31.00 per LF, and \$2.50 per LF for existing 6" removal. An increase of \$4.00 per LF was negotiated by the Water Dept. to reflect the increase in the cost of pipe.

Bid item - # 265 - Additional 6" DI Pipe by lump sum will be created in the amount of \$35,025 and will include all labor, equipment, and materials required to perform the work. No extra traffic control will be paid for.

Six (6) additional working days will be added to the contract.



Agenda Sheet for City Council Meeting of:

05/12/2014

Date Rec'd	4/30/2014
Clerk's File #	OPR 2014-0366
Renews #	

Submitting Dept	POLICE	Cross Ref #	
Contact Name/Phone	RICK DOBROW 625-4115	Project #	
Contact E-Mail	RDOBROW@SPOKANEPOLICE.ORG	Bid #	
Agenda Item Type	Contract Item	Requisition #	
Agenda Item Name	0680-WASHINGTON STATE CRIMINAL JUSTICE TRAINING COMMISSION		

Agenda Wording

Agreement to accept reimbursement of an officer's salary from the Washington State Criminal Justice Training Commission (WSCJTC), Burien, WA. Term January 1, 2014 to July 31, 2015. Estimated Revenue is \$170,774.

Summary (Background)

(The WSCJTC pursuant to RCS 43.101 is allowed to contract for training of criminal justice personnel through individuals or agencies. WSCJTC is requesting to contract for one SPD officer to administer, conduct and present the State's Emergency Vehicle Operations and traffic Collision Program. The agreement is for the term January 1, 2014 to July 31, 2015 at an estimated cost of \$170,774 for the reimbursement of salary and benefits

Fiscal Impact

Revenue \$ 170,774.00

Select \$

Select \$

Select \$

Budget Account

0680-11300-21400-33821

#

#

#

Approvals

Dept Head SCHWERING, TIM

Division Director STRAUB, FRANK

Finance LESESNE, MICHELE

Legal DALTON, PAT

For the Mayor SANDERS, THERESA

Council Notifications

Study Session 04/21/2014 Public Safety

Other

Distribution List

ewade

rdobrow

Additional Approvals

cbulkey

Purchasing

achirowamangu

kclar

anapolitano

jstapleton

**Briefing Paper
City of Spokane
Spokane Police Department/Public Safety Committee
April 21, 2014**

Subject

Washington State Criminal Justice Training Commission (WSCJTC) officer salary reimbursement.

Background

The WSCJTC has offered to reimburse SPD for the full time salary of an officer in order to aid in the Emergency Vehicle Operations and Traffic Collision Program. The officer will be responsible for administering, conducting, and presenting the program under the state's supervision.

The term of the contract is January 1, 2014-July 31, 2015. The officer's salary and benefits for that period of time are estimated at \$170,774 to be reimbursed by WSCJTC.

Impact

The program helps local training as well as state wide training and helps to maintain local credentials in the advancement of the program.

Action

Staff recommends acceptance of monies from WSCJTC in order to reimburse for officer's salary.

Funding

This officer is currently funded in the general fund and reimbursements of salary will back to the general fund.

AGREEMENT

This agreement is made and entered into by and between the **Spokane Police Department**, hereinafter referred to as the "Department", and the Washington State Criminal Justice Training Commission, hereinafter referred to as the "Commission".

Whereas **Craig Bulkley** is employed by the Department as an employee, holding the position of Officer therein; and

Whereas the Commission, pursuant to Chapter 43.101.RCW, is empowered to provide programs and standards for the training of criminal justice personnel and in conjunction therewith may contract with individuals and agencies for the purpose of training; and

Whereas the Commission desires to contract with the Department for the full-time services of **Craig Bulkley** in administering, conducting, and presenting this state's Emergency Vehicle Operations and Traffic Collision program;

Now therefore, for and in consideration of the mutual promises set forth hereafter, the parties hereto mutually agree as follows:

(1) Term

This agreement shall commence on the **1st day of January 2014** and terminate on the **31st day of July 2015**, subject to prior termination as provided herein and unless as extended by written mutual agreement of the parties hereto.

(2) Duties of the Department

The Department shall provide the full-time services of **Craig Bulkley** to the Commission for the purpose of administering, conducting, and presenting the Emergency Vehicle Operations and Traffic Collision program. Such services shall include, but not be limited to:

- (a) Providing classroom instruction in assigned subjects.
- (b) Creating written and practical exercises relating to Emergency Vehicle Operations and Traffic Collision (reserve, basic, advanced train-of-trainers, simulator, etc.).
- (c) Writing test material.
- (d) Researching/updating instruction and teaching materials.
- (e) Tutoring/counseling recruit instructors.
- (g) Grading exams.

(h) Assisting and coordinating practical training exercises.

(i) Suggesting revisions to academy programs and curriculum.

(3) Consideration

In consideration of those services provided under this agreement, the Commission shall reimburse to the Department its full payment of salary to **Craig Bulkley**, including all benefits and all increases to said salary, during the period of **Craig Bulkley's** service to the Commission herein under. The Commission shall pay said reimbursement amount upon submission by the Department of a monthly invoice to the Commission at P.O. Box 40905, MS 40905, Olympia, Washington 98504-0905.

(4) Agreements Outside of This Agreement

This agreement contains the complete agreement between the parties and shall, as of the effective date hereof, supersede all agreements, either written or oral, between the parties. The parties agree that neither of them has made any representations with respect to the subject matter of this agreement or any representations, including the executing and delivery hereof, except such representations as are specifically set forth herein; and each of the parties hereto acknowledges that it has relied on its own judgment in entering into this agreement.

(5) Modification

No waiver or modification of this agreement or any covenants, conditions, or limitations herein contained shall be valid unless in writing and duly executed by the parties to be charged therewith; and no evidence of any waiver or modification shall be offered or received in evidence of any proceeding or litigation between the parties hereto arising out of or affecting this agreement, or the rights or obligations of the parties herein under, unless such waiver or modification is in writing duly executed as aforesaid; and the parties further agree that the provisions of this section may not be waived except as herein set forth.

(6) Termination of Agreement

This agreement may be terminated without cause at any time by mutual agreement of the parties hereto, or by either party after sixty-days (60) following the other party's receipt of a written intent to terminate.

The parties retain the right to cancel this agreement upon ten (10) days written notice to the other party if either party fails to properly keep any of the provisions of this agreement. In the event of termination under this section, the Department will be entitled to receive, to the date of such termination on a pro rata basis, the compensation as set forth in section (3) herein.

(7) Employment Obligations Of Parties

The Department agrees to pay to **Craig Bulkley** the full salary, including all increases to said salary, accruing to him as an employee of the Department during the period of his services herein under.

Additionally, the Department agrees to extend to **Craig Bulkley** all rights, privileges, and benefits attendant to and resulting from his employment by the Department, including any and all promotional opportunities otherwise available to him. The Department further agrees that upon completion and conclusion of **Craig Bulkley's** service herein under, and in the absence of any promotion or upgrading in classification which has occurred during the duration of this agreement, he will be returned and reinstated to the Department at the same or equal commissioned rank or position which he held on the beginning date of this agreement.

The Commission agrees to effect all necessary evaluation and documentation regarding **Craig Bulkley** during the period of his service herein under and as required by the Department. The Commission additionally agrees to provide **Craig Bulkley** a work and learning experience and professional opportunities for career development and enrichment at no special cost or direct cost to the Department.

(8) Department Held Harmless

The Commission agrees to hold the Department and **Craig Bulkley** harmless from any liability or claim of liability, which may arise, from acts or omissions occurring:

- (a) in performance of services reasonably related to this agreement, and
- (b) either at the request of or under the direction and control of the Commission, its agents or employees.

(9) Medical/Health and Workers' Compensation Benefits

In the event of any injury to, or the illness or death of **Craig Bulkley** while acting in performance of this agreement, the Department agrees to extend to **Craig Bulkley** medical / health and workers' compensation benefits and other compensation, to the same extent and in the same manner as if such injury, illness, or death had occurred during work assignment in and for the Department.

(10) Venue Stipulation

This agreement shall be construed as having been made and delivered with the State of Washington, and the laws of the State of Washington shall be applicable to its construction and enforcement. Any action at law, suit in equity, or judicial proceeding for the enforcement of this agreement or any provision hereto shall be instituted in King County, Seattle, Washington.

(11) Assignment

Each party to this agreement stipulates that the agreement is one for personal services and accordingly neither party hereto may assign, sublet, or transfer any interest in this agreement.

(12) Compliance With Laws

The parties hereto agree to comply in carrying out the terms of this agreement with all applicable federal, state, and local laws, ordinances, and regulations, including

but not necessarily limited to, the laws pertaining to civil rights and laws pertaining to the Commission and the Department, including merit system rules.

(13) Notices

All notices given herein shall be in writing and shall be sent by registered mail to the parties at their recognized business addresses.

(14) Headings

The article headings contained in this agreement are inserted solely as a matter of convenience and for reference and in no way do they define, limit, or describe the scope or intent of the provisions of this agreement.

IN WITNESS WHEREOF, the parties have affixed their signatures on the dates below.

Washington State Criminal Justice
Training Commission

Spokane Police Department

Sue Rhar, Executive Director
Criminal Justice Training Commission
19010 1st Avenue South
Burien, Washington 98148

Date



Frank Straub, Chief
Spokane Police Department
1100 West Mallon Avenue
Spokane, WA 99260

12/19/13
Date

cc: Brian Elliott, Fiscal Manager, WSCJTC
Officer Craig Bulkley, Spokane Police Department
Stephen Lettic, Manager, WSCJTC Advanced Training



Agenda Sheet for City Council Meeting of:

05/12/2014

Date Rec'd	4/30/2014
Clerk's File #	OPR 2014-0367
Renews #	

Submitting Dept	POLICE	Cross Ref #	
Contact	TIM SCHWERING 625-4109	Project #	
Contact E-Mail	TSCHWERING@SPOKANEPOLICE.ORG	Bid #	
Agenda Item Type	Contract Item	Requisition #	VALUE BLANKET
Agenda Item Name	0680-BLUMENTHAL'S UNIFORMS CO.- JUMPSUITS		

Agenda Wording

Contract with Blumenthal Uniforms Co. that includes light, mid-weight and heavy jumpsuits. Estimated annual expense is \$150,000.00.

Summary (Background)

A contract with Blumenthal Uniform Co. that includes light, mid-weight and heavy jumpsuits are essential gear for police officers. This Value Blanket term is for 04/01/2014 to 03/31/2015. The value blanket is utilizing Blumenthal's WA state contract #06810. The contract is not to exceed \$150,000.00. The department would like to purchase approximately 250 jumpsuits per year. The amount also includes alterations and sales tax.

<u>Fiscal Impact</u>	<u>Budget Account</u>
Expense \$ 150,000.00	# 0680-30210-21920-53202
Select \$	#
Select \$	#
Select \$	#

<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	SCHWERING, TIM	<u>Study Session</u>	04/21/2014 -Public
<u>Division Director</u>	STRAUB, FRANK	<u>Other</u>	
<u>Finance</u>	LESESNE, MICHELE	<u>Distribution List</u>	
<u>Legal</u>	WHALEY, HUNT	ewade	
<u>For the Mayor</u>	SANDERS, THERESA	Kileyw@blumenthaluniforms.com	
<u>Additional Approvals</u>		tschwering	
<u>Purchasing</u>	WAHL, CONNIE	smann	
		cwahl	

**Briefing Paper
City of Spokane
Spokane Police Department
Blumenthal's Jumpsuit Contract
4/21/2014**

Subject

Value Blanket with Blumenthal Uniforms Co. for police jumpsuits.

Background

A contract with Blumenthal Uniform Co. that includes light, mid-weight, and heavy jumpsuits are essential gear for police officers.

Value Blanket term is 04/01/14-3/31/15. The value blanket is utilizing Blumenthal's WA state contract # 06810. Estimated VB amount is \$150,000.00. The department would like to purchase approximately 250 jumpsuits per year. The amount also includes alterations and sales tax.

Action

Approve jumpsuit value blanket contract with Blumenthal Uniforms Co. for jumpsuits.

Funding

General fund



Agenda Sheet for City Council Meeting of:

05/12/2014

<u>Date Rec'd</u>	5/1/2014
<u>Clerk's File #</u>	CPR 1981-0295
<u>Renews #</u>	
<u>Cross Ref #</u>	
<u>Project #</u>	
<u>Bid #</u>	
<u>Requisition #</u>	

<u>Submitting Dept</u>	MAYOR
<u>Contact Name/Phone</u>	RAE-LYNN BARDEN 625-6774
<u>Contact E-Mail</u>	RBARDEN@SPOKANECITY.ORG
<u>Agenda Item Type</u>	Boards and Commissions Appointments
<u>Agenda Item Name</u>	0520 APPOINTMENT TO PLAN COMMISSION

Agenda Wording
 Appoint Nancy Woodford, Ron Irwin and Diane Hegedus to the plan commission.

Summary (Background)
 Appoint Nancy Woodford to a term to begin April 1, 2014 and expire on December 31, 2015. Appoint Ron Irwin to a term to begin April 1, 2014 and expire on December 31, 2016. Appoint Diane Hegedus to a term to begin April 1, 2014 and expire on December 31, 2018.

<u>Fiscal Impact</u>	<u>Budget Account</u>
Select \$	#
Select \$	#
Select \$	#
Select \$	#

<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	WESTFALL, JENNIFER	<u>Study Session</u>	
<u>Division Director</u>		<u>Other</u>	
<u>Finance</u>		<u>Distribution List</u>	
<u>Legal</u>		jwestfall@spokanecity.org	
<u>For the Mayor</u>	SANDERS, THERESA	schesney@spokanecity.org	
<u>Additional Approvals</u>			
<u>Purchasing</u>			



Agenda Sheet for City Council Meeting of:

05/12/2014

<u>Date Rec'd</u>	5/1/2014
<u>Clerk's File #</u>	CPR 1981-0400
<u>Renews #</u>	
<u>Cross Ref #</u>	
<u>Project #</u>	
<u>Bid #</u>	
<u>Requisition #</u>	

<u>Submitting Dept</u>	MAYOR
<u>Contact Name/Phone</u>	RAE-LYNN BARDEN 625-6774
<u>Contact E-Mail</u>	RBARDEN@SPOKANECITY.ORG
<u>Agenda Item Type</u>	Boards and Commissions Appointments
<u>Agenda Item Name</u>	0520 APPOINTMENT TO LIBRARY BOARD OF TRUSTEES

Agenda Wording
 Appoint Mary Starkey to a term to begin April 1, 2014 and expire on March 31, 2019

Summary (Background)
 Appoint Mary Starkey to a term to begin April 1, 2014 and expire on March 31, 2019

<u>Fiscal Impact</u>	<u>Budget Account</u>
Select \$	#
Select \$	#
Select \$	#
Select \$	#

<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	WESTFALL, JENNIFER	<u>Study Session</u>	
<u>Division Director</u>		<u>Other</u>	
<u>Finance</u>		<u>Distribution List</u>	
<u>Legal</u>		jwestfall@spokanecity.org	
<u>For the Mayor</u>	SANDERS, THERESA		
<u>Additional Approvals</u>			
<u>Purchasing</u>			



Agenda Sheet for City Council Meeting of:

05/12/2014

<u>Date Rec'd</u>	4/30/2014
<u>Clerk's File #</u>	RES 2014-0053
<u>Renews #</u>	
<u>Cross Ref #</u>	
<u>Project #</u>	
<u>Bid #</u>	
<u>Requisition #</u>	

<u>Submitting Dept</u>	PLANNING & DEVELOPMENT
<u>Contact Name/Phone</u>	BORIS BORISOV 625-6156
<u>Contact E-Mail</u>	BBORISOV@SPOKANECITY.ORG
<u>Agenda Item Type</u>	Resolutions
<u>Agenda Item Name</u>	0650 - RESOLUTION FOR LOGAN NEIGHORHOOD

Agenda Wording
 The Logan Neighborhood Identity Plan and Model Form-Based Code for Hamilton Corridor are up for adoption by Resolution.

Summary (Background)
 A RESOLUTION recognizing the Logan Neighborhood Identity Plan and Model Form-Based Code for the Hamilton Corridor as a declaration by the community members of the City of Spokane Logan neighborhood council area of the priorities and desired future condition of their neighborhood that provides direction for City service delivery, capital improvement planning, and focused growth land use implementation.

<u>Fiscal Impact</u>	<u>Budget Account</u>
Neutral \$	#
Select \$	#
Select \$	#
Select \$	#

<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	CHESNEY, SCOTT	<u>Study Session</u>	
<u>Division Director</u>	QUINTRALL, JAN	<u>Other</u>	
<u>Finance</u>	LESESNE, MICHELE	<u>Distribution List</u>	
<u>Legal</u>	DALTON, PAT	bborisov@spokanecity.org	
<u>For the Mayor</u>	SANDERS, THERESA	lmeuler@spokanecity.org	
<u>Additional Approvals</u>		schesney@spokanecity.org	
<u>Purchasing</u>		jhaegele@spokanecity.org	

RESOLUTION NO. 2014-0053

A RESOLUTION recognizing the *Logan Neighborhood Identity Plan and Model Form-Based Code for the Hamilton Corridor* as a declaration by the community members of the City of Spokane Logan neighborhood council area of the priorities and desired future condition of their neighborhood that provides direction for City service delivery, capital improvement planning, and focused growth land use implementation.

WHEREAS, per Article VIII of the City Charter, the Spokane City Council recognizes distinct neighborhood areas as neighborhood councils through the Neighborhood Councils Program and the Community Assembly; and

WHEREAS, in the fall of 2007 the City Council allocated \$550,000 to be used for planning activities by neighborhood councils; and

WHEREAS, on October 31, 2008 the City Council adopted Resolution 2008-0100, accepting the work of the Community Assembly Neighborhood Planning Action Committee (“CA-NPAC”) incorporated in documents entitled “Neighborhood Planning Guidebook Abbreviated Neighborhood Planning Process” and “Neighborhood Planning Guidelines 2.1;” and

WHEREAS, the Logan Neighborhood Organization (“LNO”) is the City Council-recognized neighborhood council for the area generally bounded by Division Street on the west, the Spokane River on the east, Euclid Street on the north, Trent Avenue on the south, and bisected north to south by Hamilton Street and west to east by Mission Avenue; and

WHEREAS, on October 19, 2010 the Logan Neighborhood Organization approved a set of study topics generated by the 2005 centers and corridors neighborhood assessment as the basis for neighborhood planning under Res. 2008-0100, as follows: “(1) Residential transition zones east and west of Hamilton, (2) Hamilton corridor streetscape and designation to reflect it as pedestrian enhanced in the comprehensive plan as was originally intended, and (3) Review and recommend changes to the bicycle plan and make recommendation for a pedestrian plan in the neighborhood;” and

WHEREAS, on March 8, 2011 the Logan Neighborhood Organization was designated to initiate abbreviated neighborhood planning and LNO representatives endorsed a letter of intent to plan at a meeting for all District 1 neighborhood councils in the Northeast Community Center convened by District 1 city council members; and

WHEREAS, on March 30 and March 31, 2012 respectively, the manager of the Logan Neighborhood Stakeholders Team (“LNST”), Karen Byrd, and the chair of the Logan Neighborhood Organization, Jeanette Harras, signed a memorandum of understanding with the Planning Services Department recognizing the LNST to conduct abbreviated planning; said memorandum being subsequently endorsed on May 2, 2012 by a member of the city’s planning staff and thus initiating a two-year time period for the completion of a plan or project; and

WHEREAS, on June 19, 2012 the Logan Neighborhood Organization approved the initial neighborhood planning direction proposed by the LNST, as follows: “Pursue streetscape and intersection improvements, including bicycle and pedestrian connections, along the Hamilton Corridor, as well as to pursue becoming one of the pilot neighborhoods the city chose for form-based zoning standards;” and

WHEREAS, on July 25, 2012 the Logan Neighborhood Stakeholder Team agreed by consensus both to pursue the drafting of a neighborhood “identity plan” using Res. 2008-0100 funds by a qualified volunteer planner, William Sinclair, under the supervision of the city planning department and to authorize the preparation of a form-based model zoning code with a consultant, Studio Cascade, for a segment of Hamilton Street under a separately funded contract with and under the direction of the city planning department; and

WHEREAS, on August 8, 2012 a contract “to analyze and test the concept of form-based code for the portion of Hamilton Street between and including the intersections with Sharp and Mission” was finalized between Studio Cascade and the City of Spokane; and

WHEREAS, a consultant-led full-day planning session was scheduled for mid-October to engage property owners and business within the boundaries of a form-based model code study area along and adjacent to the targeted Hamilton Street segment, notice mailings for this “charrette” were mailed on September 17, 2012 to all properties and business owners within these boundaries, and timely invitation messages also were sent to the LNST and LNO email lists; and

WHEREAS, on October 13, 2012 a six-hour form-based code planning session was conducted by Studio Cascade for all affected property owners and business owners within the Hamilton Street study area, other neighborhood business stakeholders and residents, and planning stakeholder team members at Fourth Memorial Church on Standard Street at Indiana Avenue; and

WHEREAS, representatives of Studio Cascade conducted interviews with businesses, property owners and residents within the Hamilton Street form-based model code study area before the October, 2013 planning session and again in November of 2013; and

WHEREAS, on the evening of February 6, 2013 both the initial draft identity plan and draft form-based model code maps and documents were presented to the public at an open house at the Gonzaga University Plant Services Building on Ruby Street, notice for this open house was mailed to all affected property owners and businesses within the Hamilton Street study area around January 23, 2013; and

WHEREAS, on or around April 28, 2013, City Planning staff initiated a public comment period for property owners and residents about the Hamilton Corridor Model Form Based Code ending on June 5, 2013; and

WHEREAS, on June 26, 2013 both the finalized *Logan Neighborhood Identity Plan* and *Model Form-Based Code for the Hamilton Corridor* were presented, discussed and approved by the Logan Neighborhood Stakeholder Team at its final meeting; and

WHEREAS, on March 18, 2014 both the finalized *Logan Neighborhood Identity Plan* and *Model Form-Based Code for the Hamilton Corridor* documents were presented, discussed and approved by the Logan Neighborhood Organization; and

WHEREAS, the Logan Neighborhood Stakeholder Team met a dozen times between January of 2012 and June of 2013, and the LNST stakeholder manager reported regularly at the monthly meetings of the Logan Neighborhood Organization throughout the period from January of 2012 to March of 2014; and

WHEREAS, the Spokane Plan Commission was briefed on the progress of the Logan neighborhood planning efforts on May 22, 2013, December 11, 2013 and April 23, 2014; and

WHEREAS, the Spokane City Council was briefed on the progress of the Logan Neighborhood planning efforts at a District 1 town hall meeting on September 16, 2012, and at study sessions on January 28, 2013 and April 24, 2014; and

WHEREAS, the *Logan Neighborhood Identity Plan* provides the framework for “a discernible neighborhood identity throughout the Hamilton Corridor for those who live, work, shop, and play in the Logan Neighborhood now and into the future” with a specific set of streetscape and roadway treatment objectives and techniques; and

WHEREAS, for the Logan neighborhood, the *Model Form-Based Code for the Hamilton Corridor* demonstrates a regulatory means to

- stimulate development that creates a dynamic and attractive urban environment with focus on building form and all users of the public right of way,
- establish a public realm along Hamilton Street that exchanges traffic lanes and speed for an enriched pedestrian environment with storefront and public spaces fronting directly on the street,
- encourage a lively, safe and attractive pedestrian environment and stimulate new retail activity on ground-floor storefronts,
- accommodate higher-intensity development, including residential uses on upper floors,
- retain and provide space for historic uses in the district, especially those serving the needs of the surrounding residential areas and Gonzaga University students, and
- establish clear design guidance to ensure development in the district is consistent with the neighborhood’s vision for the area, and

WHEREAS, for the City, the *Model Form-Based Code for the Hamilton Corridor* provides a means to demonstrate and document a model planning process and template applicable to other centers and corridors that is compatible with the existing regulatory and policy framework and also streamlines development design and permitting while providing effective design control; and

WHEREAS, the *Logan Neighborhood Identity Plan* and *Model Form-Based Code for the Hamilton Corridor* do not direct nor commit City resources for any specific action or project implementation; and

WHEREAS, per Spokane Municipal Code 04.12.010, this resolution is not an action to amend the City's Comprehensive Plan or development regulations by recommendation of the Plan Commission;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL that the *Logan Neighborhood Identity Plan* and *Model Form-Based Code for the Hamilton Corridor* are recognized as

- credible representations of the desire of the Logan neighborhood council area community members to evolve and sustain a vibrant, healthy, active, safe, and connected community, and as
- consistent with the planning principles of Washington's Growth Management laws and of the goals and policies of the City of Spokane Comprehensive Plan, and as
- providing direction appropriate to their level of specificity for City service delivery, capital improvement planning, and focused growth land use implementation in the Logan neighborhood council area.

ADOPTED by the City Council this _____ day of _____, 2014.

City Clerk

Approved as to form:

Assistant City Attorney

Logan Neighborhood Identity Plan

Guidelines to establish neighborhood identity with streetscape improvements throughout the Hamilton Corridor



May 22, 2013

Sinclair Landscape Architecture
11703 E 17th Ave, Spokane Valley, WA 99206
(509)710-1831



Planning Purpose

Frame a discernible neighborhood identity throughout the Hamilton Corridor for those who live, work, shop, and play in the Logan Neighborhood now and into the future.



Logan Neighborhood Map

A discernible neighborhood identity is not complete until its open space, streets and sidewalks have been “furnished”. The items that are referred to as streetscape elements in this guideline include intersection treatments such as sidewalks, lighting, paving, etc. These are the elements that help to reinforce the character of the neighborhood. Other items such as public art and signage fit into this category and are included in this guideline, but are of course, more selective and dependent on specific locations on the plan.

The following section addresses a “catalog” of streetscape elements that are to be considered as part of the overall Logan Neighborhood vocabulary and particularly to important neighborhood intersections. The catalog is meant to establish a minimum standard for streetscape elements throughout the Hamilton Corridor, and encourages developers and designers to place as much importance on the selection of these elements as they do on the architecture and open space design.

INTERSECTION STREETScape ELEMENTS



“Cobblestone” Concrete Pavers

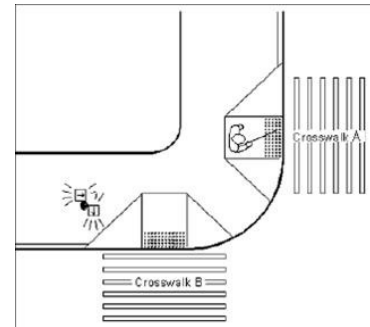


Stamped Asphalt

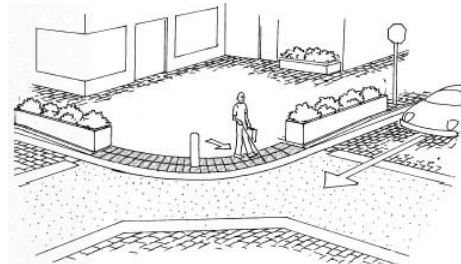
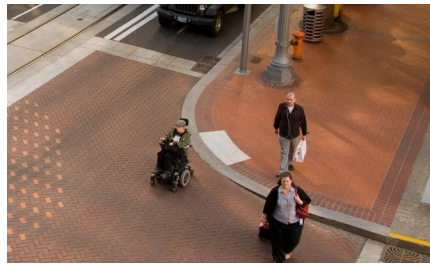
Intersection and Controlled Crosswalk Paving

- Important neighborhood intersections shall be executed to achieve safety, aesthetics, and historic relevance.
- Shall have a historic cobblestone appearance using “cobblestone” concrete pavers or stamped asphalt in a neighborhood-approved pattern.
- Paving patterns, colors and textures should be historically relevant, safe for all users, and be maintainable by City of Spokane staff and equipment.
- Shall meet all applicable ADA and MUTCD requirements.

INTERSECTION STREETScape ELEMENTS



Typical 90-degree Configuration Throughout Corridor

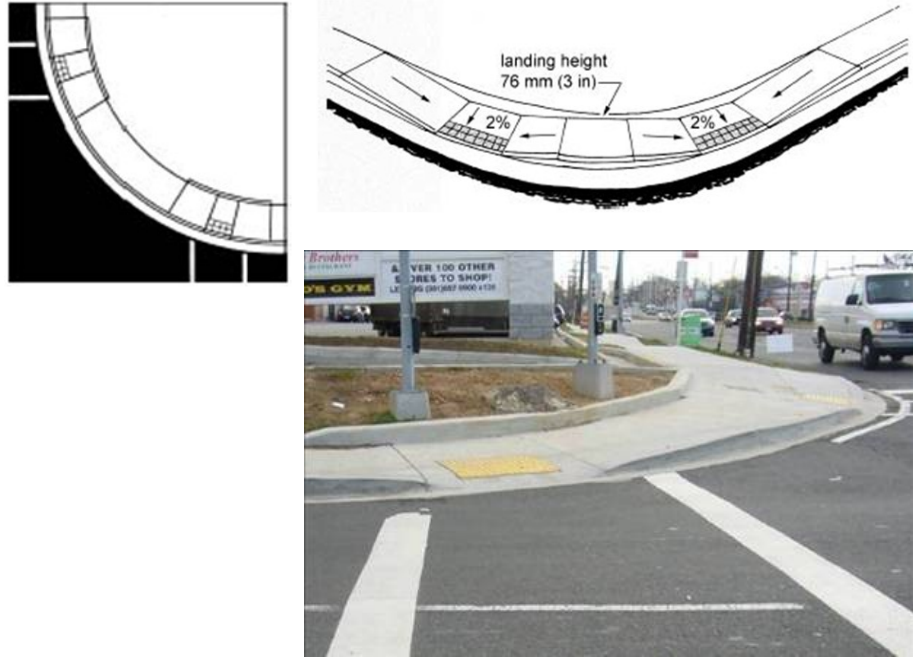


Depressed Corner— At CA1 and CA2 intersections in Form-Based-Code (e.g., Hamilton Corridor at Mission & Sharp)

Curb Ramps

- Should be placed at all intersections in Logan Neighborhood and should align with similar curb ramps across the street.
- Shall be in a 90-degree configuration (see above) to shorten crossing distances and improve pedestrian safety, unless otherwise noted.
- Special high volume pedestrian activity zones, those classified CA1 or CA2 in the Form Based Code, shall use a depressed corner configuration (see above) with neighborhood design review required for approval.
- Curb ramp materials should be the same as those used for sidewalks.
- Shall meet all applicable ADA and MUTCD requirements.

INTERSECTION STREETScape ELEMENTS



Alternate Wide Radii Curb Ramp Configuration Examples

Alternate Wide-Radius Curb Ramps

- Wide radius crossing locations, such as those found at the intersection of Hamilton Street and Trent Avenue, pose unique challenges to the pedestrian and require special consideration.
- Crossing distances shall be minimized by eliminating all diagonal curb ramps and using a near 90-degree configuration (above, left).
- Where space is a premium, sidewalks shall be sloped to at-grade crossing locations (above, right).
- Shall meet all applicable ADA and MUTCD requirements.

STREETSCAPE ELEMENTS



Turn-of-the-century Spokane Globe Street Lights

Street Lighting

- Style shall compliment that of turn-of-the-century Spokane and integrate the free-standing globe fixtures like those found on the N. Wall Street and the Monroe Street Bridge in Downtown Spokane. Neighborhood shall approve typical fixture specifications.
- Should be located as part of the streetscape and function as a unifying element of other streetscape items including trees, benches and paving.
- Fixtures should exhibit an aesthetic as well as functional purpose to create interest and a sense of scale for the pedestrian. Luminaires should be translucent or glare-free using opaque glass or acrylic lenses.
- Diffusers and refractors shall be installed to reduce unacceptable glare; particularly adjacent to residential areas.
- Should be located at the same distance from the street edge along the length of the entire street
- Fixture shall be Dark Skies compliant.
- Plan for solar collection locations to supplement power.

STREETSCAPE ELEMENTS



Street & Wayfinding Signs with Historic Character

Street Signage

- Style shall compliment that of turn-of-the-century Spokane.
- Neighborhood shall approve typical street and wayfinding sign specifications.
- Should be integrated as part of the streetscape and function as a unifying element of other streetscape items including trees, benches lighting, and paving.
- Shall adhere to the City of Spokane Sign Code

STREETSCAPE ELEMENTS



Mural Concepts – Hamilton & Trent



Monument Concepts – Hamilton & North Foothills

Neighborhood Identification Signage

- Should be located at gateway intersections (Hamilton at Trent and N. Foothills) to inform drivers and pedestrians of the existence and location of Logan Neighborhood
- Shall adhere to the City of Spokane Sign Code
- Type, style and location shall be reviewed for approval by the neighborhood.

STREETSCAPE ELEMENTS



Public Art

- Future neighborhood activities should include plans for public art locations.
- Type, style and location shall be reviewed for approval by the neighborhood and City representative at public meetings.
- Should reflect Logan Neighborhood culture.
- Installations should meet all applicable codes and ordinances.

March 2013

Model Form-Based Code **Hamilton Corridor**



Logan Neighborhood | City of Spokane, WA



Conditions & Approach

Introduction

The City of Spokane and the Logan Neighborhood are interested in testing the applicability of a form-based code to that portion of the Hamilton Street corridor generally between Desmet and Augusta avenues. The City and the Neighborhood each hope to stimulate development, guiding it in a manner that creates a dynamic and attractive urban environment, sensitive to the needs of the neighborhood and consistent with its relationship with Gonzaga University. This document is developed and presented as a model code, understood to require further refinement and calibration. In a broad sense then, this document should be viewed as a type of study, presenting a differing approach to development in the study area that may more effectively address both neighborhood and city-wide objectives.

The process to develop this model was funded by the Logan Neighborhood, using a portion of its planning allotment. Its ultimate use and incorporation depends on many factors, subject to the normal processes involved in developing and adopting any regulatory framework in the City.



Figure 1.01 - Long-standing transportation policy has transformed Hamilton, facilitating passage of approximately 30,000 vehicles per day, but creating severe - and generally unsafe - conditions for pedestrians. (Image source: Studio Cascade, Inc.)

Structurally, this model code has been developed as a plug-in set of regulations, intending to replace the area's existing "Centers & Corridors" zoning.

Objectives

In keeping with most form-based codes, the focus of this model is on building form and development of the public realm. Several objectives are embedded in this model, including:

- 1) *Transforming the built character of the corridor to make it more attractive.*
- 2) *Stimulating new retail activity on ground-floor storefronts.*



Figure 1.02 - Gonzaga's growth is spurring change, including boosting foot and vehicular traffic and creating new buildings designed to enhance the pedestrian environment. The GU facility pictured here provides its streetscape using setbacks on private land - something not possible for the majority of properties within the study area. (Image source: Gonzaga University)

- 3) *Accommodating higher-intensity development, including residential uses on upper floors.*
- 4) *Increasing the safety and attractiveness of the pedestrian environment, particularly on Hamilton.*
- 5) *Retaining or providing space for historic uses in the district, especially those serving the needs of the surrounding residential areas and Gonzaga students.*
- 6) *Establishing clear design guidance to ensure development in the district is consistent with the neighborhood's vision for the area.*

- 7) *Helping to streamline development design and permitting, all while providing clear design control.*
- 8) *Creating a model process and template that the City can apply to other centers and corridors in Spokane, seamlessly working within the City's existing policy and regulatory framework.*

Key Findings

Research, site observations and findings from the public process indicate many things, but it's clear that the most basic objective expressed by both City and Neighborhood leaders - namely, creating a lively retail and pedestrian environment on Hamilton - conflicts with the existing number and layout of travel lanes within the study area. As now configured, Hamilton is in no way conducive to a pedestrian-friendly, "centers and corridors" environment. Five relatively high-speed travel lanes, few if any street trees, and narrow sidewalks create an environment suitable only for motorized traffic, undermining the type of growth the community says it wants. Any approach striving to improve conditions along Hamilton simply must gain space - exchanging some measure of vehicular level-of-service for pedestrian safety and comfort.

Recent growth and use patterns, primarily related to Gonzaga University and its student population, have already begun to slow travel speeds. This trend seems likely to continue with the completion of GU's parking and retail facility along Hamilton, and as other properties nearby are redeveloped. We recommend at least three factors be considered in light of emerging conditions:

- 1) *In general, slower vehicular speeds provide increased pedestrian safety*

and comfort, improving the viability of development types sought by the City and Neighborhood.

- 2) *Slower-paced traffic generally allows greater vehicle density, smoothing flow and offering higher per-lane capacity.*
- 3) *Quality of experience plays a role in the perception of travel, with motorists less attuned to time of passage (speed) given smooth flow and greater visual interest.*

If form-based codes are used to re-shape and enhance the public realm, space for a viable public realm is essential. This model assumes the creation of a public realm along Hamilton, exchanging lanes and speed for an enriched pedestrian environment, storefronts and public spaces fronting directly on the street, and development patterns more closely attuned to Neighborhood and community goals. If it is eventually determined that space for a public realm cannot be afforded along Hamilton, then a future form-based model should be developed to achieve it elsewhere - perhaps along perpendicular streets, such as Sharp Avenue.

The private sector, acting alone, cannot achieve the type of public realm the community envisions. While many of the formal conditions described in this model code can be realized through private redevelopment, the overall framework - travel lanes and major right-of-way features - need to be in-place or clearly in-process for those investments to occur. It is beyond the scope of this or any code to determine specific approaches to how the City and partner agencies might best approach this issue, but clearly, an integrated public-sector investment and leadership strategy must be developed to attract and support private-sector energies.



Figure 1.03 - Striking contrasts between physical form and appearance exist along the corridor, something residents say they hope to address using form-based codes. (Image source: Studio Cascade, Inc.)

Code Overview

Form-based codes contrast with traditional zoning methods by focusing on the public realm rather than the close regulation of land uses. A viable public realm is essential to creating the type of walkable, active, mixed-use district the City and the Logan Neighborhood desire, making a form-based approach an appropriate response. Its success, of course, is contingent on other factors, including some beyond the City's control. Regardless, a form-based approach, especially one enhancing the public realm, should prove a powerful tool in implementing community goals.

The following model code is designed to work within the City of Spokane's existing ordinance, creating a special regulatory

district where form-based rules apply. This model has been designed to supplant the City's Centers and Corridors designations within the study area, including replacing existing zoning regulations and design guidelines. In general, this model relaxes controls on land use and building intensity in exchange for greater control over the quality and form of the built environment. By creating a fully-contained regulatory context, this model intends to streamline development applications – provided they meet or exceed stated requirements.

In addition to greater clarity in approach and outcome, this model intends to encourage development in other ways, offering incentives likely to make development in this area more attractive. These include some incentives currently embedded in City Centers & Corridors (CC) zones, but now packaged - and reliant upon - a level of certainty in the application review process that, at present, is perceived as missing.

This model is also somewhat unique in specifying conditions for private *and* public-

sector investment. The Street Section Plan, in particular, introduces elements essential to achieving community objectives, but will almost certainly require an integrated public-sector investment and leadership strategy to achieve.

Users of this model code will need to review and adhere to requirements expressed in the following areas:

- *Regulating Plan* - The centerpiece of this model code, the Regulating Plan maps the extents and locations of where the code and its various features apply. This model includes four distinct condition zones, termed "Context Areas." The Regulating Plan also shows the extents of "Shopfront Street" areas, which direct additional use and formal requirements.
- *Street Section Plan* - This map locates and describes street section types to be developed within the study area, supporting code objectives and the Regulating Plan.
- *Use Provisions* - Similar to the City's existing use provision table, this



Figure 1.04 - In addition to interviews with neighborhood leaders, developers and local business owners, a day-long charrette was held on October 12, inviting neighborhood leadership to scope and develop key criteria for the proposed form-based code. (Image source: Studio Cascade, Inc.)

simplified table indicates land uses listed as "P" (permitted), as "N" (not permitted), or "D" (subject to discretionary review). This section also describes allowed uses along Shopfront Street areas according to building storey.

- *Height, Placement & Coverage - This section provides generalized building-related elements, including minimum and maximum building heights; setbacks and build-to lines; minimum building frontage along streets, and lot surface coverage. All requirements are expressed using tables and illustrations, and are ordered according to Context Area.*
- *Parking Criteria & Site Access - This section lists conditions related to parking requirements, parking placement, lot landscaping and walkways. All site development requirements are expressed using tables and illustrations, and are ordered according to Context Area.*
- *Streetscape Requirements - Keyed to the Regulating Plan and Street Section Plan, this section charts basic features of streets, sidewalks, street furnishings and driveways within the study area, followed by section and plan illustrations.*
- *Architectural Requirements - This section adds to the Height, Placement and Coverage requirements by articulating basic facade requirements, roofline objectives, mechanical screening, material objectives and other considerations.*

Finally, readers should understand that further refinement will be essential in creating an adoptable form of this model. Such work will of course be subject to the normal processes involved in developing and adopting any type of regulatory document in the City of Spokane. In addition to code "calibration" - the review and refinement

of specific terms and requirements - other items will need consideration. These include the type of integrated public-sector investment and leadership strategy discussed earlier, as well as topics including:

- *"Trigger" criteria - Incorporation of minimum project type and/or size information triggering requirement for code compliance, i.e., project value, percentage of building or site to be remodeled, etc.*
- *Signs - Development of an area-specific sign code, or external reference to an existing or modified City of Spokane sign code.*
- *Landscaping - Though the majority of landscaping envisioned within the HFBC Limits are presently treated within public rights-of-way and in surface lots, the development of an area-specific landscaping section or external reference to an existing or modified City of Spokane section, may be of benefit.*
- *Parking garage requirements - In the Architectural Requirements section, additional specifications regarding upper-story facade development may be of benefit.*
- *Illustrations - Many of this model's specifications include illustrations, but others are provided in text-only form; additional illustrations, whether as plans, sections or perspectives, will help further streamline and simplify code implementation.*

Terms & Definitions

Introduction

Term Types & Use

The following definitions are provided to articulate two classes of terms used in the HFBC:

- 1) *Common-use terms* - These terms are used in the HFBC to reference definitions for general architectural or other features that are not intended to carry specific regulatory meaning. Common-use terms are included here primarily for reader convenience. Common-use terms are typically not capitalized in the HFBC.

- 2) *Regulatory terms* - These terms are used in the HFBC to reference definitions for architectural or other features that carry specific meanings necessary to properly implement the code. Regulatory terms are typically capitalized in the HFBC to aid identification and reference. In this section, regulatory terms are indicated by the use of a dagger symbol (†) following each term.

Note: While reader understanding of any term in this section may be enhanced by definitions published in City or other external sources, definitions provided here and in topical sections of the HFBC shall prevail in case of interpretive conflict.

Terms

Architectural feature

Ornamental or decorative feature attached to or protruding from an exterior wall or roof, including cornices, eaves, belt courses, sills, lintels, bay windows, chimneys, and decorative ornaments.

Architectural Roof Structure †

Minor tower or turret extending from the cornice or main roof line of a building, typically highlighting a primary corner or building entry. For purposes of the HFBC, such features may not be occupied.

Awning

A roof-like cover, often made of fabric or metal, designed and intended for protection from the weather or as a decorative embellishment, and which projects from a wall or roof of a structure over a window, walk, or door.

Bas-relief

Sculptural form in which shapes or figures are carved in a flat surface and project only slightly from the background.

Build-to Line †

An alignment establishing a certain distance from the property line (street right-of-way line) along which the building is required to be built.

Building Base †

The plinth or platform upon which a building wall appears to rest, helping establish pedestrian-scaled elements and aesthetically tying the building to the ground.

Building frontage

The length of any side of a building which fronts on a public street, measured in a straight line parallel with the abutting street.

Centers & Corridors

Areas identified in the City of Spokane's Comprehensive Plan where specific use and character goals are to be implemented, including "...a relatively cohesive development pattern with a mix of uses, higher density housing, buildings oriented to the street, screened parking areas behind buildings, alternative modes of transportation with a safe pedestrian environment, quality design, smaller blocks and relatively narrow streets with on-street parking."

Character

Special physical characteristics of an area or structure that set it apart from its surroundings and contribute to its individuality.

Clear Pedestrian Zone †

Area reserved for pedestrian traffic; typically included herein as a portion of overall sidewalk width to be kept clear of obstructions to foot traffic.

Context Areas †

Established by the Regulating Plan, Context Area designations describe and direct differing functions and features for areas within HFBC limits, implementing community goals for the built environment.

Cornice

Decorative horizontal band or border forming the upper portion of a building façade, typically projecting outward from the exterior walls at the roof line.

Eave †

The lower border of a roof that overhangs the wall, typically associated with exposed sloped roof elements.

Enclosed Roof Structure †

Conditioned, occupiable structure extending beyond the roof line of a building; commonly termed a penthouse. For purposes of the HFBC, Enclosed Roof Structures must be set back from the parapet of a building to qualify for height limit exceptions.

Façade

The face (exterior elevation) of a building, especially the face parallel to or most nearly parallel to a public street.

Floor area

The sum of the gross horizontal areas of each floor of the principal building, and any accessory buildings, measured from the exterior walls or from the center line of party walls. The term does not include any area used exclusively for the surface parking of motor vehicles or for building or equipment access, such as stairs, elevator shafts, and maintenance crawl space.

Glazing

Glass as used in building façades, including windows, transoms and glass portions of storefronts.

HFBC; HFBC Limits †

The Hamilton Form-Based Code; physical limits or boundaries where the Hamilton Form-Based Code applies. HFBC Limits are expressed in this document's Regulating and Street Section Plans.

Impervious Surface †

Ground surfaces and coverings composed of water-impenetrable materials such as asphalt, concrete, brick, stone and rooftops.

Mixed-use building; mixed-use development

A single building containing more than one type of land use and designed as a unified complementary, cohesive whole; development of more than one building and use where the different types of land uses are in close proximity and designed as a unified complementary, cohesive whole.

Open Roof Structure †

A non-conditioned, open structure typically providing shade and casual gathering space and incorporating a pergola, arbor or trellis. For purposes of the HFBC, Open Roof Structures may include partial-height screen walls on no more than one side.

Parapet

That portion of a wall which extends above the roof line.

Pedestrian Path †

A continuous, unobstructed, reasonably direct route between an on-site parking lot and a Primary Building Entry designed and suitable for pedestrian use. Minimum requirements for Pedestrian Paths are listed in Section 4.2b of the HFBC.

Pedestrian-Scaled Signs †

Permanent, first-floor, exterior signs designed and placed to address pedestrian traffic; may be mounted flush with or projecting from a column, building wall, awning or transom.

Pedestrian-Scaled Fixtures (lighting) †

Pole-mounted light fixtures placed and designed to illuminate foot-traffic areas including exterior lots, pathways or sidewalks. For purposes of the HFBC, Pedestrian-Scaled Fixtures are defined by height as measured from ground to bottom of shade or bulb.

Planting Zone †

Area for street trees, ground cover or other plantings; typically included herein as a portion of overall sidewalk width reserved for locating permanent trees and tree grates.

Plinth †

The base or platform upon which a building wall or column appears to rest, helping establish pedestrian-scaled elements and aesthetically tying the building to the ground.

Porch

A projection from a building wall which is covered but enclosed on no more than one side by a vertical wall.

Primary Building Entry †

Access or entrance of first rank, importance or value, visually associated with the prevailing ground-floor use of a building.

Principal Buildings †

Where multiple buildings occupy a single lot, those buildings that are associated with the prevailing use of that site.

Display window

A window or opening in the exterior wall of any portion of a building used for business purposes, through which merchandise, services, or businesses are displayed or advertised and visible from the ground or sidewalk level.

Shopfront Street †

A portion of the HFBC Regulating Plan designating the extent and location of specific code criteria; generally applied to areas where business or retail use level with and directly along the public right-of-way is seen as critical.

Stoop

An exterior floor, typically but not necessarily constructed of concrete and/or masonry, with a finished floor elevation at least six inches higher than the adjacent ground level, and utilized primarily as an access platform to a building.

Streetscape

An area that may either abut or be contained within a public or private right-of-way typically including sidewalks, street furniture, trees and landscaping, and similar features. May also describe the visual image of a street, including the combination of buildings, parking, signs, and hardscapes.

Vehicle-Scaled Fixtures (lighting) †

Pole-mounted light fixtures placed and designed to illuminate vehicular-traffic areas including exterior lots, driveways and roadways. For purposes of the HFBC, Pedestrian-Scaled Fixtures are defined by height as measured from ground to bottom of shade or bulb.

Form-Based Code

Introduction

Authority

Adoption of the Hamilton Corridor Form-Based Code (also referred to herein as the “HFBC” or “the code”) is authorized under the Washington State Constitution, the Spokane County Charter, and the City of Spokane Municipal Code. This code is an instrument implementing the purposes and objectives of the City of Spokane Comprehensive Plan, promoting the health, safety, and general welfare of Spokane, Washington and its citizens.

Intent & Use

Intent: This form-based code is designed to foster an economically vibrant, walkable, mixed-use environment along the Hamilton Street corridor within the boundaries of code limits (“HFBC Limits”). The HFBC is a legal document that regulates land development by setting careful and coherent controls on building form, coupled with more relaxed parameters relative to building use and density. This greater emphasis on physical form is intended to produce safe, attractive and enjoyable public spaces, including a healthy mix of uses. This code implements the vision set forth in the City of Spokane’s Comprehensive Plan for its “Centers & Corridors” areas.

The HFBC provides specific means to guide implementation of the community’s vision for development and redevelopment within a defined area along Hamilton Street. To achieve it, this code directs configuration of both private property (buildings and site development) as well as the public realm (sidewalks, traffic lanes and features within public rights-of-way). As such, the HFBC establishes standards for private development and City-owned infrastructure, including the design and configuration of streets. *[Note: Insert text specifying roles, responsibilities and mechanisms regarding requirements for private development and public-realm improvements].*

The HFBC is configured as a plug-in set of regulations, replacing existing zoning and design guidelines within the HFBC Limits. All code provisions expressed herein present development requirements unless otherwise indicated, including information preceded by the word “Guidelines.” Additional, specific City of Spokane standards may be required as referenced, and development must also comply with applicable, over-arching Federal, State or local regulations and ordinances.

Using this code: Criteria for development within the code boundaries is expressed in six sections. Use of the HFBC, relating to each of these sections, is described below:

1. Regulating & Street Section Plans - Find the property of interest, noting its location relative to the “Context Areas” established by the Regulating Plan, as well as the location of any “Shopfront Streets” abutting the property. These elements direct many of the allowances provided in the HFBC. This section also includes the Street Section Plan, which complements the Regulating Plan by establishing and locating distinct classes of public right-of-way within HFBC Limits. Because street section requirements apply predominantly to the public realm, these configurations are included to: A) Provide insight regarding the layout, objectives and character of the public realm, and B) *[Note: Describe determined roles and/or requirements for private-sector involvement in public-realm improvements].*

2. Use Provisions - Using criteria from the Regulating Plan, note the class of uses permitted for the property of interest. This section also describes allowed uses along Shopfront Street areas by building story.
3. Height, Placement & Coverage - Using criteria from the Regulating Plan, note the allowed minimum and maximum building heights; setbacks or Build-to Lines; minimum Building Frontages, and impervious surface coverage allowances detailed in this section.
4. Parking Criteria & Site Access - Using criteria from the Regulating Plan and the Street Section Plan, note the various allowances regarding on and off-street surface parking, lot placement, lot and site lighting.
5. Streetscape Requirements - Using type criteria from the Street Section Plan, note the basic configuration and feature specifications for streets and walkways within the HFBC Limits. *[Note: Insert text generally describing cost relevance of Streetscape Requirements to private-sector applicants].*
6. Architectural Requirements - Using criteria gleaned from the Regulating Plan, note the various façade treatments, screening, detailing and other requirements specific to the appearance and public-realm function of buildings.

MODEL

Section 1 - Regulating & Street Section Plans

Introduction - This section provides and describes the HFBC Regulating Plan and Street Section Plan - two map illustrations showing the location and limits of various features and physical characteristics required under this code. *[Note: Insert text generally describing cost relevance of Streetscape Requirements to private-sector applicants].*

1. Regulating Plan - The Regulating Plan for the HFBC is included here as Figure 1.1.1, and provides the organizing framework for many of the requirements described herein. The Regulating Plan divides land within the code boundaries into four distinctive “context areas,” listed and described as follows:
 - a) CA-1 - Context Area 1 provides for and supports the most intense development patterns, generally allowing greater height and building intensities than other context areas. CA-1 is intended to grow as a mixed-use center and focal point for the neighborhood and corridor, supporting significant commercial offerings, service activities, and high-density housing.
 - b) CA-2 - Context Area 2 provides for and supports mid-range development intensities, allowing somewhat lesser height and building intensities than CA-1. CA-2 is intended to grow as a second-tier mixed-use center for the neighborhood and corridor, supporting commercial offerings, service activities, and high-density housing.
 - c) CA-3 - Context Area 3 provides for and supports low to mid-range development intensities, allowing somewhat lesser height and building intensities than CA-1 or CA-2. CA-3 is intended to grow as a second-tier mixed-use area for the neighborhood and corridor, providing continuity along Hamilton by linking CA-1 and CA-2, while at the same time acting as a transition zone between the corridor environment and CA-4 and neighborhood areas immediately outside the HFBC Limits.
 - d) CA-4 - Context Area 4 provides for and supports low to mid-range development intensities, allowing lesser height and building intensities than other context areas. CA-4 is intended to grow as a third-tier mixed-use area for the neighborhood and corridor, acting as a transition zone between the corridor environment and lower-density residential development immediately outside the HFBC Limits. Though a mix of uses are allowed in CA-4, the area is envisioned as generally residential in scale and character.

The Regulating Plan also indicates placement and extents of “Shopfront Street” areas, triggering specific use, building placement and other requirements.
2. Street Section Plan - The Street Section Plan for the HFBC is included here as Figure 1.2.1, designating and assigning street section requirements in support of the Regulating Plan and overall community objectives. The Street Section Plan defines four section types, listed and generally described in order intensity, as follows:
 - a) Street Type 1 - Type 1 provides for and supports a mixed-use corridor environment (CA-1, CA-2, CA-3) using the existing 72-75’ right of way (ROW) along Hamilton Street. Type 1 includes three vehicular lanes (two travel lanes plus one turn/median lane); a parallel parking lane on each side of the street; a Planting Zone and Clear Pedestrian Zone on each side of the street.
 - b) Street Type 2 - Type 2 provides for and supports a blend of mixed-use and residential environments (CA-1, CA-4) using the existing 100’ ROW along Mission Avenue. Type 2 serves existing east/west arterial needs, and includes four vehicular lanes plus one turn/

median lane; a bike lane abutting each sidewalk; a Planting Zone and Clear Pedestrian Zone on each side of the street.

- c) Street Type 3 - Type 3 provides for and supports a mixed-use district environment (CA-2, CA-3, CA-4) using the existing 100' rights of way (ROW) along Sinto, Sharp and Boone Avenues, as well as along Cincinnati and Columbus Streets. Type 3 includes two vehicular lanes plus one turn/median lane; a bike lane abutting each travel lane; angled parking stalls on both sides of the street; a Planting Zone and Clear Pedestrian Zone on each side of the street.
- d) Street Type 4 - Type 4 provides for and supports an environment bridging between mixed-use and residential areas (CA-4) using the existing 60' ROW along Dakota, Cincinnati and Columbus Streets, and along Augusta Avenue. Type 4 includes two travel lanes; parallel parking on each side of the street; a Planting Zone and Clear Pedestrian Zone on each side of the street.

See Section 5, Streetscape Requirements for specific features and dimensions associated with each section type in the Street Section Plan.

MODEL

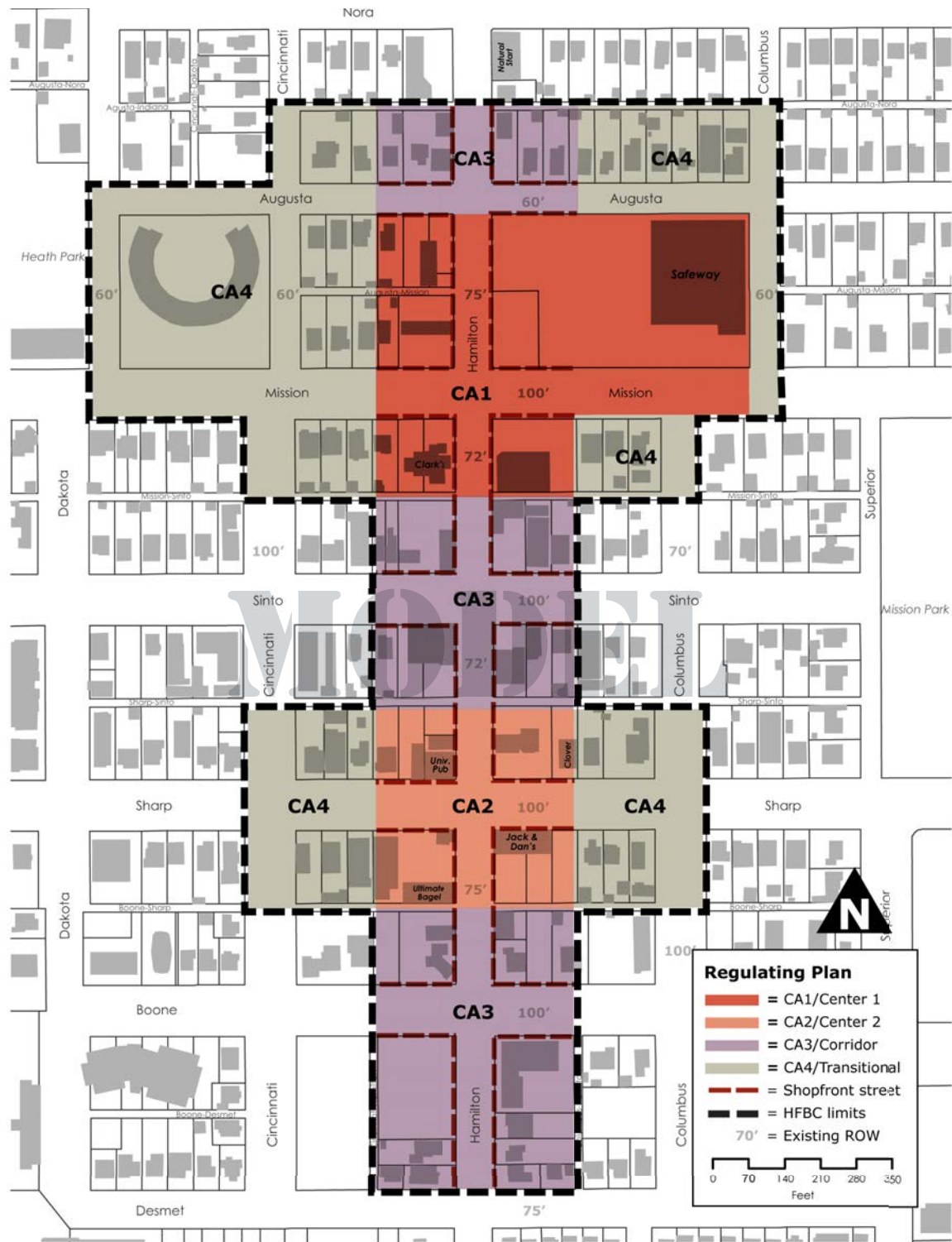


Figure 1.1.1 - The draft Regulating Plan for the HFBC. This plan envisions varying degrees of intensity along Hamilton, and establishes “Shopfront” limits providing additional attention to the public realm.

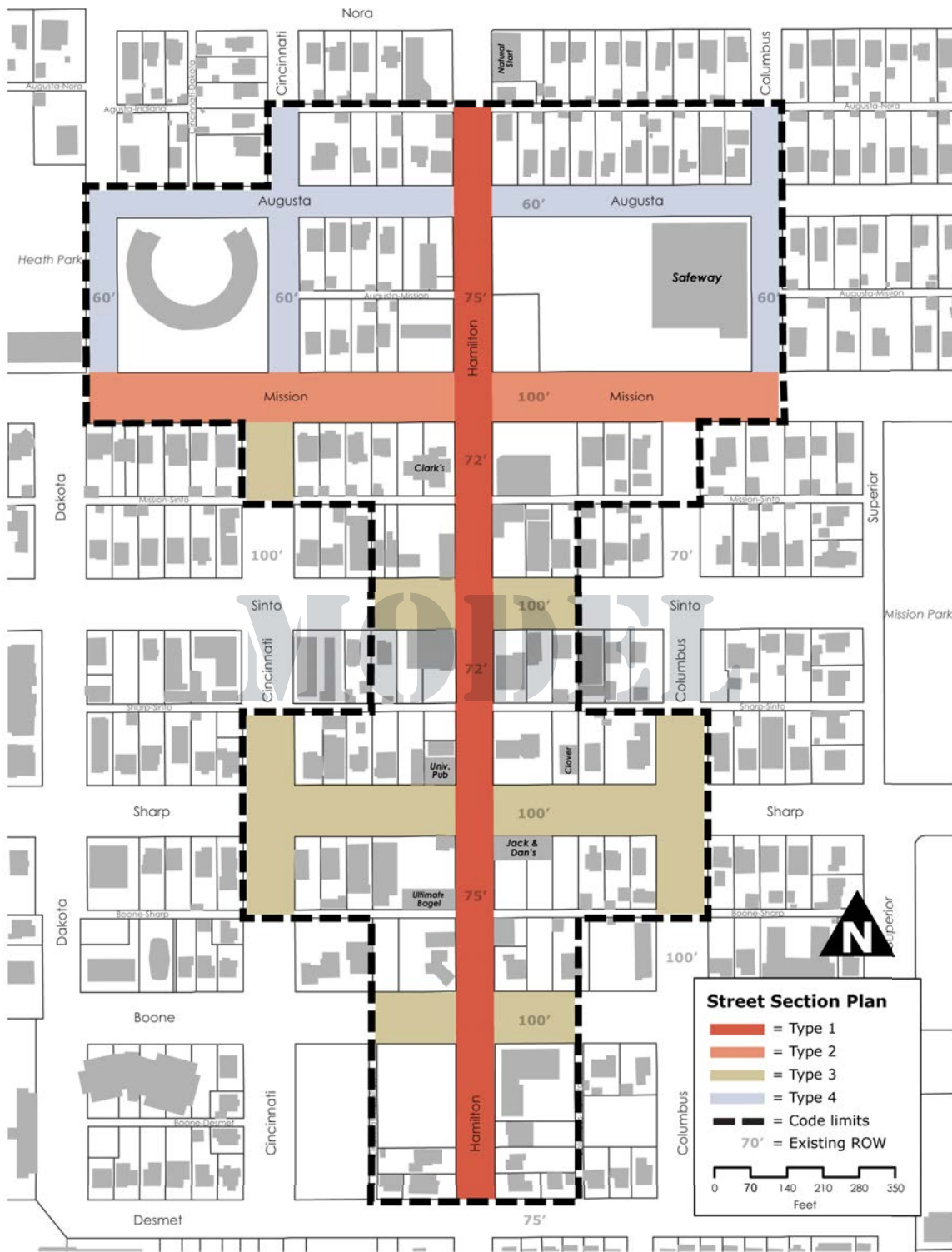


Figure 1.2.1 - The draft Street Section Plan for the HFBC. This plan indicates the location and extents of various street section designs, each supporting adjacent context areas shown on the Regulating Plan.

Section 2 - Use Provisions

Introduction - This section provides a broad range of allowable use categories within the HFBC Limits, specifying each type as an allowed use within each of the four Context Areas in Section 1.1, and according to building story in Section 1.2. Use categories are broadly defined by intent, due to the formal orientation of this code and reflecting the development patterns and objectives expressed in the Regulating Plan. Allowance for discretionary uses or uses not specified in Section 2.1 shall be determined by the City Planning Director or official designee.

1. Use Provisions - Use regulations for the HFBC are provided in Table 2.1.1, which lists uses envisioned for all areas within the code boundaries. In keeping with this code's focus on public realm and building form, uses are broadly defined under "Residential" and "Non-Residential" headings, and provide greater latitude regarding use than typical of City Land Use Standards. Uses deemed unsuitable for areas within the code boundary area are specifically identified. The table classifies uses as Permitted (P), Not Permitted (N), or subject to Discretionary Review (D), ordered among each of the context areas established in Section 1.1.

Table 2.1.1 - Use Provisions

Use Type	CA-1	CA-2	CA-3	CA-4
Residential				
Residence as part of mixed-use building	P	P	P	P
Single-family, attached (<i>townhouse</i>)	N	P	P	P
Single-family, detached	N	N	N	P
Accessory apartment	N	N	D	P
Non-Residential				
Service and retail ^[1]	P	P	P	P
Office and professional	P	P	P	P
Civic and institutional	P	P	P	P
Limited Industrial ^[2]	N	P	P	N
Heavy Industrial	N	N	N	N
Storage or warehouse	N	N	N	N
Parking garage	P	P	P	D
Adult Businesses	N	N	N	N
Other (unspecified) ^[3]	D	D	D	D

Notes:

P = Permitted; N = Not permitted; D = Discretionary review

[1] = Retail uses having more than 40,000 SF on any floor are not permitted.

[2] = Limited Industrial uses having more than 20,000 GSF are not permitted.

[3] = City Planning Director or an official designee of the Director to categorize and/or determine use allowance.

2. Shopfront Street Provisions - For buildings fronting Shopfront Streets, only non-residential uses shall occupy the ground-level floor. Floors above the ground level may be occupied by residential or non-residential uses. (See Figure 2.2.1)

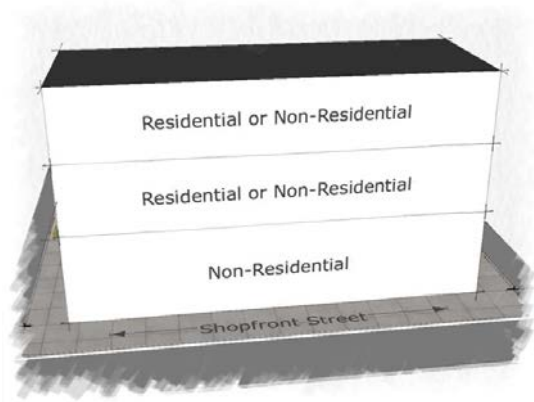


Figure 2.2.1 - Use provisions along Shopfront Streets preclude residential uses on the ground floor.

Section 3 - Height, Placement & Coverage

Introduction - This section provides allowances regarding overall building height, placement, frontage and impervious surface coverage, specifying each within the Context Areas provided in the Regulating Plan. Each of this section's criteria exist to foster the type of environments envisioned in the Regulating Plan, and to aid the formal transition between high-intensity mixed-use areas and low-intensity residential areas outside the code boundaries.

1. **Building Height** - The height of buildings shall be measured from mean grade to top of cornice or roof eave as illustrated in Figure 3.1.1 and shall meet the specifications provided in Table 3.1.1. Unless otherwise noted, building height measurements in Table 3.1.1 express regulatory standards. Story listings are provided for reference purposes only, expressing typical outcomes for listed heights. Allowable height exceptions apply to the overall distance extending beyond the measured building height.

Table 3.1.1 - Building Height Provisions

Building Height	CA-1	CA-2	CA-3	CA-4
Maximum				
Shopfront Street	78' (6 stories)	66' (5 stories)	54' (4 stories)	N/A
Non-Shopfront Street	54' (4 stories)	N/A	N/A	42' (3 stories)
Minimum				
Shopfront Street	54' (4 stories)	42' (3 stories)	30' (2 stories)	N/A
Non-Shopfront Street	30' (2 stories)	N/A	N/A	N/A

Notes:

1. Pitched roofs may extend above the height limit, but if the space within the pitched roof is habitable, it shall only be used for residential purposes.
2. For flat roofs, Open Roof Structures (pergolas, arbors) and Architectural Roof Structures (turrets, etc.) may extend beyond the height limit by no more than 12'.
3. For flat roofs, Enclosed Roof Structures (penthouses) may extend above the height limit by no more than 18' if set back no less than 20' from all perimeter walls.

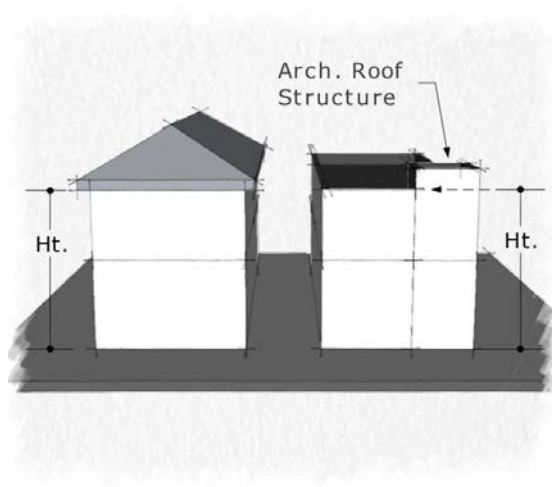


Figure 3.1.1 - For purposes of the HFBC, building heights are measured excluding pitched roofs and secondary roof features noted in Table 3.1.1.

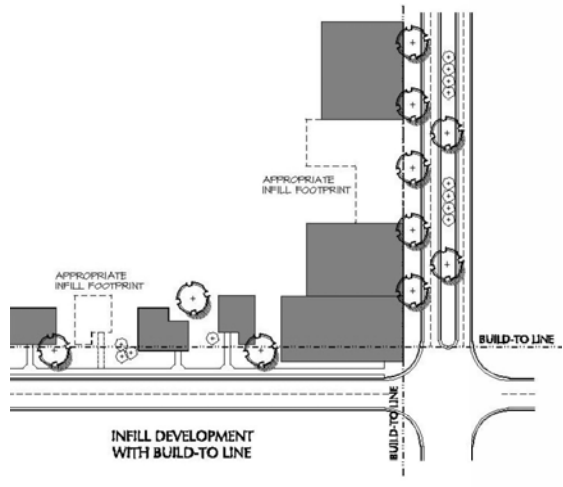


Figure 3.2.1 - Build-to Lines require specified building placement. As provided in the HFBC, Setback lines prescribe placement within minimum and maximum distances from property lines.

2. **Building Lines** - Buildings shall observe the setback or “build-to” line requirements specified in Table 3.2.1. (See Figure 3.2.1)

Table 3.2.1 - Building Lines

Building Line	Shopfront Street	CA-1	CA-2	CA-3	CA-4
Build-to Line	0'	N/A	N/A	N/A	N/A
Setbacks					
Front, maximum	N/A	5' ^[1]	5' ^[1]	15' ^[1]	20' ^[1]
Front, minimum	N/A	None	None	None	5' ^[1]
Side, maximum	Per CA	5' ^{[2] [3]}	5' ^{[2] [3]}	5' ^{[2] [3]}	10' ^[2]
Side, minimum	Per CA	None	None	None	5'
Rear, maximum	None	None	15'	20'	30'
Rear, minimum	None	None	None	10'	10'
Rear, maximum - alley	None	None	None	20'	30'
Rear, minimum - alley	None	None	None	None	None

Notes:
 [1] = Excepting Shopfront Street areas noted on Regulating Plan.
 [2] = Excepting driveways and/or side parking lots.
 [3] = See Section 3.5 regarding development of corner lots.

3. **Building Frontage** - The minimum percentage of the lot’s street frontage that must be occupied by one or more principal buildings shall be as provided in Table 3.3.1. (See Figure 3.3.1)

Table 3.3.1 - Building Frontage

Minimum Building Frontage	CA-1	CA-2	CA-3	CA-4
Along Type 1	80%	80%	70%	N/A
Along Type 2	60%	N/A	N/A	60%
Along Type 3	N/A	80%	70%	None
Along Type 4	None	N/A	70%	None
Along Shopfront Street	80%	80%	70%	N/A

4. Impervious Surface Coverage - Impervious surfaces shall not exceed the maximum impervious surface percentages (calculated on the basis of the lot) specified in Table 3.4.1.

Table 3.4.1 - Impervious Surface Coverage

	CA-1	CA-2	CA-3	CA-4
Maximum Impervious Surface	90%	80%	70%	50%

5. Shopfront Street Provisions - Building placement along Shopfront Streets shall prioritize street corner locations, precluding the development of parking, open spaces or other lot features at street corners.

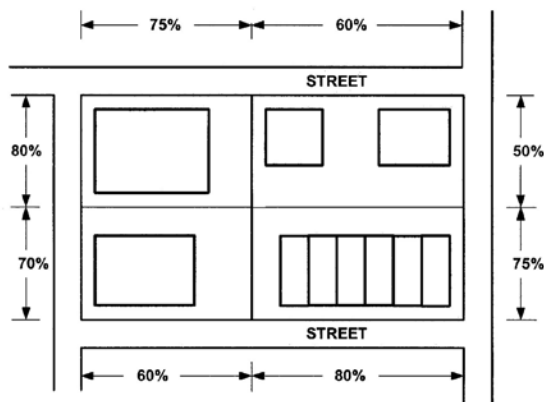


Figure 3.3.1 - Frontage provisions help ensure building façades and windows provide continuity along streets, avoiding “dead zones” and enhancing the pedestrian experience.

Section 4 - Parking Criteria & Site Access

Introduction - This section provides allowances regarding parking and parking lot and site lighting, including on and off-street parking areas, each supporting the Context Area objectives provided in the Regulating Plan. Treatment of items within this section are critical to establishing the type of on-foot and traffic access patterns needed for the HFBC area to thrive as a vibrant, walkable district.

1. On-street Parking - On-street parking shall be permitted on all streets within HFBC Limits, except within twenty-five feet of the right-of-way of an intersecting street. On-street parking is required along all Shopfront Streets designated by the Regulating Plan.
2. Off-Street Surface Parking - Except in CA-4, required off-street surface parking shall not be placed between the street right-of-way and the building fronting the street. In addition to Off-Street Surface Parking requirements provided in Table 4.2.1, the following criteria applies:
 - a) Landscaped area - Surface parking lots shall provide 150 s.f. of landscaped area for every 10 parking spaces, dispersed throughout the lot. Pedestrian paths required per Section 4.2b may be counted toward the amount of required landscaped area.
 - b) Pedestrian Paths - Within surface lots containing more than 30 parking stalls, pedestrian-friendly walkways shall be provided between surface lots and building entrances. Pedestrian Paths shall be no less than five feet wide and be clearly defined, using least two of the following:
 - i) Six-inch vertical curbing.
 - ii) Textured paving, including across vehicular lanes.
 - iii) A continuous landscape area no less than three feet wide along one or both sides of the walkway.

(See Figures 4.2.1, 4.2.2)

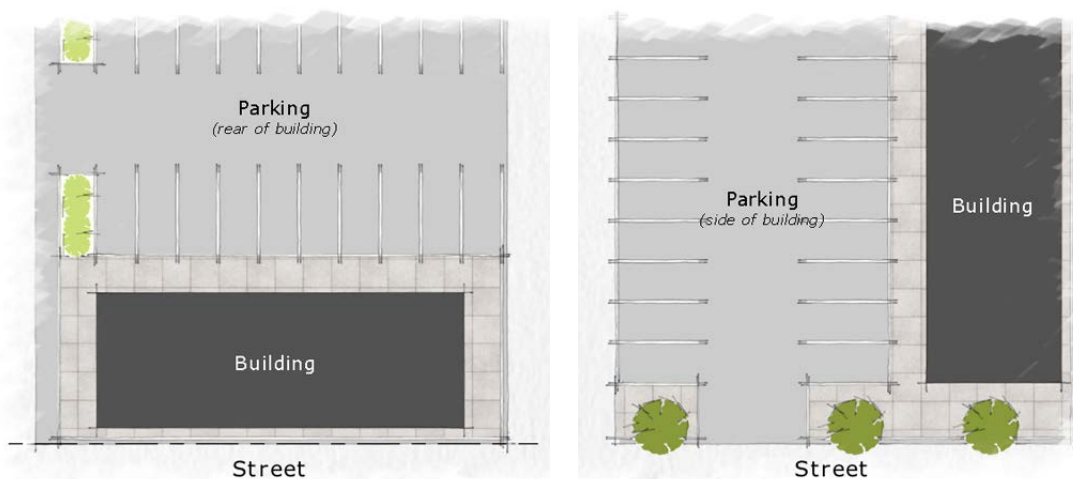


Figure 4.2.1 - Off-street parking may not be placed between a fronting building and the street.

Table 4.2.1 - Off-Street Surface Parking

Surface Parking	CA-1	CA-2	CA-3	CA-4
Non-Residential				
Minimum stalls	(None)	(None)	(None)	1 / 1,000 sf
Maximum stalls	1 / 1,000 sf	1 / 1,000 sf	2 / 1,000 sf	2 / 1,000 sf
Residential				
Minimum stalls	.5 / 1,000 sf ⁽¹⁾	.5 / 1,000 sf ⁽¹⁾	.5 / 1,000 sf ⁽¹⁾	1 / 1,000 sf ⁽¹⁾
Maximum stalls	2 / 1,000 sf ⁽²⁾	2 / 1,000 sf ⁽²⁾	2 / 1,000 sf ⁽²⁾	2 / 1,000 sf

Notes:

1. Or 1 stall per dwelling unit, whichever is less.
2. Or 2 stalls per dwelling unit, whichever is less.

3. Surface parking and site lighting - Surface parking lot and site lighting shall contribute to the character and safety of the site and adjacent rights of way, while not disturbing adjacent properties. Surface lot and site lighting shall adhere to the following standards:
 - a) Lighting types - Pedestrian-scale fixtures shall be used for all lighting illuminating required Pedestrian Paths. Vehicle-scale fixtures may be used for general surface lot and site lighting. (See Figure 4.3.1)
 - b) Performance - Parking lot and site lighting shall provide adequate night visibility and security by distributing a minimum of two foot-candles to a maximum of six foot-candles of illumination at ground level. All lighting shall be shielded to minimize off-site glare, directing light downward and away from adjacent properties.
4. Driveways/Site Access - Driveway widths shall not exceed 24 feet, and curb cuts shall not exceed 30 feet for combined entry/exits.



Figure 4.2.2 - Pedestrian Paths may show clear routes to and from building entrances by use of curbs, paving patterns or landscaping.

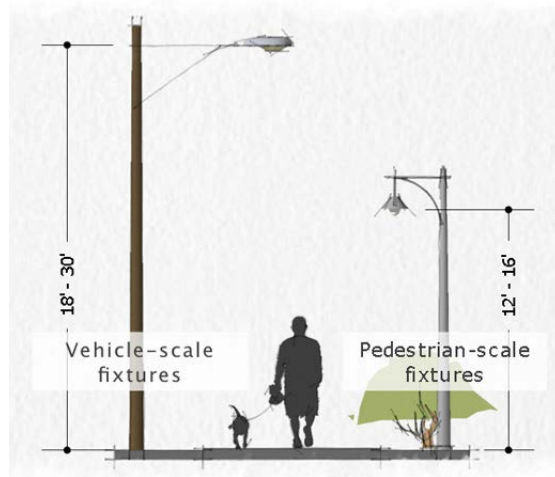


Figure 4.3.1 - Unless otherwise specified, Vehicle-Scale and Pedestrian-Scale lighting fixtures must meet height criteria illustrated here.

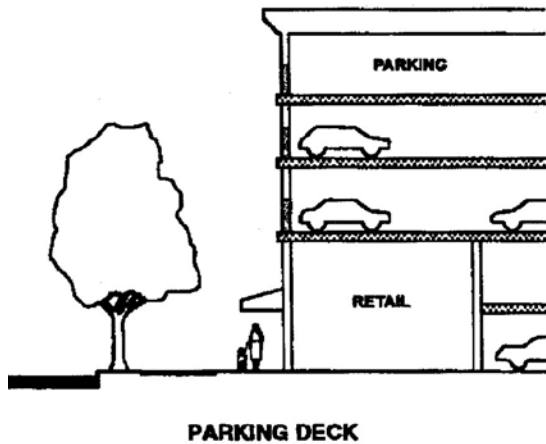


Figure 4.5.1 - Parking garages (decks) along shopfront streets must provide ground-level retail, commercial or office space fronting the street.

Guidelines - Adjacent developments should share driveways to the greatest extent possible. Driveway placement should direct primary traffic to and from the highest-intensity category noted on the Street Section Plan.

5. Shopfront Street Provisions - If fronting on a Shopfront Street, above-ground parking structures shall provide continuous ground level commercial or office spaces and uses along the street, except at ingress and egress points into the structure. (See Figure 4.5.1)

Section 5 - Streetscape Requirements

Introduction: This section identifies features and specifications for commercial and residential streets and alleys within HFBC Limits, keyed to the street types identified in the Street Section Plan and to Shopfront Street areas noted on the Regulating Plan. These criteria work to establish the type of active, economically-vibrant public realm sought by the community, balancing vehicular access with the safety and convenience of pedestrians and other non-motorized modes of travel.

[Note: Insert text generally describing cost relevance of Streetscape Requirements to private-sector applicants].

1. Streetscape Requirements - Required streetscape features and dimensions of those elements are identified in Table 5.1.1, are illustrated in Figure 5.1.1 through Figure 5.1.4, and are provided in following portions of this section.

Table 5.1.1 - Streetscape Requirements ^[1]

	Type 1	Type 2	Type 3	Type 4	Alley
Right-of-Way ^[2]	72' - 75'	100'	100'	60'	24'
Pavement Width	52'	50'	67.5'	39'	20'
Lanes					
Traffic	(2) 12'	(4) 12.5'	(2) 12.5'	(2) 11'	(2) 10'
Median/Left turn	(1) 11'	(1) 20'	(1) 12.5'	(None)	N/A
Parking	(2) 8.5' (A)	(None)	(2) 16' (B)	(2) 8.5' (A)	N/A
Bicycle	(None)	(2) 5'	(2) 5.25'	(None)	N/A
Curbs					
Type	Raised	Raised	Raised	Raised	N/A
Radii	25'	15'	15'	15'	N/A
Sidewalks					
Overall Width ^[3]	(2) 10'	(2) 10'	(2) 10'	(2) 10.5'	N/A
Type	A	A	A	A	N/A
Clear Ped. Zone ^[3]	(2) 6'	(2) 6'	(2) 6'	(2) 6.5'	N/A
Planting Zone	(2) 4'	(2) 4'	(2) 4'	(2) 4'	N/A
Street Furnishings					
Lighting, types	P	P	P	P	V
Planting, types	S	S/M	S/M	S	N/A
Benches	R	R	R	N/R	N/A
Trash receptacles	R	R	R	N/R	N/A
Bicycle parking	N/R	R	N/R	N/R	N/A

1. See City of Spokane Department of Engineering Design Standards for additional specifications.

2. ROW based on City of Spokane GIS data, field verify.

3. Minimum size; additional ROW, if any, shall be allocated to sidewalk Clear Pedestrian Zone.

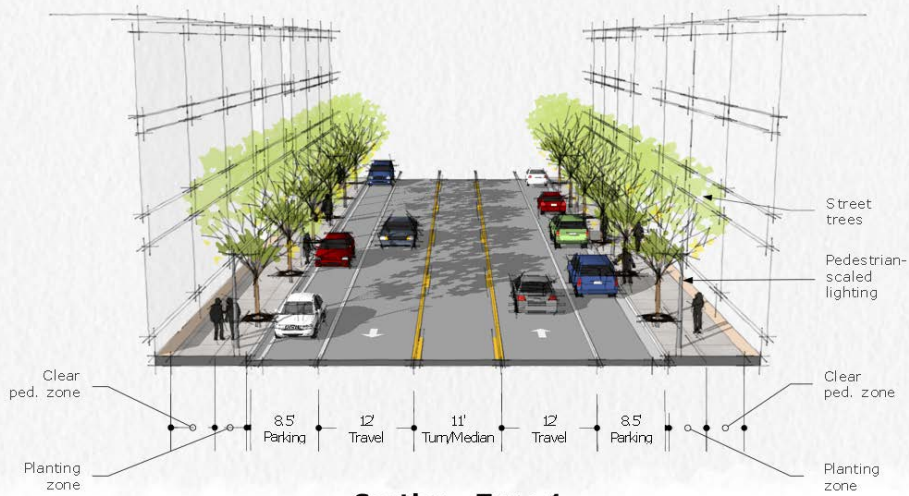
Parking Stall types: "A" = 8.5' W x 18' L parallel stalls; "B" = 9' W x 16' L angled stalls, back-in (60°∠)

Sidewalk types: "A" = 4' x 2' scored concrete

Lighting types: "P" = Pedestrian scale; "V" = Vehicle scale

Planting types: "S" = Street trees; "M" = Median planting

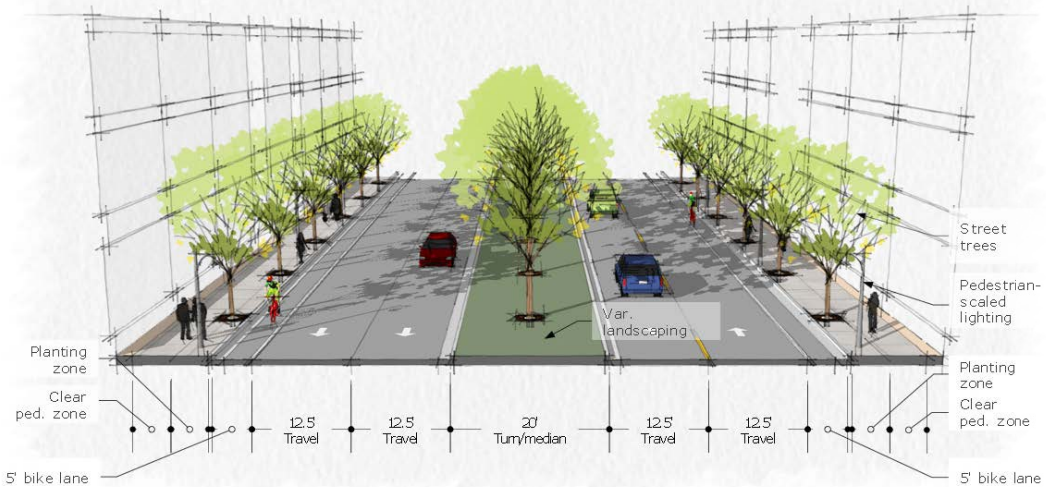
Benches, Trash receptacles, Bicycle parking: "R" = Required; "N/R" = Not required



Section - Type 1

Figure 5.1.1 - Configuration and dimensional requirements for street section "Type 1" areas identified in the Street Section Plan.

MODEL



Section - Type 2

Figure 5.1.2 - Configuration and dimensional requirements for street section Type 2 areas identified in the Street Section Plan.

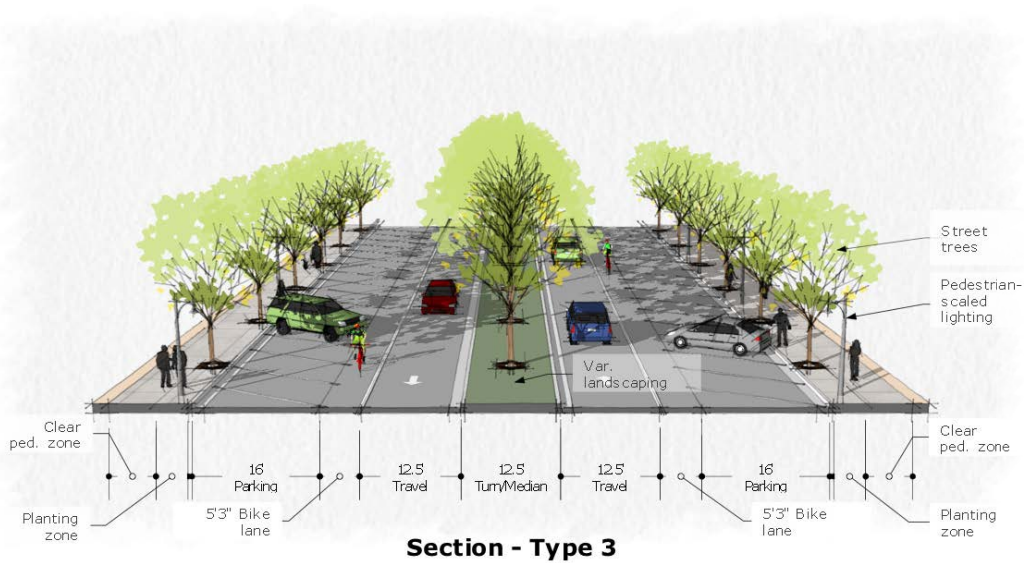


Figure 5.1.3 - Configuration and dimensional requirements for street section Type 3 areas identified in the Street Section Plan.

MODEL

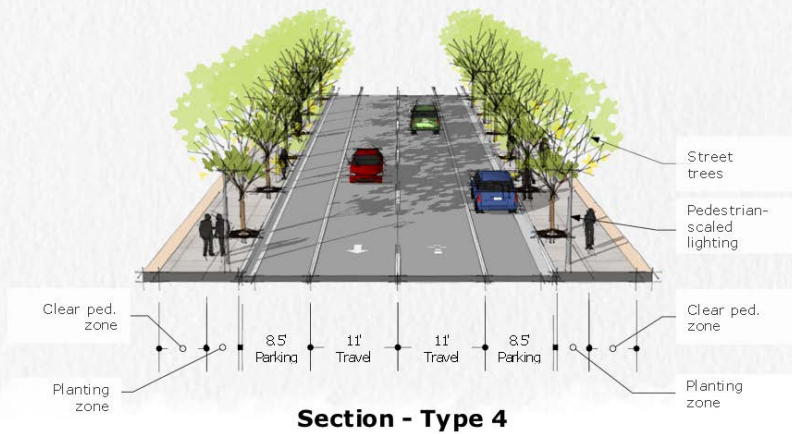


Figure 5.1.4 - Configuration and dimensional requirements for street section Type 4 areas identified in the Street Section Plan.

2. Sidewalks - The composition and color of sidewalks shall be as described in Table 5.1.1, and shall be continued as they cross vehicular driveways. (See Figure 5.2.1)

3. Street Furnishings, Placement - Street furnishings including light poles, benches, bicycle parking and trash receptacles shall be placed between tree locations within the Planting Zone. Temporary and intermittent sidewalk encroachments including café seating, planters, ramps, steps, and sandwich board signs may be located in the Planting Zone without restriction, or in the Clear Pedestrian Zone provided a pathway of at least four (4) feet wide remains free of such obstructions. (See Figure 5.3.1) Street furnishings required in Table 5.1.1 are to be provided in all Context Areas as follows:
 - a) Lighting - City-approved Pedestrian-Scale Lighting shall be provided every 30 feet, generally spaced midway between required Street Trees. Vehicle-scale lighting shall be provided every 60 feet.
 - b) Planting - City-approved Street Trees shall be provided every 30 feet, generally spaced midway between required Pedestrian-Scale Lighting. At a minimum, Median planting areas shall provide a continuous row of City-approved trees spaced according to mature canopy size, plus one or more types of City-approved ground cover.
 - c) Benches - City-approved benches shall be provided every 120 feet, or within 60 feet of any street intersection.
 - d) Trash receptacles - City-approved trash receptacles shall be provided every 120 feet, or within 60 feet of any street intersection.
 - e) Bicycle parking - City-approved bicycle parking shall be provided every 120 feet, or within 60 feet of any street intersection.

4. Crosswalks - *[Note: Optional; composition, width, striping].*

5. Shopfront Street Provisions - *[Note: Optional; Shopfront Street requirements/exceptions in addition to requirements established in this section].*



Figure 5.2.1 - Curb cuts and driveways may not interrupt sidewalk material and pattern requirements. Ramps may not encroach on Clear Pedestrian Zones.



Figure 5.3.1 - Temporary sidewalk encroachments are allowed in the Planting Zone, or in the Clear Pedestrian Zone as per Section 5.4.

Section 6 - Architectural Requirements

Introduction - This section identifies general architectural requirements, adding to building allowances in Section 3 by articulating basic façade requirements, roofline objectives, mechanical screening and other considerations. These requirements establish important functional and aesthetic characteristics sought by the community and expressed by the Regulating Plan, ensuring the proper “fit” within the surrounding neighborhood. Subsection 6.10, Materials, includes related requirements as well as a set of guidelines conveying recommended material types for use as cladding, for accent purposes, or for exposed roofs.

1. **Building Base** - For CA-1 and all Shopfront Street areas, building façades shall include a visually prominent plinth or base, helping establish pedestrian-scaled features and aesthetically tying the building to the street level. Building bases shall measure between 9” and 6’ above adjacent grade, and utilize at least one of the following:
 - a) “Heavier” material composition, such as a stronger, more permanent material than used on upper portions of the façade.
 - b) A horizontal projection (or visible thickening) of the wall surface, potentially accompanied by a change of material and/or color.
 - c) A horizontal architectural line or feature, such as a belt course or secondary cornice, at or below the top of the first story and providing visual separation between the first two floors.

(See Figure 6.1.1)

2. **Primary Building Entries** - For CA-1 and all Shopfront Street areas, Primary Building Entries shall face the street and be made visually prominent, including the use of a recommended accent material and at least one of the following:
 - a) Recessed entrance. Recessed entrance shall be recessed at least 3’ from the building face.
 - b) Canopy or awning. Canopy or awning shall extend at least 5’ from the building face, with a minimum height clearance of 8’ above the sidewalk.
 - c) Inclusion of a volume that protrudes from the rest of building surface or an Architectural Roof Structure element physically or visually integrated with the Primary Building Entry.

(See Figure 6.2.1)

For mixed-use buildings, entrances to residential, office or other upper story uses shall be clearly distinguishable in form and location from retail entrances.

Guidelines - Recommended entry treatments include special paving materials such as ceramic tile; ornamental ceiling treatments; decorative light fixtures; decorative door pulls, escutcheons, hinges, and other hardware.

3. **Street-level Detailing** - For CA-1 and all Shopfront Street areas, street-level façades shall help create a more welcoming, aesthetically-rich pedestrian environment by incorporating at least four of the following elements:



Figure 6.1.1 - Illustration of building base, pedestrian-scale signs and other building elements described in the HFBC.



Figure 6.2.1 - Primary Building Entries must face the street and be made visually prominent using one or more architectural approaches listed in Section 6.2.

- a) Canopies or awnings spanning at least 25% of the building façade. Canopy or awning shall extend at least 5' from the building face, with a minimum height clearance of 8' above the sidewalk.
 - b) Pedestrian-Scaled Signs, mounted to the building or permanent overhang.
 - c) Decorative sconce, lantern or similar lighting, mounted to the building.
 - d) Projecting windowsills.
 - e) Decorative kick plates for entry doors.
 - f) Urns or large planters with seasonal vegetation.
 - g) Hanging planters supported by brackets mounted to the building.
4. **Façade Transparency** - Building façades shall include substantial glazing, providing visual connectivity between activities inside and outside a building. Regarding glazing, the following provisions shall apply:
- a) If fronting along a Shopfront Street, ground floor glazing shall be at least ten feet (10') in height and no more than three feet (3') above adjacent sidewalk or grade.
 - b) If facing a public street, upper floor façades shall include a minimum of 30% clear glass windows.
 - c) The total glazing expressed as a minimum percentage of ground floor façades shall meet the specifications provided in Table 6.4.1.

(See Figure 6.4.1)

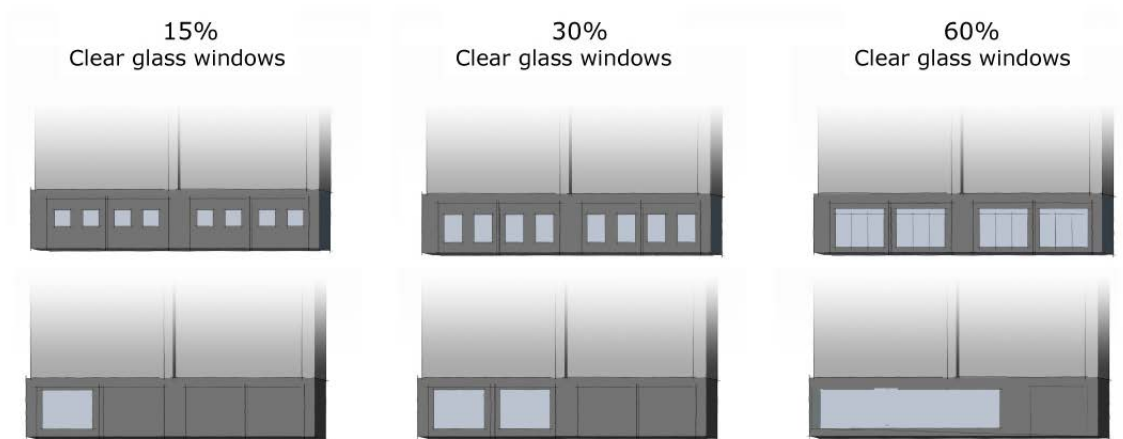


Figure 6.4.1 - Especially along pedestrian-oriented streets, glazing provides a visual connection between activities inside and outside a building. Table 6.4.1 specifies minimum quantities of clear glass, expressed as a percentage of each façade.

Table 6.4.1 - Glazing minimums, ground floor façades *

Façade location	CA-1	CA-2	CA-3	CA-4
Along Shopfront Street	75%	75%	60%	-
Along Non-Shopfront Street	60%	N/A	N/A	30%

* Glazing percentages may include windows and doors.

5. **Blank Walls** - Minimizing blank or undifferentiated façade walls helps ensure that buildings contribute to an engaging pedestrian environment. In all CA areas, blank façade walls longer than 30' along any public right-of-way shall be enhanced or screened by incorporating one or more of the following:
 - a) Vegetation such as trees and/or vines planted adjacent to the wall surfaces.
 - b) Architectural detailing, potentially including reveals, contrasting materials, bas-relief detailing, artwork, murals, or decorative trellises.

6. **Roof Lines** - Varied roof planes, cornice elements, overhanging eave and roof decks are encouraged, as they increase visual interest and help implement character objectives described in Sec. 1.1. In all CA areas, roof line elements shall adhere to the following standards:
 - a) Pitched or sloping roofs shall have a minimum slope of 4:12 and a maximum slope of 12:12 (rise : run).
 - b) Buildings with flat roofs shall include an extended parapet on all building sides, creating a defined cornice or prominent top edge.

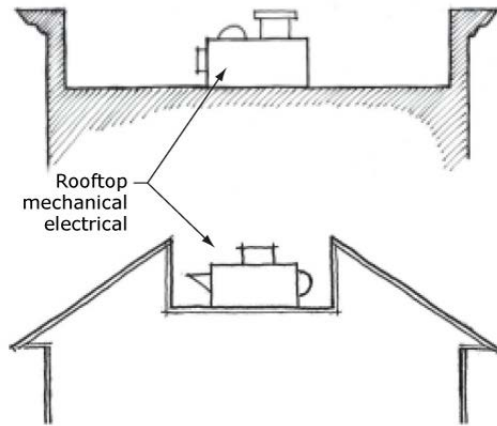


Figure 6.7.1 - Rooftop and ground-level equipment must be screened from view along public rights-of-way. Here, mechanical systems are hidden by cornice and roof elements.



Figure 6.10.1 - The HFBC provides standards and guidelines regarding building materials, helping realize community expectations for the corridor and neighborhood.

- c) Non-Enclosed, Enclosed and Architectural Roof Structure elements as defined by this code in are exempt from 6.6.A and 6.6B. Height limitations for such elements are provided in Table 3.1.1.
7. **Equipment Screening** - In all CA zones visible from public rights-of-way, mechanical and electrical equipment including HVAC units, transformers, antennae and receiving dishes shall be screened from view, adhering to the following standards:
- a) Rooftop mechanical and electrical equipment shall be screened by a parapet wall, enclosed within roof volumes or other building elements designed as an integral part of the building's architecture.
 - b) Ground-level mechanical and electrical equipment shall be enclosed within secondary building elements, or screened by features designed to coordinate with the architectural character of the primary structure. Picket or chain-link fencing may not be used.
- (See Figure 6.7.1)
8. **Service Area Screening** - In all CA zones, service, loading and trash collection areas shall be hidden or screened from view along public rights-of way, and shall not face any public street or residential area unless no other location is possible. Service areas shall be hidden from view using a screen wall constructed of masonry, wood or metal, designed to coordinate with the architectural character of the primary structure. Screen walls shall also include one or more of the following:
- a) Vegetation such as trees and/or vines planted adjacent to the wall surfaces.
 - b) Architectural detailing, potentially including reveals, contrasting materials, bas-relief detailing, artwork, murals, or decorative trellises.

9. Sign Standards - For sign standards applying to all CA zones, see City of Spokane Municipal Code, Chapter 17C.240.
10. Materials - Use of quality building materials ensures that projects contribute to the overall value and character of properties within and adjacent to HFBC Limits. Building materials shall adhere to the following standards:
- a) Buildings shall employ durable and high quality materials, such as steel, glass, brick, stone, and/or wood.
- (See Figure 6.10.1)

Guidelines - In addition to the material standards defined in Section 6.10, the following material guidelines are included to further define community expectations for projects within all CA zones within HFBC limits.

- a) The use of sustainably harvested, salvaged, recycled reused products is encouraged wherever possible.
- b) Authentic materials and methods of construction should be used to the greatest degree possible. Materials made to simulate higher-value materials and construction types may be used for reasons of economy, but should be durable and closely match the proportions, surface finishes, and colors of the materials they simulate.
- c) When veneers are used, detailing and installation should give the appearance of full-depth material, avoiding the exposure of veneer sides, including use of wrap-around corner pieces.
- d) The location and spacing of panel or expansion joints should be incorporated into the façade composition. Castings should be shaped to form architectural profiles that create bases, cornices, pilasters and other elements contributing to the façade composition.
- e) Cladding and/or accent materials on the primary building should be carried over onto additions, accessory buildings and site features.
- f) Cladding materials - Recommended cladding materials include:
- *Brick. Red brick is characteristic of the Spokane region, although other colors may be used as well. Full size brick veneer is preferable to thin brick tile.*
 - *Stone. Granite, limestone, sandstone, and river rock are preferred stone types. Stone veneer and cast stone simulating these types is allowable.*
 - *Cast concrete. Precast or exposed site-cast structural concrete is acceptable. Pigments, special aggregates and surface textures should be exploited to achieve architectural effects.*
 - *Concrete block. Where used, creativity in selecting block sizes, surface textures, course patterns and colors is encouraged.*
 - *Wood. Horizontal sidings such as clapboard, tongue-in-groove, shingles or shakes, or vertical sidings such as board and batten are acceptable. Trim elements should be used for all wood siding types. Heavy timber detailing and exposed bracing may be used where appropriate to the building style.*

- *Fiber-cement or cementitious siding. Fiber-cement planks, panels and shingles and are an acceptable substitute for wood siding when used in the formats described above under "Wood."*
 - *Stucco. Stucco, cement plaster or stucco-like finishes such as EIFS may be used along ground floor portions of rear or side service and parking exposures, provided the building base treatment used along the street façade is continued. Stucco of any type should not be used along ground floor portions of street exposures.*
- g) Accent materials - Accent materials are typically used at building entrances, window and door frames, wall bases, cornices, wainscot materials and for copings, trim, and other special elements. Recommended accent materials include:
- *Brick. Red brick is characteristic of the Spokane region, although other colors may be used as well. Full size brick veneer is preferable to thin brick tile.*
 - *Stone. Granite, limestone, sandstone, and river rock are preferred stone types. Stone veneer and cast stone simulating these types is allowable.*
 - *Cast concrete. Precast or exposed site-cast structural concrete is acceptable. Pigments, special aggregates and surface textures should be exploited to achieve architectural effects.*
 - *Concrete block. Where used, creativity in selecting block sizes, surface textures, course patterns and colors is encouraged.*
 - *Tile. Ceramic, terra cotta and cementitious tile, whether glazed or unglazed is acceptable.*
 - *Metal. Profile, corrugated and other sheet, rolled or extruded metal is acceptable. Metal accents should have trim elements to protect edges, and be of adequate thickness to resist dents and impacts. Surfaces should be treated with a high quality, fade-resistant coating system or paint such as Kynar, Tnemec, etc. Copper, zinc and weathering steel may be left exposed.*
- h) Roof materials – Recommended materials for roofs exposed and visible from public rights of way include:
- *Metal seam roofing. Finishes should be anodized, fluorocoated or painted. Copper, zinc and weathering steel may be left exposed.*
 - *Slate or slate-like materials.*
 - *Sheet metal shingles.*
 - *Asphalt shingles. Projects using asphalt shingles should use the highest quality commercial grade materials, and be provided with adequate trim elements.*



Agenda Sheet for City Council Meeting of:

05/12/2014

Date Rec'd	4/30/2014
Clerk's File #	RES 2014-0054
Renews #	

Submitting Dept	PARKS & RECREATION	Cross Ref #	
Contact Name/Phone	LEROY EADIE 625-6204	Project #	
Contact E-Mail	LEADIE@SPOKANECITY.ORG	Bid #	
Agenda Item Type	Resolutions	Requisition #	
Agenda Item Name	RESOLUTION APPROVING THE APPOINTMENT OF RECREATION DIRECTOR		

Agenda Wording

A resolution approving the appointment of Al Vorderbrueggen as Recreation Director for the Parks and Recreation Division.

Summary (Background)

City Charter Section 24 requires City Council confirmation of department head appointments. Mayor Condon and Leroy Eadie, Parks and Recreation Division Director have appointed Al Vorderbrueggen as Recreation Director for the Parks and Recreation Division.

<u>Fiscal Impact</u>		<u>Budget Account</u>	
Select	\$		#
Select	\$		#
Select	\$		#
Select	\$		#
<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	EADIE, LEROY	<u>Study Session</u>	
<u>Division Director</u>		<u>Other</u>	
<u>Finance</u>	LESESNE, MICHELE	<u>Distribution List</u>	
<u>Legal</u>	DALTON, PAT	Lvanzandt@spokanecity.org	
<u>For the Mayor</u>	SANDERS, THERESA	rgiachetti@spokanecity.org	
<u>Additional Approvals</u>			
<u>Purchasing</u>			

RESOLUTION NO. 2014-0054

A resolution approving the appointment of Al Vorderbrueggen as Recreation Director for Parks and Recreation Division.

WHEREAS, section 24 of the city charter states that the Mayor shall have the power to appoint department heads subject to the approval of the City Council; and

WHEREAS, section 5.2.6 of the city council rules of procedures states that approval of appointment of department heads shall be by resolution; and

WHEREAS, after full consideration, Mayor David A. Condon has appointed Mr. Vorderbrueggen as Recreation Director for Parks and Recreation Division for the City of Spokane; -- Now, Therefore,

BE IT RESOLVED by the City Council for the City of Spokane that it hereby appoints approves the appointment of Al Vorderbrueggen as Recreation Director for Parks and Recreation Division for the City of Spokane.

ADOPTED BY THE CITY COUNCIL ON _____

City Clerk

Approved as to form:

Assistant City Attorney



Agenda Sheet for City Council Meeting of:

05/12/2014

Date Rec'd	4/30/2014
Clerk's File #	ORD C35096
Renews #	

Submitting Dept	CITY COUNCIL	Cross Ref #	
Contact Name/Phone	BEN STUCKART 625-6269	Project #	
Contact E-Mail	AMCDANIEL@SPOKANECITY.ORG	Bid #	
Agenda Item Type	First Reading Ordinance	Requisition #	
Agenda Item Name	0320 REPEAL OF ORDINANCE CREATING FIRE DEPARTMENTS WITHIN FIRE		

Agenda Wording

AN ORDINANCE relating to the establishment of fire departments within the fire division; repealing SMC sections 3.01A.270, 3.01A.275, 3.01A.280, 3.01A.285, 3.01A.290, 3.01A.295 and 3.01A.300.

Summary (Background)

On April 8, 2013, the City Council approved Ord. No. C-34964 relating to the executive and administrative organization of the City, including the creation of multiple departments within the fire division. The International Association of Fire Fighters local 29 and the Spokane Association of Fire Officers ("Plaintiffs") filed a lawsuit challenging the creation of multiple departments within the fire division.

<u>Fiscal Impact</u>		<u>Budget Account</u>	
Select	\$		#
Select	\$		#
Select	\$		#
Select	\$		#
<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	MCDANIEL, ADAM	<u>Study Session</u>	
<u>Division Director</u>		<u>Other</u>	
<u>Finance</u>	LESESNE, MICHELE	<u>Distribution List</u>	
<u>Legal</u>	PICCOLO, MIKE		
<u>For the Mayor</u>	SANDERS, THERESA		
<u>Additional Approvals</u>			
<u>Purchasing</u>			



Continuation of Wording, Summary, Budget, and Distribution

Agenda Wording

Summary (Background)

On April 25, 2014, the Spokane County Superior Court issued a written decision granting the Plaintiffs their motion for summary judgment and ordering that Ord. No. C-34964 is invalid and void as it relates to the fire department because it is in violation of the requirements of state law, Chapter 41.08 RCW. This ordinance will repeal SMC sections 3.01A.270, 3.01A.275, 3.01A.280, 3.01A.285, 3.01A.290, 3.01A.295 and 3.01A.300 so as to remove the seven departments created under the Fire Division consistent with the Court's decision. SMC 3.01A.265, which created the Fire Division with the potential of various departments, will remain in place.

Fiscal Impact

Select \$

Select \$

Budget Account

#

#

Distribution List

<u>Distribution List</u>	

ORDINANCE NO. C35096

AN ORDINANCE relating to the establishment of fire departments within the fire division; repealing SMC sections 3.01A.270, 3.01A.275, 3.01A.280, 3.01A.285, 3.01A.290, 3.01A.295 and 3.01A.300.

WHEREAS, on April 8, 2014, the City Council approved Ord. No. C-34964 relating to the executive and administrative organization of the City, including the creation of multiple departments within the fire division; and

WHEREAS, the International Association of Fire Fighters local 29 and the Spokane Association of Fire Officers ("Plaintiffs") filed a lawsuit challenging the creation of multiple departments within the fire division; and

WHEREAS, on April 25, 2014, the Spokane County Superior Court issued a written decision granting the Plaintiffs' their motion for summary judgment and ordering that Ord. No. C-34964 is invalid and void as it relates to the fire department because it is in violation of the requirements of state law, Chapter 41.08 RCW; - - Now, Therefore,

The City of Spokane does ordain:

Section 1. That SMC sections 3.01A.270, 3.01A.275, 3.01A.280, 3.01A.285, 3.01A.290, 3.01A.295 and 3.01A.300 are repealed.

3.01A.270 — Fire Communications

~~The communications department's primary responsibilities are to receive calls through the community's 9-1-1 system and dispatch appropriate resources to the public's request for assistance as well as to communicate with and provide documentation and other support to fire and EMS response agencies and their field units. Includes assuring that facilities, equipment and systems are in place and operational for interoperable communication to occur between the public and responders in order to support the mission of the fire division as well as fulfill the obligations to provide contract dispatching services to other fire agencies.~~

3.01A.275 Fire Emergency Medical Services

~~The fire emergency medical services department is responsible for the medical systems necessary to provide quality pre-hospital basic life support and paramedic level critical care. Includes the management and oversight of the 9-1-1 ambulance transport contract as well as participation in the coordination of the overall community emergency medical services system.~~

3.01A.280 Fire Logistics

The fire logistics department manages and maintains the emergency response fleet of specialized apparatus, equipment, physical buildings and inventory that are in place and necessary to support the fire division's mission.

3.01A.285 Fire Operations

The fire operations department primary responsibilities include response to fire, emergency medical services, rescue and other calls for service that typically occur through the community's 9-1-1 system. Consists of personnel and equipment deployed to field operations (stations and apparatus) as well as special operations and emergency incident management.

3.01A.290 Fire Planning and Information Management

The fire planning and information management department primary responsibilities are to develop and oversee the fire division's information technology plan and systems necessary to support the fire division's mission together with obligations to provide contract dispatching services to other fire agencies. Includes providing all aspects of information technology and information management services through development, purchase, installation and maintenance of routine and critical technological software and interoperable, secure infrastructure.

3.01A.295 Fire Prevention

The fire prevention department primary responsibilities are to manage and oversee the enforcement of the fire code and other applicable standards as well as other efforts to prevent injury and harm from fire and avoidable accidents. Includes the review of plans for new and remodel projects within the City; field inspections to insure compliance with required permits and codes; educational and other collaborative programs to minimize occurrence of fires, accidents and injuries in the community.

3.01A.300 Fire Training

The fire training department primary responsibilities are to lead and manage the training, educational and other systems necessary to assure operational readiness and compliance with governmental standards and regulations. Includes the management and oversight of the fire division's safety program.

PASSED by the City Council on _____

Council President

Attest:

Approved as to form:

City Clerk

Assistant City Attorney

Mayor

Date

Effective Date



Agenda Sheet for City Council Meeting of:

05/12/2014

Date Rec'd	4/30/2014
Clerk's File #	ORD C35097
Renews #	

Submitting Dept	PLANNING & DEVELOPMENT	Cross Ref #	
Contact Name/Phone	ANDREW 625-6991	Project #	
Contact E-Mail	AWORLOCK@SPOKANECITY.ORG	Bid #	
Agenda Item Type	First Reading Ordinance	Requisition #	
Agenda Item Name	0650 - ORDINANCE RELATING TO MOBILE FOOD VENDING		

Agenda Wording

An Ordinance relating to mobile food vending, providing regulations, conditions & licensing requirements; adopting a new chapter 10.51 to SMC Title 10; amending SMC 10.40.010; adopting a new SMC 8.02.0233 to chapter 08.02 SMC;

Summary (Background)

This ordinance is the outcome of the City's Mobile Food Vendor Project. The project's goal was to ensure the City's rules support the changes and growth in the industry, with an easier, more predictable regulatory system consistent with the community interest and expectations. Broad public and industry input with coordination with the agencies involved regulating mobile food vending was included. A separate ordinance, containing the land use regulations for mobile food vending is also proposed.

Fiscal Impact

Neutral	\$
Select	\$
Select	\$
Select	\$

Budget Account

#
#
#
#

Approvals

<u>Dept Head</u>	CHESNEY, SCOTT
<u>Division Director</u>	QUINTRALL, JAN
<u>Finance</u>	LESESNE, MICHELE
<u>Legal</u>	DALTON, PAT
<u>For the Mayor</u>	SANDERS, THERESA

Council Notifications

<u>Study Session</u>	PCED 7/15/13
<u>Other</u>	

Additional Approvals

<u>Purchasing</u>	aworlock@spokanecity.org
	jhaegele@spokanecity.org



Continuation of Wording, Summary, Budget, and Distribution

Agenda Wording

amending Appendix B in SMC 4.31.040; and amending SMC 1.05.160, Penalty Schedule - Land Use Violation.

Summary (Background)

Fiscal Impact

Select \$

Select \$

Budget Account

#

#

Distribution List

ORDINANCE NO. C35097

AN ORDINANCE relating to mobile food vendors, providing regulations, conditions and licensing requirements for mobile food vending; adopting a new chapter 10.51 to Title 10 of the Spokane Municipal Code; amending SMC 10.40.010; adopting a new SMC 8.02.0233 to chapter 08.02 SMC; amending Appendix B in SMC 4.31.040; and amending SMC 1.05.160, Penalty Schedule – Land Use Violation.

The City of Spokane does ordain:

Section 1. That there is adopted a new chapter 10.51 to Title 10 SMC, Division II as follows:

Chapter 10.51 Mobile Food Vendors

Sections.

10.51.010	Permit Required
10.51.020	License Class
10.51.030	Definitions
10.51.040	Exceptions
10.51.050	Mobile Food Vending From Or Onto The Public Right Of Way
10.51.060	Mobile Food Vending Located Entirely On Private Property
10.51.070	Mobile Food Vending Located On Or Adjoining a City Park
10.51.080	Application
10.51.090	Liquor Use And Sale Prohibited
10.51.100	Insurance Required
10.51.110	Indemnity – Permit Revocation
10.51.120	Requirements Not Cumulative
10.51.130	Violation

10.51.010 Permit Required

No person may operate a mobile food vending unit within the City of Spokane without first obtaining a mobile food vendor permit under this chapter.

10.51.020 License Class

Mobile food vending permits are Class III E licenses as provided in chapter 4.04 SMC.

10.51.030 Definitions

- A. “Adjoining Private Property Owner” means the owner of property, as reflected in the records of the Spokane County assessor, contiguous and immediately adjacent to the right of way as determined by extending the existing property lines to the centerline of the street as though such right of way were included in the property.
- B. “Mobile food vendor” means a person or persons owning, operating, or working in a mobile food vending unit and is the permit holder and person in charge of a mobile food vending unit under the provisions of the Washington state administrative code, WAC 246-215-121 and the rules of Spokane regional health district. A mobile food vendor as defined herein is not an itinerant vendor for the purposes of chapter 10.40 SMC, Itinerant Vendors.
- C. “Mobile food vending unit” means a readily movable food service establishment such as a push cart, van, trailer, or a temporary/movable structure approved for mobile food vending by Spokane regional health district. It provides space for limited storage, handling, and/or dispensing of foods. The entire operation must be contained within/on the mobile unit, except that expansion of the operation will be allowed in conjunction with an approved temporary event as allowed under the rules of the Spokane regional health district.

10.51.040 Exceptions

Mobile food vendors must operate in accordance with the provisions of this chapter except as follows:

- A. Limited special event vending.
Mobile food vendors may vend from a location in a zone which is not otherwise approved for mobile food vending, including residential zones, under the following conditions:
 - 1. The owner of the property where such event will occur has invited the mobile food vendor to participate in a special event approved by the City, such as a community event, neighborhood block party, wedding, or birthday party, and mobile food vending is part of the approved special event activities.
 - 2. The mobile food vendor will not advertise its services or products to the general public while in attendance at such event and should limit its services and products to the attendees of such events.
 - 3. The mobile food vending unit may not remain at the location for longer than the duration of the special event and while there must be located so as to avoid creating conflicts with pedestrian or motor vehicle traffic or creating other public safety problems.

4. Mobile food vendors who operate in accordance with this exception do not require additional permits or approvals but must have and maintain all other licenses and approvals necessary to lawfully operate as a mobile food vendor within the City of Spokane.
- B. Mobile food vendors who operate for six days or less annually within the City of Spokane shall be considered temporary food establishments and are exempt from the permitting requirements of this section but must otherwise comply with all other standards contained within this chapter.
- C. The provisions of this chapter do not apply to mobile caterers who are engaged in the business of transporting, in motor vehicles, food and beverages to residential, business and industrial establishments pursuant to prearranged schedules and dispensing from the vehicles the items to and for the convenience of the personnel or occupants of such establishments.
- D. Mobile food vendors who vend from very small pushcarts (twenty cubic feet of cart or less) on the public sidewalk and do not remain in any one place for more than ten minutes may choose to operate in accordance with the provisions of the itinerant vendor permit, SMC 10.40.010.

10.51.050 Mobile Food Vending From Or Onto The Public Right Of Way

- A. When vending from or onto a location or locations within a public right of way including a public sidewalk or plaza, the mobile food vendor's permit must contain approval for the vendor to vend at that particular location or locations. The approval is subject to the following requirements:
 1. The vending location must be within a zone wherein mobile food vending is a permitted use pursuant to SMC Title 17C.380.
 2. The vendor must obtain and provide to the director of planning and development services, the written consent from the owner(s) of the adjoining private property or their authorized representative, as to the use and location of the mobile food vendor on the right of way adjoining their property(ies);
 3. The vendor shall comply with all applicable parking regulations;
 4. The vendor must setup and operate the mobile food vending unit so as to maintain a minimum five foot clear pedestrian pathway, twenty feet in both directions from the food vending unit along the public sidewalk at all times;
 5. Approval of a mobile food vendor permit which includes the approval to vend from a particular location in the public right of way does not confer nor guarantee any exclusive right to an identified location. All locations

within the public right of way are based on a first come, first served basis, there are no designated parking spots or sidewalk locations for specific mobile food vendors.

6. The vendor acknowledges that the Spokane police department, or any authorized representative thereof, has the right to close down or request the food vendor to relocate when, in the opinion of the department, the vendor is causing or contributing to an imminent public safety hazard.
7. The mobile vending unit may not be within seventy five feet of the front entrance of an existing restaurant without the written consent of the owner or authorized representative of the restaurant owner.
8. The applicant shall comply with the terms and conditions of the mobile food vendor permit issued, and shall maintain the sidewalk in a clean and safe condition for pedestrian travel, and shall immediately clear the sidewalk area when ordered to do so by an appropriate City officer such as the chief of police or fire official or their authorized representatives.

10.51.060 Mobile Food Vending Located Entirely On Private Property

- A. When vending from or onto a location or locations on private property where all mobile food vending activity takes place entirely on private property, the mobile food vendor's permit must contain approval for the vendor to vend at that particular location or locations. The approval is subject to the following requirements:
 1. The vending location must be located within a zone wherein mobile food vending is a permitted use pursuant to SMC Title 17C.380.
 2. The mobile food vending unit will be subject to the same land use and development standards applicable to the property as if the unit were a permanent structure, except that a mobile food vendor shall not be required to make any additional site improvements when:
 - a. The mobile food unit will be located on an existing paved parking area that will continue to provide sufficient space for required off street parking and circulation for any other existing uses on the property;
 - b. The mobile food unit is a licensed, wheeled vehicle and the wheels will not be removed;
 - c. Any canopies, awnings or any other attachments are supported entirely by the mobile food unit and do not touch the ground;

- d. The mobile food unit is self-contained, with no plumbing connections; and,
 - e. The mobile food unit will not be used for “drive thru” vending.
 - f. Temporary seating, sandwich board signs, refuse collection containers and other temporary appurtenances may be allowed.
2. The vendor shall obtain and provide to the permit authority, a copy of the written consent from the owner(s) of the private property or their designated property manager, as to the use and location of the mobile food vendor on their property.

10.51.070 Mobile Food Vending Located On Or Adjoining a City Park

Mobile food vending is prohibited in City parks without the written consent of the Spokane park board or its designee. When vending in or adjoining a City park, the mobile food vendor’s permit must contain approval for the vendor to vend at that particular location or locations.

10.51.080 Application

- A. Application submittal requirements.
Applications for mobile food vendor permits must be submitted on forms provided by the planning and development department which shall include the following information:
 1. The name and contact information including phone number, business address and mailing address of the applicant;
 2. The name and contact information of the registered owner of the mobile food unit, if different than the applicant;
 3. Address of all the fixed location(s) within the City of Spokane, if any, from which the mobile food vending unit is proposed to be operated from;
 4. A scaled drawing of the proposed fixed vending locations whether on public right of way or private property, showing existing improvements and the proposed placement of the mobile food vending unit;
 5. Proof of the insurance, as required under SMC 10.51.100;
 6. Proof of valid state and local business registrations, including registration numbers and date of issuance;

7. Proof that the mobile food unit has been inspected and is currently registered by state and local agencies as required by law;
8. Written consent from the adjoining property owner for location(s) where vending will take place from or onto public right of way;
9. Written consent from the property owner for location(s) where vending will take place entirely on privately owned property; and
10. A statement of the nature and type of goods or services to be sold.

B. Additional information.

The director of the planning and development department may require additional documentation of the applicant as deemed reasonably necessary prior to issuing the license.

10.51.090 Liquor Use And Sale Prohibited

Liquor, as defined in RCW 66.04.010(16), as now existing or hereafter amended, may not be used or sold by any mobile food vendor.

10.51.100 Insurance Required

An applicant for a mobile food vendor permit proposing to vend to or from any public property including public streets, sidewalks, plazas or parks shall, prior to issuance of such a permit, provide and maintain in full force and effect while the permit is in effect, public liability insurance in the amount specified by SMC 12.02.0730(B) to cover potential claims for bodily injury, death or disability and for property damage, which may arise from or be related to the use of the public property for mobile food vending purposes, naming the City as an additional insured.

10.51.110 Indemnity – Permit Revocation

The applicant for a mobile food vendor permit shall deliver to the City, on a form supplied by the City, signed and acknowledge agreement by the applicant to defend, indemnify, and hold the City harmless from any and all claims, actions or damages or liabilities of every kind and description which may accrue to, or be suffered by, any persons by reason of or related to the operation of such mobile food vending unit. In addition, the agreement shall contain a provision that the permit is wholly of a temporary nature, that it vests no permanent right whatsoever, that it may be suspended or revoked pursuant to the procedures set forth in SMC 4.04.080.

10.51.120 Requirements Not Cumulative

The requirements of SMC 17G.010.201, obstruction of streets, and obstruction of sidewalks, shall not apply to a mobile food vendors validly licensed under this chapter, except as herein provided.

10.51.130 Violation

- A. This chapter is subject to the administrative provisions of chapter 4.04 SMC. In the event of an appeal, the hearing officer shall be the City of Spokane hearing examiner.
- B. Mobile food vendors must comply with all state and local laws.
- C. A violation of this chapter is a class 1 civil infraction. Each day upon which a violation occurs or is permitted to continue constitutes a separate violation.

Section 2. That SMC section 10.40.010 is amended as follows:

10.40.010 Itinerant Vendor Designation & Permit – When Required

A regular or temporary business issued a registration under chapter 8.01 SMC must obtain a separate “itinerant vendor” permit from the City of Spokane taxes and licenses division under any of the following circumstances:

- A. Where the person is engaged in the business of selling or delivering goods or services within the City from a fixed or temporary location as an itinerant vendor, except those vendors operating under the provisions of chapter 10.51 SMC Mobile Food Vending shall not be considered itinerant vendors.
 - 1. Examples are people selling prepackaged food or wares from ~~<<mobile carts on the sidewalk or>>~~ roving vehicles in the streets, except mobile food vendors. (Cross Reference: SMC 8.01.220 and chapter 10.51 SMC.).
- B. Where the person travels from door to door as the principle means of conducting business offering, exposing for sale, or selling within the City any goods, merchandise, service or product.
- C. Where the person engages in any business in the City with no permanent location. (Cross Reference: SMC 8.01.070).
- D. A person who engages in constitutionally protected expressive activities in the public right-of-way shall not be required to obtain a business registration unless the person engages in business activities. Constitutionally protected expressive activities conducted in the public right-of-way shall include, but is not limited to, street performers. For the purposes of this section, a street performer means an individual, including street musicians, who performs any form of artistic

expression. The voluntary contribution of money or other items of value by members of the public to the individual in association with the expressive activity shall not result in the requirement of obtaining a business registration. A person who engages in constitutionally protected expressive activities in the public right-of-way must still comply with all other regulations regarding conduct in the public right-of-way.

Section 3. That a new section 8.02.0233 is adopted in chapter 08.02 SMC to read as follows:

8.02.0233 Mobile Food Vendor Permit

- A. The application fee for a new mobile food vendor permit under SMC 10.51.010 is forty dollars, plus ten dollars for each mobile food vending location included for approval.
- B. The fee for the annual renewal of a mobile food vendor permit is forty dollars, plus ten dollars for each new or changed mobile food vending location included for approval.

Section 4. That Appendix B, as referenced in SMC 4.31.040 and regarding levy of special assessments in the parking and business improvement area, is amended as follows:

APPENDIX B

a. Tenants. Subject to the exemptions specified in paragraphs d and e below, all tenant assessments shall be based upon square footage of space leased, except where noted in the following schedule. There shall be a minimum assessment of \$90.00. Each tenant within the PBIA shall be assessed notwithstanding the fact that the owner of the leased property also may be assessed.

Type of Tenant	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5	Zone 6
Retail Tenants-Ground floor and skywalk	\$0.22	\$0.12	\$0.10	\$0.10	\$0.10	-0-
Office Tenants-Ground floor and skywalk	\$0.12	\$0.11	\$0.09	\$0.09	\$0.09	-0-
Office and Retail Tenants-	\$0.09	\$0.08	\$0.07	\$0.07	\$0.07	-0-

Upper floors and basement

Manufacturing Tenants-outside a C-1 zoning district	\$0.09	\$0.08	\$0.07	\$0.07	\$0.07	-0-
Manufacturing Tenants-within a C-1 zoning district	\$0.03	\$0.03	\$0.03	\$0.03	\$0.03	-0-
Commercial Parking-per space assessment	\$3.00	\$2.50	\$2.00	\$2.00	\$2.00	-0-
Apartments-per unit assessment	\$4.00	\$3.50	\$3.00	\$3.00	\$3.00	-0-
Combined Tenant/Owner-Hotels and Motels- per room	\$20.00	\$20.00	\$20.00	\$20.00	\$20.00	-0-
<u>Mobile Food Vendors –per mobile vending unit</u>	<u>\$90.00</u>	<u>\$90.00</u>	<u>\$90.00</u>	<u>\$90.00</u>	<u>\$90.00</u>	<u>-0-</u>

b. Property Owners. Subject to the exemptions specified in paragraphs d and f below, property owner assessment shall be based upon current land values plus improvements, and shall be calculated at a rate per \$1,000.00 of total assessed value. There shall be a minimum assessment of \$90.00 per property parcel. The assessed value of such property shall be determined solely by reference to the records of the Spokane County Assessor (without regard to any exemptions that may be applicable thereto for the purposes of property tax collection). Each owner of property within the PBIA shall be assessed notwithstanding the fact that its tenants also may be assessed. Notwithstanding the foregoing, (i) governmentally-owned park property shall be assessed pursuant to paragraph c below, and (ii) hotels and motels will be assessed for both property and tenancy at one rate per number of rooms, as set forth in paragraph a above.

Type of Owner	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5	Zone 6
Private, for profit entity (including individuals)	\$1.10	\$1.10	\$0.70	\$0.70	\$0.70	-0-
Government	\$0.80	\$0.80	\$0.60	\$0.60	\$0.60	-0-
Not-for-profit entity	\$0.60	\$0.60	\$0.40	\$0.40	\$0.40	-0-

- c. Government Park Property. The City will levy an annual special assessment on any state or local government (including the City) on account of the park property such governmental entity owns within the PBIA at the rate of \$150.00 per acre.
- d. General Exemptions. The following will be exempt from special assessment under paragraph a or b above: (i) any organization described in Section 501(c)(3) of the Internal Revenue Code of 1986, as amended, which is not a private foundation under Section 509(a) of the Code and is exempt from federal income taxation under Section 501(a) of the Code; (ii) residences (other than apartment complexes or other multi-family residences where the management organization or owner is assessed); (iii) governmental agencies exempt from taxation pursuant to state or federal law; (iv) vendors and concessionaires including machines, licensed by the City, located and doing business in or on the street right of way, except mobile food vendors licensed pursuant to Title 10 SMC shall not be exempt; (v) theaters that principally present live performances; and (vi) organizations conducting business in the PBIA less than 30 days per year.
- e. Tenant Exemptions. The following tenants will be exempt from special assessment under paragraph a above: (i) concessionaires at public events; (ii) vendors or entertainers in the streets and parks, except mobile food vendors licensed pursuant to chapter 10.51 SMC shall not be exempt; (iii) theaters which principally present live performances and not video or film shows; (iv) conducting business in the PBIA less than 30 days per year; (v) entities recognized under state or federal law as non-profit organizations; and (vi) emergency City services such as fire, police and medical care.
- f. Property Owner Exemptions. The following property owners will be exempt from special assessment under paragraph b above: religious, charitable or social welfare non-profit organizations.
- g. Proof of Exemption. Any ratepayer asserting an exemption shall have the burden of proving it qualifies for such an exemption.

Section 5. That SMC 1.05.160, Penalty Schedule – Land Use Violation, is amended as follows:

Section 01.05.160 Penalty Schedule – Land Use Violation

- A. For each subsequent violation, excluding continuing violations, by a person the classification of infraction advances by one class.
- B. Infraction/Violation Class – General.

SMC 1.05.160

Penalty Schedule – Land Use Violation Infraction

Infraction	Violation Class
General	
IFC 105.3.3 SMC 17G.010.100(B)	Occupy Land or Building Without Certificate of Occupancy 2
SMC 10.48.050	Alarm Installation or Monitoring Company Failure to Provide Customer List 1
SMC 10.48.130	Alarm Installation or Monitoring Company Failure to Report New Customers 1
Boiler Code	
SMC 10.29.020	Operating Boiler Without License 1
SMC 10.29.021	Failure to Report Hazard 1
SMC 10.29.022	Leaving Boiler Room 2
SMC 17F.030.110	Failure to Cause Required Inspections of Boiler, Pressure Vessel 2
SMC 17F.030.130	Improper Operation of Boiler, Pressure Vessel 1
SMC 17F.060.050	Operate Without Elevator Operating Permit 1
Fire Code – International Fire Code (IFC)	
Chapter 22 IFC	Improper Aboveground Storage Tank for Motor Fuel Dispensing 1
Chapter 28 IFC	Improper Storage, Display of Aerosols 2
Chapter 33 IFC IFC 105.6.14 Chapter 10.33A SMC SMC 17F.080.060	Unauthorized Manufacture, Storage, Sale, Use, Handling of Explosives 1
IFC 107 IFC 109 IFC 110	Continuance of Hazard 1
IFC 109.2.2	Noncompliance with Condemnation Tag 1

IFC 109.2.4	Removal, Destruction of Tag, Sign	1
IFC 304	Improper Storage/Accumulation of Rubbish, Vegetation	2
IFC 304	Storage, Use, Handling of Miscellaneous Combustible Material	2
IFC 308	Improper Use of Candles, Open Flame	3
IFC 311	Failure to Properly Maintain Vacant Building, Property	2
IFC 503.4	Obstruction of Fire Access Road	2
IFC 703.1	Failure to Maintain Fire-resistive Construction	2
IFC 703.2	Failure to Maintain Fire Assemblies for Openings	2
IFC 704		
IFC 805	Failure to Flameproof Decorative Material	2
IFC 806		
IFC 901.4	Failure to Install Protection for Kitchen Hoods, Ducts	2
IFC 901.4	Failure to Install Sprinkler System	2
IFC 901.4	Failure to Install Alarm System	1
SMC 17F.080.100		
SMC 17F.080.150		
IFC 901.6	Failure to Maintain Automatic Extinguishing System	2
IFC 901.6	Failure to Maintain Kitchen Rangehood Extinguishing System	2
IFC 901.6	Failure to Maintain Sprinkler System	2
IFC 901.6	Failure to Maintain Standpipe System	2
IFC 903.4	Failure to Provide Approved Electronic Monitoring for Sprinkler	2
IFC 907.15	and Fire Alarm Systems	
IFC 904.11.6.3	Failure to Clean Kitchen Hoods, Ducts	2
IFC 905.3	Failure to Install Standpipe System	2
IFC		
IFC 1003.6	Obstruction of Exit	1
IFC 1011	Failure to Provide Exit Signs	1
IFC 2703.3	Release of Hazardous Material	1

IFC 3404.2.13.1.3 Failure to Remove Abandoned Underground Storage Tank 1

Spokane Municipal Code

SMC 10.08.040 Fire Hazard from Vegetation and Debris 1

SMC 10.20.020 Abatement of Nuisance 1

SMC 12.01.0804 Failure to Maintain Pedestrian Strip 2

SMC 12.02.010 Sidewalk Not Clear of Snow, Ice 3

SMC 12.02.0210 Vegetation Nuisance Obstruction 1

SMC 12.02.0737 Obstruction of Public Right-of-Way 1

SMC 12.02.0760 Disposal of Leaves and Yard Debris 2

SMC 13.05.010 Tree, etc., Interfering With City Sewer 2

SMC 13.05.020 Poplar, Cottonwood Tree Near Utility Line 2

SMC 17C.110.100 Use Not Permitted in Residential Zone 2

SMC 17C.110.110 Limited Use Standards (Residential) 2

SMC 17C.110.120 Accessory Uses – Residential 2

SMC 17C.110.200 Violation of Development Standards – Residential 2

–

SMC 17C.110.220

SMC 17C.110.225 Accessory Structures – Residential 2

SMC 17C.110.230 Residential Fence 2

SMC 17C.110.270 Exterior Storage 2

SMC 17C.110.300 Alternative Residential Development 1

–

SMC 17C.110.350

SMC 17C.110.400 Multi-family Design Standards 1

–

SMC 17C.110.465

SMC 17C.110.500 Institutional Design Standards 1

–

SMC 17C.110.575

SMC 17C.120.100 Use Not Permitted in Commercial Zone	1
SMC 17C.120.110 Limited Use Standards – Commercial	1
SMC 17C.120.210 Development Standards - Commercial	1
–	
SMC 17C.120.300	
SMC 17C.120.310 Commercial Fence	1
SMC 17C.120.500 Commercial Design Standards	1
–	
SMC 17C.120.580	
SMC 17C.122.070 Use Not Permitted in Center and Corridor Zone	1
SMC 17C.122.080 Development Standards – Center and Corridor Zone	1
–	
SMC 17C.122.150	
SMC 17C.124.100 Use Not Permitted in Downtown Zone	1
SMC 17C.124.110 Limited Use Standards – Downtown	1
SMC 17C.124.210 Development Standards - Downtown	1
–	
SMC 17C.124.300	
SMC 17C.124.310 Fences – Downtown Zone	1
SMC 17C.124.340 Parking and Loading - Downtown	1
SMC 17C.124.500 Design Standards – Downtown	1
–	
SMC 17C.124-590	
SMC 17C.130.100 Use Not Permitted in Industrial Zone	1
–	
SMC 17C.130.110	
SMC 17C.130.210 Violation of Development Standards	1
–	
SMC 17C.130.250	
SMC 17C.130.270 Outdoor Activities Not Permitted	1
SMC 17C.130.300 Detached Accessory Structures	1
SMC 17C.130.310 Industrial Fence	1

SMC 17C.160.020 North River Overlay District	1
–	
SMC 17C.160.030	
SMC 17C.170.110 Special Height Overlay Zone	1
SMC 17C.180.050 Airfield Overlay Zone	1
–	
SMC 17C.180.100	
SMC 17C.200.040 Landscaping and Screening Requirements	1
–	
SMC 17C.200.110	
SMC 17C.210.040 Non-conforming Rights	1
–	
SMC 17C.210.070	
SMC 17C.220.080 Off-Site Impacts	1
–	
SMC 17C.220.090	
SMC 17C.230.140 Development Standards – Parking and Loading	2
–	
SMC 17C.230.300	
SMC 17C.230.310 Design Standards - Parking Structures	1
SMC 17C.240.070 Sign in Violation of the Sign Code	1
–	
SMC 17C.240.270	
SMC 17C.300.100 Accessory Dwelling Units General Regulations	2
SMC 17C.300.110 Accessory Dwelling Units Criteria	2
SMC 17C.300.130 ADU Development Standards	1
SMC 17C.305.020 Adult Business Use Standards	1
SMC 17C.310.100 Animal Keeping – Permitted/Prohibited Practices	2
–	
SMC 17C.310.160	
SMC 17C.315.120 Bed and Breakfast Use-related Regulations	2
SMC 17C.315.130 Bed and Breakfast Site-related Standards	2

SMC 17C.315.150	Bed and Breakfast Monitoring	2
SMC 17C.315.160	Pre-established Bed and Breakfast Facilities	2
SMC 17C.319.100	Commercial Use of Residential Streets	2
SMC 17C.319.200	Recreational Camping	2
SMC 17C.320.080	Conditional Uses	1
SMC 17C.325.030	Drive-through Facilities	1
–		
SMC 17C.325.060		
SMC 17C.330.120	Group Living Development Standards	1
SMC 17C.335.110	Historical Structures – Change Of Use Development Standards	1
SMC 17C.340.100	Home Occupations	2
–		
SMC 17C.340.110		
SMC 17C.345.100	Manufactured Homes and Mobile Home Parks	1
–		
SMC 17C.345.120		
SMC 17C.350.030	Development Standards – Mini Storage Facilities	1
SMC 17C.350.040	Design Considerations – Mini Storage Facilities	1
SMC 17C.355.030	Wireless Communication Facilities	1
–		
SMC 17C.355.040		
<u>SMC</u>	<u>Mobile Food Vending located entirely on private property</u>	<u>1</u>
<u>17C.380.030.B</u>		
Chapter 17D.060	Stormwater Facility Standards	1
SMC		
SMC 17E.010.080	Aquifer Pollution Nuisance Declared by Critical Review Officer	2
SMC	Failure to Comply With Order, Decision of Critical Review	1
17E.010.160(B)	Officer	
SMC		
17E.010.350(F)		
SMC		
17E.010.540(F)		

SMC 17E.010.160(C)	Failure to Abide by Terms, Conditions of Permit, License, Approval	1
SMC 17E.010.210(A)	Maintain Underground Storage Tank Without Permit	2
SMC 17E.010.230 SMC 17E.010.440	Use of Underground/Aboveground Storage Tank Without Permit	1
SMC 17E.010.350(A) SMC 17E.010.350(E) SMC 17E.010.540(A) SMC 17E.010.540(E)	Supply False, Inaccurate, Incomplete Information Concerning an2 UST or AST	2
SMC 17E.010.350(B) SMC 17E.010.540(B)	Approval Permit Violation	2
SMC 17E.010.350(C) SMC 17E.010.540(C)	Fill Unpermitted Underground/Aboveground Storage Tank	2
SMC 17E.010.350(D) SMC 17E.010.540(D)	Tamper with, Fail to Maintain Inventory, Other Records	2
Chapter 17E.020 SMC	Prohibited Activities in Fish and Wildlife Areas and Buffers	1
Chapter 17E.040 SMC	Prohibited Activities in Geological Hazard Areas and Buffers	1
SMC 17E.060.120	Use, Alter Land, Erect, Alter, Occupy Structure Within Shoreline Without Compliance With Shoreline Management Regulations	1
Chapter 17E.070 SMC	Prohibited Activities in Wetlands and Buffers	1
SMC 17F.070.380	Failure to Discharge Responsibilities of Owner	2

SMC 17F.070.390	Failure to Discharge Responsibilities of Occupant	2
SMC 17F.080.250	Failure to Maintain Fire Alarm System	1
SMC 17F.080.260(B)	Failure to Provide Fire Protection System Verification Fees	2
SMC 17F.080.280	Failure to Secure Fire-damaged Building	2
SMC 17F.080.390	Failure to Provide Semi-annual Inspection of Private Hydrant	2
SMC 17F.080.420	Failure to Maintain Private Hydrant	2
SMC 17F.080.440	Lack of Basement Sprinkler System in Existing Building	2
SMC 17G.010.100 (C)(2)	Testing Underground Storage Tank Without Spokane Fire Department Registration	1

PASSED BY THE CITY COUNCIL ON _____, 20__.

Council President

Attest:

Approved as to form:

City Clerk

Assistant City Attorney

Mayor

Date

Effective Date



Agenda Sheet for City Council Meeting of:

05/12/2014

<u>Date Rec'd</u>	4/30/2014
<u>Clerk's File #</u>	ORD C35098
<u>Renews #</u>	

Submitting Dept	PLANNING & DEVELOPMENT	Cross Ref #	
Contact Name/Phone	ANDREW 625-6991	Project #	
Contact E-Mail	AWORLOCK@SPOKANECITY.ORG	Bid #	
Agenda Item Type	First Reading Ordinance	Requisition #	
Agenda Item Name	0650 - ORD RELATING TO MOBILE FOOD VENDING W/IN CERTAIN ZONES		

Agenda Wording

AN ORDINANCE relating to mobile food vending within certain zones as a limited; and amending SMC sections 17C.120.100, 17C.120.110, 17C.120.270, 17C.122.070, 17C.124.100, 17C.124.110, 17C.130.100, 17C.130.110, and 17C.319.100;

Summary (Background)

This ordinance is the outcome of the City's Mobile Food Vendor Project. The project's goal was to ensure the City's rules support the changes and growth in the industry, with an easier, more predictable regulatory system consistent with the community interest and expectations. Broad public and industry input with coordination with the agencies involved regulating mobile food vending was included. A separate ordinance, containing the licensing regulations for mobile food vendors is also proposed.

<u>Fiscal Impact</u>	<u>Budget Account</u>
Neutral \$	#
Select \$	#
Select \$	#
Select \$	#

<u>Approvals</u>		<u>Council Notifications</u>	
<u>Dept Head</u>	CHESNEY, SCOTT	<u>Study Session</u>	
<u>Division Director</u>	QUINTRALL, JAN	<u>Other</u>	PCED 7/15/13
<u>Finance</u>	LESESNE, MICHELE	<u>Distribution List</u>	
<u>Legal</u>	DALTON, PAT	jrichman@spokanecity.org	
<u>For the Mayor</u>	SANDERS, THERESA	schesney@spokanecity.org	
<u>Additional Approvals</u>		aworlock@spokanecity.org	
<u>Purchasing</u>		jhaegele@spokanecity.org	



Continuation of Wording, Summary, Budget, and Distribution

Agenda Wording

adopting a new SMC section 245 to chapter 17C.190 and adopting a new chapter 17C.380 to Title 17C of the Spokane Municipal Code.

Summary (Background)

Fiscal Impact

Select \$

Select \$

Budget Account

#

#

Distribution List

ORDINANCE NO. ORD C35098

AN ORDINANCE relating to mobile food vending within the commercial, industrial, downtown and center and corridor zones, allowing mobile food vending as a limited use in these zones; and amending SMC sections 17C.120.100, 17C.120.110, 17C.120.270, 17C.122.070, 17C.124.100, 17C.124.110, 17C.130.100, 17C.130.110, and 17C.319.100; adopting a new SMC section 245 to chapter 17C.190 and adopting a new chapter 17C.380 to Title 17C of the Spokane Municipal Code.

The City of Spokane does ordain:

Section 1. That SMC section 17C.120.100 is amended to read as follows:

17C.120.100 Commercial Zones Primary Uses

- A. Permitted Uses – “P.”
Uses permitted in the commercial zones are listed in Table 17C.120-1 with a “P.” These uses are allowed if they comply with the development standards and other standards of this chapter.
- B. Limited Uses – “L.”
Uses allowed that are subject to limitations are listed in Table 17C.120-1 with an “L.” These uses are allowed if they comply with the limitations as listed in the footnotes following the table and the development standards and other standards of this chapter. In addition, a use or development listed in Part 3 of this division, Special Use Standards, is also subject to the standards of those chapters.
- C. Conditional Uses – “CU.”
Uses that are allowed if approved through the conditional use review process are listed in Table 17C.120-1 with a “CU.” These uses are allowed provided they comply with the conditional use approval criteria for that use, the development standards, and other standards of this chapter. Uses listed with a “CU” that also have a footnote number in the table are subject to the standards cited in the footnote. In addition, a use or development listed in Part 3 of this division, Special Use Standards, is also subject to the standards of those chapters. The conditional use review process and approval criteria are stated in [chapter 17C.320 SMC](#), Conditional Uses.
- D. Uses Not Permitted – “N.”
Uses listed in Table 17C.120-1 with an “N” are not permitted. Existing uses in categories listed as not permitted are subject to the standards of [chapter 17C.210 SMC](#), Nonconforming Situations.

TABLE 17C.120-1 COMMERCIAL ZONE PRIMARY USES						
Use is: P: Permitted N: Not Permitted L: Allowed, but Special Limitations CU: Conditional Use Review Required	O (Office)	OR (Office Retail)	NR (Neighborhood Retail)	NMU (Neighborhood Mixed Use)	CB (Community Business)	GC (General Commercial)
Residential Categories						
Group Living [1]	L/CU	L/CU	L/CU	L/CU	L/CU	L/CU
Residential Household Living	P	P	P	P	P	P
Commercial Categories						
Adult Business	N	N	N	N	L[2]	L[2]
Commercial Outdoor Recreation	N	N	N	N	P	P
Commercial Parking	CU[3]	CU[3]	P	P	P	P
Drive-through Facility	L[4]	L[4]	L[4]	L[4]	P	P
Major Event Entertainment	N	N	N	N	P	P
Office	P	P	P	P	P	P
Quick Vehicle Servicing	N	N	L[5, 10]	L[5, 7, 10]	P	P
Retail Sales and Service	N	L/CU[6]	P	L[7]	P	P
Mini-storage Facilities	N	N	N	N	L[9]	L[9]
Vehicle Repair	N	N	N	N	P	P
<u>Mobile Food Vending</u>	<u>L[13]</u>	<u>L[13]</u>	<u>L[13]</u>	<u>L[13]</u>	<u>L[13]</u>	<u>L[13]</u>
Industrial Categories						
High Impact Uses	N	N	N	N	N	N
Industrial Service	N	N	N	N	L/CU[8, 10]	L/CU[8, 10]

Manufacturing and Production	N	N	L[8, 10]	L[7, 8, 10]	L/CU[8, 10]	L/CU[8, 10]
Railroad Yards	N	N	N	N	N	N
Warehouse and Freight Movement	N	N	N	N	L/CU[8, 10]	L/CU[8, 10]
Waste-related	N	N	N	N	N	N
Wholesale Sales	N	N	N	N	L/CU[8, 10]	L/CU[8, 10]
Institutional Categories						
Basic Utilities	P	P	P	P	P	P
Colleges	P	P	P	P	P	P
Community Service	P	P	P	P	P	P
Daycare	P	P	P	P	P	P
Medical Centers	P	P	P	P	P	P
Parks and Open Areas	P	P	P	P	P	P
Religious Institutions	P	P	P	P	P	P
Schools	P	P	P	P	P	P
Other Categories						
Agriculture	N	N	N	N	CU	CU
Aviation and Surface Passenger Terminals	CU	CU	CU	CU	CU	CU
Detention Facilities	N	N	N	N	CU	CU
Essential Public Facilities	CU	CU	CU	CU	CU	CU
Mining	N	N	N	N	N	N
Rail Lines and Utility Corridors	CU	CU	CU	CU	CU	CU
Wireless Communication Facilities [11]	L/CU	L/CU	L/CU	L/CU	L/CU	L/CU
<p>Notes:</p> <ul style="list-style-type: none"> ▪ The use categories are described in chapter 17C.190 SMC. ▪ Standards that correspond to the bracketed numbers [] are stated in SMC 17C.120.110. ▪ Specific uses and developments may be subject to the standards in Part 3 of this division, Special Use Standards. 						

Section 2. That SMC section 17C.120.110 is amended to read as follows:

17C.120.110 Limited Use Standards

The paragraphs listed below contain the limitations and correspond with the bracketed [] footnote numbers from [Table 17C.120-1](#).

1. Group Living.
This regulation applies to all parts of [Table 17C.120-1](#) that have a [1].
 - a. General Standards.
All group living uses except for alternative or post-incarceration facilities are allowed by right.
 - b. Alternative or Post Incarceration Facilities.
Group living uses which consist of alternative or post incarceration facilities are conditional uses.
2. Adult Business.
This regulation applies to all parts of [Table 17C.120-1](#) that have a [2]. Adult businesses are subject to the additional standards of [chapter 17C.305 SMC](#).
3. Commercial Parking.
This regulation applies to all parts of [Table 17C.120-1](#) that have a [3]. In the O and OR zones, a commercial parking use provided within a building or parking structure is a conditional use.
4. Drive-through Facility.
This regulation applies to all parts of [Table 17C.120-1](#) that have a [4]. In the O and OR zones, a drive-through facility is permitted only when associated with a drive-through bank. In addition, in the OR zone, for a florist use approved by a special permit, sales of non-alcoholic beverages, and sale of food items not prepared on site, including drive-through sales of such items are allowed as an accessory use at locations situated on principal arterials or a designated state route. Drive-through facilities are subject to the additional standards of [SMC 17C.120.290](#).
5. Quick Vehicle Servicing.
This regulation applies to all parts of [Table 17C.120-1](#) that have a [5]. Quick vehicle servicing uses are permitted only on sites that have frontage on a principal arterial street. Quick vehicle servicing uses are subject to the additional standards of [SMC 17C.120.290](#).
6. Retail Sales and Service Uses Size Limitation.

This regulation applies to all parts of [Table 17C.120-1](#) that have a [6]. Retail sales and services are limited in size in order to reduce their potential impacts on residential uses and to promote a relatively local market area. Retail sales and services uses are limited to the following:

- a. When retail sales and services uses are located within an office building, the retail sales and services may be larger than three thousand square feet, but may not exceed ten percent of the total floor area of the building exclusive of parking areas located within the structure.
- b. Uses not within an office building which are listed as sales-oriented under [SMC 17C.190.270\(C\)](#), retail sales and service, are limited to three thousand square feet of total floor area per site exclusive of parking areas located within a structure.
- c. Uses other than a hotel, motel, private club or lodge which are listed as personal service-oriented, entertainment-oriented or repair-oriented under [SMC 17C.190.270\(C\)](#), retail sales and service, that are larger than three thousand square feet are a conditional use. A hotel, motel, private club or lodge may be larger than three thousand square feet.

7. Required Residential Limitation.

This regulation applies to all parts of [Table 17C.120-1](#) that have a [7]. The limitations are stated in [SMC 17C.120.280](#).

8. Industrial Size Limitation.

This regulation applies to all parts of [Table 17C.120-1](#) that have a [8]. These types of uses are limited in size to assure that they will not dominate the commercial area and to limit their potential impacts on residential and commercial uses. In addition, if the planning director determines that the proposed use will not be able to comply with the off-site impact standards of [chapter 17C.220 SMC](#), the planning director may require documentation that the development will be modified to conform with the standards.

- a. Individual uses in the NR and NMU zones are limited to five thousand square feet of floor area per site exclusive of parking area.
- b. Individual uses in the CB zone that exceed twenty thousand square feet of floor area per site exclusive of parking area are a conditional use.

- c. Individual uses in the GC zone that exceed fifty thousand square feet of floor area per site exclusive of parking area are a conditional use.
9. Mini-storage Facilities Limitation.
This regulation applies to all parts of [Table 17C.120-1](#) that have an [9]. The limitations are stated with the special standards for these uses in [chapter 17C.350 SMC](#), Mini-storage Facilities.
10. Outdoor Activity Limitation.
This regulation applies to all parts of [Table 17C.120-1](#) that have a [10]. Outdoor display, storage or use of industrial equipment, such as tools, equipment, vehicles, products, materials or other objects that are part of or used for the business operation is prohibited.
11. [Deleted]
12. Wireless Communication Facilities.
This regulation applies to all parts of [Table 17C.120-1](#) that have an [12]. Some wireless communication facilities are allowed by right. See [chapter 17C.355 SMC](#).
13. Mobile Food Vending.
This standard applies to all parts of Table 17C.120-1 that have a [13]. All mobile food vendors shall have a valid mobile food vending license issued pursuant to SMC 10.51.010 Mobile Food Vendors.

Section 3. That SMC section 17C.120.270 is amended to read as follows:

17C.120.270 Outdoor Activities

- A. Purpose:
The standards of this section are intended to assure that outdoor sales, display, storage and work activities:
 1. will be consistent with the desired character of the zone;
 2. will not be a detriment to the overall appearance of a commercial area;
 3. will not have adverse impacts on adjacent properties, especially those zoned residential; and
 4. will not have an adverse impact on the environment.
- B. Outdoor Sales and Display Areas

1. Outdoor sales and display areas are not permitted in the O and OR zones.
2. Outdoor sales and display areas are prohibited in the NR and NMU zones except for the accessory sales of fruits, vegetables and plants.
3. Outdoor sales and display areas in NR and NMU zones are limited to ten percent of lot area or one thousand square feet, whichever is less.
4. Outdoor sales and display areas are permitted in the CB and GC zones except for uses in the industrial categories.
5. There is no limitation on the size of a permitted outdoor sales and display areas in CB and GC zones.
6. Mobile food vendors as defined and licensed pursuant to SMC Title 10 shall not be considered "outdoor sales" or "display" for the purposes of SMC 17C.120.270.

C. Outdoor Storage Areas

1. Outdoor storage areas are not permitted in the O and OR zones.
2. Outdoor storage areas in NR and NMU zones are limited to forty percent of lot area or one thousand five hundred square feet, whichever is less.
3. Outdoor storage areas are permitted in the CB and GC zones except for uses in the industrial categories.
4. There is no limitation on the size of a permitted outdoor storage area in CB and GC zones.

D. Outdoor Activities Location

Where permitted, the following outdoor activities shall be located at least fifty feet from a residentially zoned lot:

1. Outdoor sales and/or service of food or beverages.
2. Outdoor storage.
3. Outdoor loading berths.
4. Outdoor work activities including the sales of motor vehicle fuels and car washes, when these uses are allowed.

Section 4. That SMC 17C.122.070 is amended to read as follows:

17C.122.070 Center and Corridor Zone Allowed Uses

The uses allowed in the center and corridor zones are shown in [Table 17C.122-1](#).

Table 17C.122-1 Center and Corridor Zone Allowed Uses			
Use is: P – permitted N – not permitted L – allowed, but special limitations CU – conditional use review required	CC Zone Type		
	Core Zones		Transition Zone
	CC1	CC2	CC4
Residential*	P	P	P
Hotels, including Bed and Breakfast Inns	P	P	N
Commercial, Financial, Retail, Personal Services (for neighborhood centers (NC) – See Note 1 below)	P[1]	P[1]	L[4]
Eating and Drinking Establishments (for neighborhood centers (NC) – See Note 2 below)	P[2]	P[2]	N
Restaurants without Cocktail Lounges	P	P	L[4]
Professional and Medical Offices	P	P	L[4]
Entertainment, Museum and Cultural	P	P	N
Government, Public Service or Utility Structures, Social Services and Education	P	P	P
Religious Institutions	P	P	P
Parks and Open Space	P	P	P
Structured Parking*	P	P	P

Public Parking Lot	P	P	N
Limited Industrial (if entirely within a building) (for neighborhood centers (NC) – See Note 3 below)	P[3]	P[3]	N
Heavy Industrial	N	N	N
Drive-through Businesses on Pedestrian Streets	N	N	N
Motor Vehicles Sales, Rental, Repair or Washing	N	P	N
Automotive Parts and Tires (with exterior storage or display)	N	P	N
Gasoline Sales (serving more than six vehicles)	N	P	N
Gasoline Sale (serving six vehicles or less)	P	P	P
Self-storage or Warehouse	N	P	N
Adult Business (subject to chapter 17C.305 SMC special provisions)	N	N	N
Winery and Microbreweries	P	P	N
<u>Mobile Food Vending</u>	<u>P[5]</u>	<u>P[5]</u>	<u>P[5]</u>

* Uses especially encouraged through greater FAR and bonuses.

Notes:

[1] Retail uses having more than forty thousand gsf are not permitted in neighborhood centers designated by the comprehensive plan.

[2] Eating and drinking establishments larger than five thousand gsf are not permitted in neighborhood centers designated by the comprehensive plan.

[3] Limited industrial uses having more than twenty thousand gsf are not permitted in neighborhood centers designated by the comprehensive plan.

[4] Residential uses are required to be mixed on the same parcel as proposed office and retail uses. Nonresidential uses are limited to three thousand square feet per parcel. In neighborhood centers, nonresidential uses are only allowed on parcels with frontage on an arterial street. Nonresidential uses in the CC4 zone are not allowed within sixty feet of a single-family and two-family residential zone or further than three hundred feet (neighborhood center only) from a CC core comprehensive plan designation.

[5] All mobile food vendors shall have a valid mobile food vending license issued pursuant to SMC 10.51.010.

Section 5. That SMC section 17C.124.100 is amended to read as follows:

17C.124.100 Downtown Zones Primary Uses

- A. Permitted Uses – “P.”
Uses permitted in the downtown zones are listed in Table 17C.124-1 with a “P.” These uses are allowed if they comply with the development standards and other standards of this chapter.
- B. Limited Uses – “L.”
Uses allowed that are subject to limitations are listed in Table 17C.124-1 with an “L.” These uses are allowed if they comply with the limitations as listed in the footnotes following the table and the development standards and other standards of this chapter. In addition, a use or development listed in Part 3 of this division, Special Use Standards, is also subject to the standards of those chapters.
- C. Conditional Uses – “CU.”
Uses that are allowed if approved through the conditional use review process are listed in Table 17C.124-1 with a “CU.” These uses are allowed provided they comply with the conditional use approval criteria for that use, the development standards, and other standards of this chapter. Uses listed with a “CU” that also have a footnote number in the table are subject to the standards cited in the footnote. In addition, a use or development listed in Part 3 of this division, Special Use Standards, is also subject to the standards of those chapters. The conditional use review process and approval criteria are stated in chapter 17C.320 SMC, Conditional Uses.
- D. Uses Not Permitted – “N.”
Uses listed in Table 17C.124-1 with an “N” are not permitted. Existing uses in categories listed as not permitted are subject to the standards of chapter 17C.210 SMC, Nonconforming Situations.

SMC 17C.124.100 Table 17C.124-1 Downtown Zone Primary Uses				
Use is: P – Permitted N – Not Permitted L – Allowed, but special limitations CU – Conditional Use review required	DTC (Downtown Core)	DTG (Downtown General)	DTU (Downtown University)	DTS (Downtown South)
Residential Categories				
Group Living [1]	L/CU	L/CU	L/CU	L/CU
Residential Household Living	P	P	P	P
Commercial Categories				
Adult Business [2]	N	N	N	CU [2]
Commercial Outdoor Recreation	CU	CU	CU	CU
Commercial Parking	L [3]	L [3]	L [3]	L [3]
Drive-through Facility [4]	L [4]	L [4]	L [4]	L [4]
Major Event Entertainment	P	P	P	P
Office	P	P	P	P
Quick Vehicle Servicing	N	L [5,10]	L [5,10]	L [5,10]
Retail Sales and Service	L [6]	L [6]	L [6]	P
Mini-storage Facilities [9]	N	L [8,10]	L [8,10]	L [8,10]
Vehicle Repair	N	L [5,10]	L [5,10]	P
Mobile Food Vending	L [14]	L [14]	L [14]	L [14]
Industrial Categories				
High Impact Uses	N	N	N	N
Industrial Service	N	N	N	N
Manufacturing and Production	L [7,8,10]	L [7,8,10]	L [7,8,10]	L [7,8,10]
Railroad Yards	N	N	N	N

Section 6. That SMC section 17C.124.110 is amended to read as follows:

17C.124.110 Limited Use Standards

- A. The paragraphs listed below contain the limitations and correspond with the bracketed [] footnote numbers from [Table 17C.124-1](#).
1. Group Living.
This regulation applies to all parts of [Table 17C.124-1](#) that have a [1].
 - a. General Standards.
All group living uses except for alternative or post-incarceration facilities are allowed by right.

- b. **Alternative or Post Incarceration Facilities.**
Group living uses which consist of alternative or post incarceration facilities are conditional uses.
2. **Adult Business.**
This regulation applies to all parts of [Table 17C.124-1](#) that have a [2]. Adult businesses are subject to the additional standards of [chapter 17C.305 SMC](#).
3. **Commercial Parking.**
This regulation applies to all parts of [Table 17C.124-1](#) that have a [3]. See [SMC 17C.230.310](#) for the parking structure design guidelines. See [SMC 17C.124.340](#), Parking and Loading, for ground level parking structure use standards.
 - a. New standalone surface commercial parking lots are not allowed as the primary use within the area shown on [Map 17C.124-M1](#), Surface Parking Limited Area. Within the area shown on [Map 17C.124-M1](#), standalone commercial parking as a primary use must be located entirely within a parking structure.
4. **Drive-through Facility.**
This regulation applies to all parts of [Table 17C.124-1](#) that have a [4]. Drive-through facilities are subject to the additional standards of [SMC 17C.124.290](#).
5. **Quick Vehicle Servicing.**
This regulation applies to all parts of [Table 17C.124-1](#) that have a [5]. Quick vehicle servicing uses are permitted only on sites that have frontage on a Type III or IV complete street. Quick vehicle servicing uses must be fully contained within a structure. Quick vehicle servicing uses are subject to the additional standards of [SMC 17C.124.290](#).
6. **Retail Sales and Services Uses Motorized Vehicle Limitation.**
This regulation applies to all parts of [Table 17C.124-1](#) that have a [6]. Sale, rental, or leasing of motor vehicles, including passenger vehicles, light and medium trucks is not allowed. Sale, rental, and leasing of motorcycles and other recreational vehicles not able to be licensed for normal on street use is allowed. For sale or leasing of motorcycles and other recreational vehicles see [SMC 17C.124.270](#), Outdoor Activities.
7. **Industrial Limitation.**
This regulation applies to all parts of [Table 17C.124-1](#) that have a [7]. These types of uses are limited to assure that they will not dominate the downtown area and to limit their potential impacts on residential and commercial uses. In addition, if the planning director determines that the

proposed use will not be able to comply with the off-site impact standards of [chapter 17C.220 SMC](#), the planning director may require documentation that the development will be modified to conform with the standards.

- a. Limited industrial uses are allowed. Only limited industrial uses are allowed. Industrial uses more intensive than the limited industrial definition are not allowed.
 - b. Industrial buildings and industrial sites are subject to the same design standards as commercial buildings and commercial sites.
8. Mini-storage, Storage, Warehousing, Industrial and Parking Structure Limitation.
This regulation applies to all parts of [Table 17C.124-1](#) that have an [8]. See [SMC 17C.124.340](#).
 9. Mini-storage Facilities Limitation.
This regulation applies to all parts of [Table 17C.124-1](#) that have an [9]. Mini-storage facilities are subject to the additional standards of [chapter 17C.350 SMC](#), Mini-storage Facilities.
 10. Outdoor Activity Limitation.
This regulation applies to all parts of [Table 17C.124-1](#) that have a [10]. Outdoor display, storage, or use of industrial equipment or other industrial items such as tools, equipment, vehicles, products, materials, or other objects that are part of or used for the business operation is prohibited.
 11. Community Services.
This regulation applies to all parts of [Table 17C.124-1](#) that have a [11]. Most community service uses are allowed by right.
 12. Wireless Communication Facilities.
This regulation applies to all parts of [Table 17C.124-1](#) that have an [12]. Some wireless communication facilities are allowed by right. See [chapter 17C.355 SMC](#).
 13. Existing Light Industrial and Self-service Storage Uses.
This regulation applies to all parts of [Table 17C.124-1](#) that have an [13]. Light industrial and self-service storage uses in operation on the effective date of this ordinance, are considered to be a conforming use.
 14. Mobile Food Vending.
This standard applies to all parts of Table 17C.124-1 that have a [14]. All mobile food vendors shall have a valid mobile food vending license issued pursuant to SMC 10.51.010.

Section 7. That SMC section 17C.130.100 is amended to read as follows:

17C.130.100 Industrial Zones Primary Uses

- A. Permitted Uses (P).
Uses permitted in the industrial zones are listed in Table 17C.130-1 with a “P.” These uses are allowed if they comply with the development standards and other standards of this chapter.
- B. Limited Uses (L).
Uses allowed that are subject to limitations are listed in Table 17C.130-1 with an “L.” These uses are allowed if they comply with the limitations as listed in the footnotes following the table and the development standards and other standards of this chapter. In addition, a use or development listed in Part 3 of this division, Special Use Standards, is also subject to the standards of those chapters.
- C. Conditional Uses (CU).
Uses that are allowed if approved through the conditional use review process are listed in Table 17C.130-1 with a “CU.” These uses are allowed provided they comply with the conditional use approval criteria for that use, the development standards, and other standards of this chapter. Uses listed with a “CU” that also have a footnote number in the table are subject to the standards cited in the footnote. In addition, a use or development listed in Part 3 of this division, Special Use Standards, is also subject to the standards of those chapters. The conditional use review process and approval criteria are stated in [chapter 17C.320 SMC](#), Conditional Uses.
- D. Uses Not Permitted (N).
Uses listed in Table 17C.130-1 with an “N” are not permitted. Existing uses in categories listed as not permitted may be subject to the standards of [chapter 17C.210 SMC](#), Nonconforming Situations.

Table 17C.130-1 Industrial Zones Primary Uses			
Use is: P – Permitted; N – Not Permitted; L – Allowed, but with Special Limitations; CU – Conditional Use Review Required	LI Zone (Light Industrial)	HI Zone (Heavy Industrial)	PI Zone (Planned Industrial)
Residential Categories			
Group Living	L[1]	N	L[3]
Residential Household Living	L[2]	L[2]	L[3]
Commercial Categories			

Adult Business	L[4]	N	N
Commercial Outdoor Recreation	P	P	CU
Commercial Parking	P	P	P
Drive-through Facility	P	P	P
Major Event Entertainment	CU	CU	CU
Office	P	P	P
Quick Vehicle Servicing	P	P	P
Retail Sales and Service	L/CU[5]	L/CU[6]	L[7]
Mini-storage Facilities	L[8]	L[8]	L[8]
Vehicle Repair	P	P	P
<u>Mobile Food Vending</u>	<u>L[12]</u>	<u>L[12]</u>	<u>L[12]</u>
Industrial Categories			
High Impact Use	L[9]	L[9]	N
Industrial Service	P	P	P
Manufacturing and Production	P	P	P
Railroad Yards	CU	P	P
Warehouse and Freight Movement	P	P	P
Waste-related	CU	CU	CU
Wholesale Sales	P	P	P
Institutional Categories			
Basic Utilities	P	P	P
Colleges	P	N	L[10]
Community Service	P	N	N
Daycare	P	CU	L[10]
Medical Centers	P	N	L[10]
Parks and Open Areas	P	CU	P
Religious Institutions	P	N	N
Schools	P	N	L[10]
Other Categories			
Agriculture	P	P	P
Aviation and Surface Passenger Terminals	P	P	P

Detention Facilities	CU	CU	CU
Essential Public Facilities	CU	CU	CU
Mining	CU	CU	CU
Rail Lines and Utility Corridors	P	P	P
Wireless Communication Facilities	L/CU[11]	L/CU[11]	L/CU[11]

Notes:

- The use categories are described in [chapter 17C.190 SMC](#).
- Standards that correspond to the bracketed numbers [] are specified in [SMC 17C.130.110](#).
- Specific uses and developments may be subject to the standards in Part 3 of this division, Special Use Standards.
- Standards applicable to conditional uses are stated in [chapter 17C.320 SMC](#).

Section 8. That SMC section 17C.130.110 is amended to read as follows:

17C.130.110 Limited Use Standards

The paragraphs listed below contain the limitations and correspond with the bracketed [] footnote numbers from [Table 17C.130-1](#).

1. Group Living.
This standard applies to all parts of [Table 17C.130-1](#) that have a [1].
 - a. Group living uses are allowed on sites within one-quarter mile of the Spokane River where residents can take advantage of the river amenity. The planning director may authorize a group living use greater than one-quarter mile from the Spokane River if the applicant demonstrates that the site has a river viewpoint and a pedestrian connection to the river. Group living uses shall provide buffering from adjacent industrial lands by use of berms, landscaping, fencing or a combination of these measures or other appropriate screening measures deemed appropriate by the planning director. The proposal shall include a design, landscape and transportation plan which will limit conflicts between the residential, employment and industrial uses.
 - b. Alternative or Post Incarceration Facilities.
Group living uses which consist of alternative or post incarceration facilities are not permitted.
2. Residential Household Living.
This standard applies to all parts of [Table 17C.130-1](#) that have a [2].

- a. Residential household living uses are allowed on sites within one-quarter mile of the Spokane River where residents can take advantage of the river amenity. The planning director may authorize a residential living use greater than one-quarter mile from the Spokane River if the applicant demonstrates that the site has a river viewpoint and a pedestrian connection to the river. Residential uses shall provide buffering from adjacent industrial lands by use of berms, landscaping, fencing or a combination of these measures or other appropriate screening measures deemed appropriate by the planning director. The proposal shall include a design, landscape, and transportation plan, which will limit conflicts between the residential, employment and industrial uses.
 - b. A single-family residence may be erected on a lot having a side property line which adjoins a lot in a residential zone, with or without an intervening alley, or on a lot which has less than one hundred feet of frontage and has residences existing on all lots adjoining its side property lines.
 - c. Living quarters for one caretaker per site in the LI, HI and PI zones are permitted.
3. Group Living and Residential Household Living.

This standard applies to all parts of [Table 17C.130-1](#) that have a [3]. Group living and residential household living uses may be permitted in the PI zone as a part of a binding site plan under the provisions of the subdivision code or a planned unit development under the provisions of Division G – Administration and Procedures. A minimum of fifty percent of the site within the binding site plan or planned unit development shall be in manufacturing and production, industrial service or office uses. Group living and residential household living uses shall be buffered from industrial lands by use of berms, landscaping, fencing or a combination of these measures or other appropriate screening measures deemed appropriate by the planning director. The buffering improvements shall be developed on the residential portion of the binding site plan or planned unit development at the time the residential uses are constructed. The site development plan shall include a design, landscape, and transportation plan, which will limit conflicts between the residential and industrial uses.
4. Adult Business.

This standard applies to all parts of [Table 17C.130-1](#) that have a [4]. Adult businesses are subject to the following standards:

 - a. [Chapter 17C.305 SMC](#), Adult Business.

- b. Adult businesses are subject to the size requirements specified in item [5] below applicable to retail sales and services uses in the light industrial (LI) zone.
 - c. In addition to the standards in subsections (4)(a) and (b) of this section, adult businesses are permitted only in the light industrial zone adult business overlay zone as designated on the official zoning map.
5. Retail Sales and Service Uses Size Limitation.
This standard applies to all parts of [Table 17C.130-1](#) that have a [5]. Retail sales and service uses are allowed if the floor area plus outdoor sales and display and outdoor storage area is not more than sixty thousand square feet per site. Retail sales and service uses where the floor area plus the outdoor sales and display and outdoor storage area is more than sixty thousand square feet per site are a conditional use.
6. Retail Sales and Service Uses Size Limitation.
This standard applies to all parts of [Table 17C.130-1](#) that have a [6]. Retail sales and service uses are allowed if the floor area plus outdoor sales and display and outdoor storage area is not more than twenty thousand square feet per site. Retail sales and service uses where the floor area plus the outdoor sales and display and outdoor storage area is more than twenty thousand square feet per site are a conditional use.
7. Retail Sales and Service Uses Size Limitation.
This standard applies to all parts of [Table 17C.130-1](#) that have a [7]. Retail sales and service uses are allowed if the floor area plus the outdoor sales and display and outdoor storage area is not more than three thousand square feet per site. Retail sales and service uses where the floor area plus the outdoor sales and display and outdoor storage area is more than three thousand square feet per site may be permitted as a part of a binding site plan under the provisions of the subdivision code or a planned unit development under the provisions of the zoning code. A minimum of fifty percent of the site area of the uses in the planned unit development or binding site plan shall be in manufacturing and production, industrial service or office uses.
8. Mini-storage Facilities.
This standard applies to all parts of [Table 17C.130-1](#) that have a [8]. The limitations are stated with the special standards for these uses in [chapter 17C.350 SMC](#), Mini-Storage Facilities.
9. High Impact Uses.
This standard applies to all parts of [Table 17C.130-1](#) that have a [9]. High impact uses shall be located a minimum of six hundred feet from the boundary of a residential or commercial zone.

10. **Colleges, Medical Centers, Daycare and School Uses.**
This standard applies to all parts of [Table 17C.130-1](#) that have an [10]. Colleges, medical centers, daycare and school uses may be permitted as a part of a binding site plan under the provisions of the subdivision code, or a planned unit development under the provisions of the zoning code. A minimum of fifty percent of the site within the planned unit development or binding site plan shall be in manufacturing and production, industrial service or office uses. Colleges, medical centers, daycare and school uses are allowed within the planned unit development or binding site plan provided that the site development includes a design, landscape and transportation plan which will limit conflicts between the college, medical center, daycare, school and industrial uses.

11. **Wireless Communication Facilities.**
This standard applies to all parts of [Table 17C.130-1](#) that have a [11]. Some wireless communication facilities are allowed by right. See [chapter 17C.355 SMC](#).

12. **Mobile Food Vending.**
This standard applies to all parts of Table 17C.130-1 that have a [12]. All mobile food vendors shall have a valid mobile food vending license issued pursuant to SMC 10.51.010.

Section 9. That there is adopted a new SMC section 245 to chapter 17C.190 of the Spokane Municipal Code to read as follows:

17C.190.245 Mobile Food Vending

- A. **Characteristics.**
Mobile food vendors are firms engaged in the selling or offering for sale of prepared food products and beverages to the general public from a mobile food vending unit, which is a readily movable food service establishment such as a push cart, van, trailer, or a structure approved for mobile food vending by the Spokane regional health district. It provides space for limited storage, handling, and/or dispensing of foods. The entire operation must be contained within/on the mobile unit, except that expansion of the operation will be allowed in conjunction with an approved temporary event as allowed under the rules of the Spokane regional health district.

- B. **Examples.**
Examples include mobile food vendors who vend from or onto a public sidewalk, plaza or right of way; mobile food vendors who vend from a location on private property; and, mobile vendors who are approved to vend at City parks or at special events.

C. Exceptions.

1. Mobile caterers who are engaged in the business of transporting, in motor vehicles, food and beverages to residential, business and industrial establishments pursuant to prearranged schedules and dispensing from the vehicles the items to and for the convenience of the personnel or occupants of such establishments are considered a retail sales service.
2. Mobile food vendors who vend from very small pushcarts (twenty cubic feet of cart or less) on the public sidewalk and do not remain in any one place for more than ten minutes may choose to operate in accordance with the provisions of the itinerant vendor permit, SMC 10.40.010

Section 10. That SMC section 17C.319.100 is amended to read as follows:

17C.319.100 Commercial Use of Residential Streets

The purpose of this section is to regulate the parking of commercial vehicles (see SMC 17A.020.030(U)) on streets in residential zones. No person may use the land abutting a public street in an RSF, RTF, RMF, or RHD zone or which is the boundary of a RSF, RTF, RMF, or RHD zone may make any commercial use of such street. Included in the prohibited commercial uses are the habitual or overnight parking or storage of a commercial vehicle or trailer, including mobile food vending units and the parking or storage of a vehicle awaiting service or home occupations which require the use of residential streets.

Section 11. That there is adopted a new chapter 17C.380 to Title 17C of the Spokane Municipal Code to read as follows:

**Chapter 17C.380
Mobile Food Vending**

Sections:

17C.380.010	Purpose
17C.380.020	Applicability
17C.380.030	Conditions

17C.380.010 Purpose

The purpose of this chapter is to make provisions and set limits for mobile food vending in the Neighborhood Retail (NR), Neighborhood Mixed Use (NMU), Community Business (CB), General Commercial (GC); Center and Corridor Types 1, 2 and 3; Downtown Core (DTC), Downtown General (DTG), Downtown University (DTU), Downtown South (DTS), Light Industrial (LI), Heavy Industrial (HI) and Planned

Industrial (PI) zones. The intent is to recognize that with proper design and management, mobile food vending such as mobile food trucks and carts can add vitality to the commercial districts and the street environment, encourage walking, and promote local economic development.

17C.380.020 Applicability

The provisions of this chapter apply to mobile food vendors licensed in accordance with SMC 10.51.010 Mobile Food Vending.

17C.380.030 Conditions

A. Mobile food vending from or onto the public right of way.

1. Mobile food vending may be allowed on a public street right of way in any Neighborhood Retail (NR), Neighborhood Mixed Use (NMU), Community Business (CB), General Commercial (GC); Center and Corridor Types 1, 2 and 3; Downtown Core (DTC), Downtown General (DTG), Downtown University (DTU), Downtown South (DTS), Light Industrial (LI), Heavy Industrial (HI) and Planned Industrial (PI) zone.
2. The mobile food vendor must have a valid license issued pursuant to SMC 10.51.010 and must be in compliance with the terms and conditions thereof.

B. Mobile food vending located entirely on private property.

1. Mobile food vending may be allowed on property in any Neighborhood Retail (NR), Neighborhood Mixed Use (NMU), Community Business (CB), General Commercial (GC); Center and Corridor Types 1, 2 and 3; Downtown Core (DTC), Downtown General (DTG), Downtown University (DTU), Downtown South (DTS), Light Industrial (LI), Heavy Industrial (HI) and Planned Industrial (PI) zone subject to the land use and development standards applicable to said property, except that a mobile food vendor shall not be required to make any additional site improvements when:
 - a. The mobile food unit will be located on an existing paved parking area that will continue to provide sufficient space for required off street parking and circulation for any other existing uses on the property;
 - b. The mobile food unit is a licensed, wheeled vehicle and the wheels will not be removed;

- c. Any canopies, awnings or any other attachments are supported entirely by the mobile food unit and do not touch the ground;
 - d. The mobile food unit is self-contained, with no plumbing connections; and,
 - e. The mobile food unit will not be used for “drive thru” vending.
2. The mobile food vendor must have a valid license issued pursuant to SMC 10.51.010 and must be in compliance with the terms and conditions thereof.
- C. Mobile food vending on City Parks or on streets adjacent to a City Park.
- 1. Mobile food vending is prohibited in City Parks and on any street adjacent to or across the street from a City Park without the expressed written consent of the City Park Board or its designee.
 - 2. The mobile food vendor must have a valid license issued pursuant to SMC 10.51.010 and must be in compliance with the terms and conditions thereof.

PASSED by the City Council on _____.

Council President

Attest:

Approved as to form:

City Clerk

Assistant City Attorney

Mayor

Date

Effective Date

Spokane City Plan Commission
Findings of Fact, Conclusions, and Recommendations
Proposed Amendments to SMC Title 17C Land Use Standards
Mobile Food Vending

A recommendation from the City Plan Commission to the City Council to approve an ordinance relating to mobile food vending within the commercial, industrial, downtown and center and corridor zones, allowing mobile food vending as a limited use in these zones by amending Title 17C of the Spokane Municipal Code, Chapters 17C.120, 122, 124, 130, and 319 and adding a new *Chapter 17C.380, Mobile Food Vending.*

Findings of Fact:

A. The Washington State Legislature passed the Growth Management Act (GMA) in 1990, requiring among other things, the development of a Comprehensive Plan (RCW 36.70A).

B. The City of Spokane adopted a Comprehensive Plan in May of 2001 that complies with the requirements of the Growth Management Act.

C. Under the Growth Management Act, comprehensive plans may be amended no more frequently than once a year. However, pursuant to SMC 17G.020.040 Amendment Exceptions, subsection G, “Changes to development regulations that are consistent with the comprehensive plan or are necessary to implement the comprehensive plan” may be considered more frequently than once a year.

D. Spokane Municipal Code, Title 17G, Administration and Procedures, Chapter 17G.025 Unified Development Code Amendment Procedures were used to prepare this proposed amendment to the Unified Development Code.

E. City of Spokane Comprehensive Plan, Land Use Chapter, Goal LU 4 – TRANSPORTATION states: *Promote a network of safe and cost effective transportation alternatives, including transit, carpooling, bicycling, pedestrian-oriented environments, and more efficient use of the automobile, to recognize the relationship between land use and transportation.* LU 4.2 Land Uses That Support Travel Options states: *Provide a compatible mix of housing and commercial uses in neighborhood centers, district centers, employment centers, and corridors.*

F. The proposed amendments will encourage mobile food vending in neighborhood centers, district centers, employment centers, corridors and other existing commercial and industrial areas contributing to the provision of affordable and healthy food alternatives in these areas and reducing the reliance on automobiles, especially when these areas are underserved by existing food service establishments.

G. City of Spokane Comprehensive Plan, Economic Development Chapter, Goal ED7, Regulatory Environment and Tax Structure states: *Create a regulatory environment and tax structure that encourage investment, nurture economic activity, and promote a good business climate.* Policy ED 7.6, Development Standards and Permitting Process states: *Periodically evaluate and improve the City of Spokane’s development standards and permitting process to ensure that they are equitable, cost-effective, timely, and meet community needs and goals.*

H. The current development standards and permitting process do not adequately address the growing mobile food vending industry and the proposed amendments help create a more consistent, predictable and stream-lined system for the local mobile food vendor industry.

I. The Spokane City Plan Commission held a workshop to study the proposed amendments on May 8, 2013.

J. A Public Open House was held on April 23, 2013, in Room 1A of the Downtown Spokane Public Library, to receive public feedback on the proposed mobile food vending regulations. The City provided notice of the open house meeting by advertising on Planning Services website and via email notice to the local mobile food vending community, neighborhood business associations, and industry groups. Approximately 33 individuals attended the open house.

K. Notice of the proposed amendments and announcement of the Plan Commission's May 22, 2013 hearing was published in the Spokesman Review on May 8, 2013 and May 15, 2013. Notice of the proposed amendments and announcement of the Plan Commission's July 10, 2013 hearing was published in the Spokesman Review on June 26, 2013 and July 3, 2013

L. A State Environmental Policy Act (SEPA) Checklist and Determination of Non-Significance were released on May 7, 2013 for the Mobile Food Vendor Project amendments to SMC Title 17C. The public comment period for the SEPA determination ended on May 21, 2013.

M. On May 7, 2013, the Washington State Department of Commerce and appropriate state agencies were given the required 60-day notice before adoption of proposed changes to the Comprehensive Plan. An acknowledgement letter from the Department of Commerce was received by the City on May 9, 2013.

N. The City Plan Commission held a Public Hearing on May 22, 2013 to obtain public comments and continued the hearing to July 10, 2013 to allow for additional testimony on the proposed amendments. At the July 10, 2013 hearing four public testimonies favored the proposed amendment were heard by the Plan Commission with; deliberations following .

Conclusions:

A. The Plan Commission has reviewed all public testimony received during the public hearings and has made changes to the draft documents during deliberations to address the testimony as considered appropriate. The Plan Commission took action, by amendment, to include the recommendation to allow mobile food vending as a permitted use in the Office and Office Retail zones, subject to limitations.

B. The Plan Commission has found that the proposed amendments meet the approval criteria for text amendments to the Unified Development Code:

SMC 17G.025.010 (F) Approval Criteria:

1. The proposed amendment is consistent with the applicable provisions of the comprehensive plan; and
2. The proposed amendment bears a substantial relation to public health, safety, welfare, and protection of the environment.

C. The proposed amendments, as amended, have been reviewed by the City Plan Commission and found to be in conformance with the goals and policies of the City's 2001 Comprehensive Plan, as well as the Spokane Municipal Code Chapter 17G.025.

Recommendations:

By a vote of 7 to 1, the Plan Commission recommends to the City Council the approval of the **Proposed Amendments to SMC Title 17C Land Use Standards Mobile Food Vending**, with changes as deliberated.



**Mike Ekins, President
Spokane Plan Commission**

July 10, 2013