

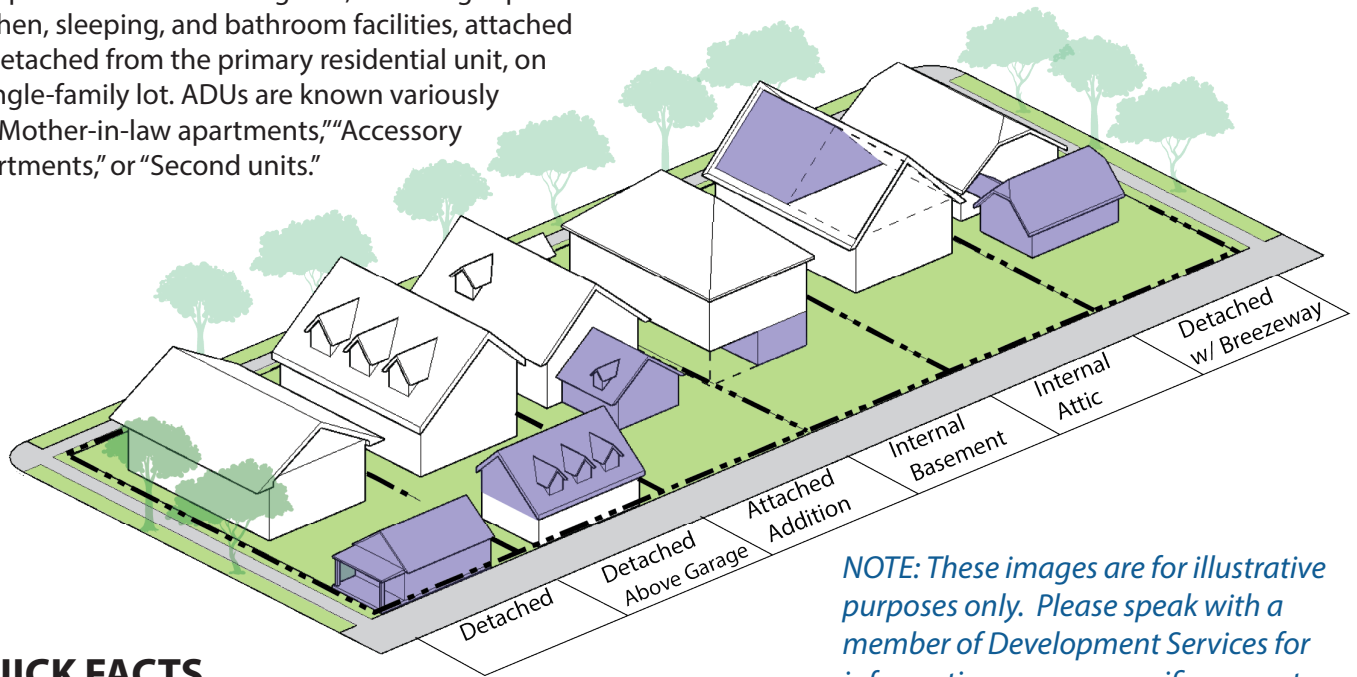


ACCESSORY DWELLING UNIT

Current Allowances

ACCESSORY DWELLING UNIT (ADU)

A separate additional living unit, including separate kitchen, sleeping, and bathroom facilities, attached or detached from the primary residential unit, on a single-family lot. ADUs are known variously as: "Mother-in-law apartments," "Accessory apartments," or "Second units."



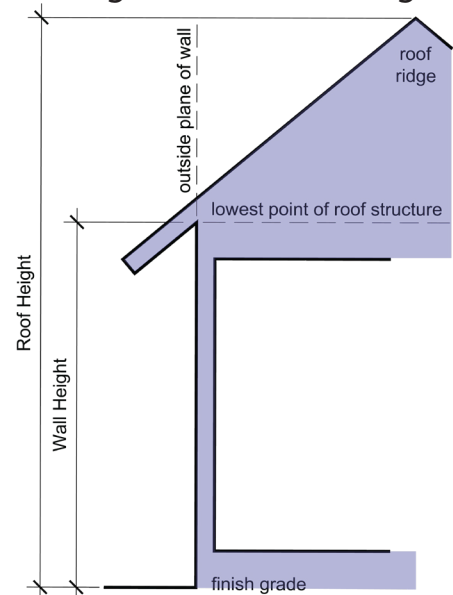
NOTE: These images are for illustrative purposes only. Please speak with a member of Development Services for information on your specific property.

QUICK FACTS

Wall Height	17'
Roof Height	25'
Minimum Lot Size	none
FAR (lot less than 5,000 sf)	.7
FAR (lot less than 7,200 sf)	.6
FAR (lot greater than 7,200 sf)	.5
Building Coverage (lot less than 5,000 sf)	20%
Building Coverage (lot more than 5,000 sf)	15%

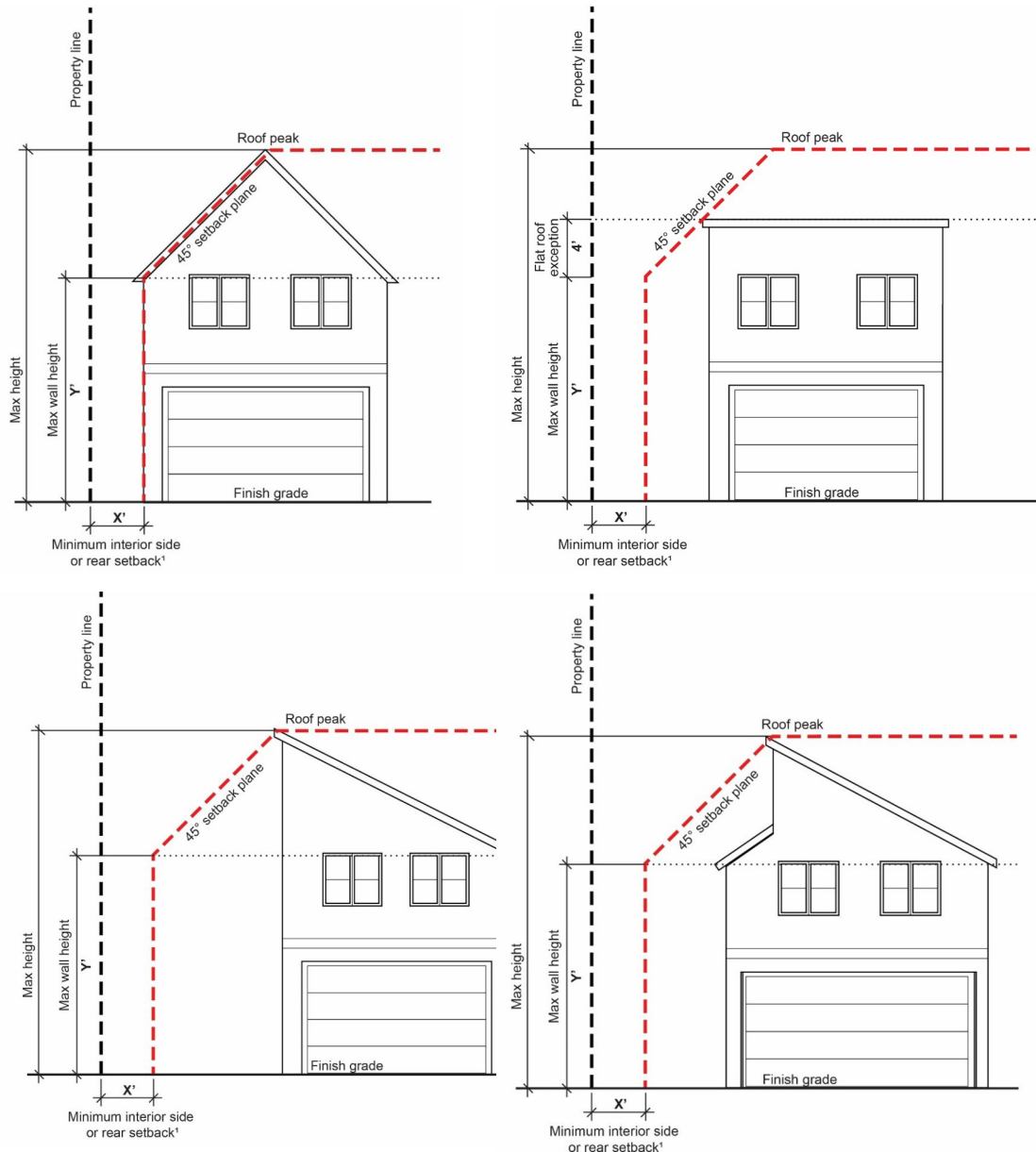
- Size of an attached ADU can be up to 800 square feet
- Size of a detached ADU can be 975 square feet, or 75% of primary building (**whichever is greater**)
- Owner does not need to live on-site, unless there is a short term rental on the property
- Architecture does not need to match primary residence
- Studio and one bedroom ADUs do not require parking. One space required for a two bedroom, plus one per each additional bedroom

Determining Wall and Roof Height



45° Setback Plane: Explained

- Measured at the max wall height and from interior side lot line setback (or rear setback without an alley)
- Does not apply on side or rear setbacks measured from alley or street lot lines
- The setback plane increases at a forty-five degree angle away from the interior side and rear lot lines without an alley, up to the max roof height
- No portion of the accessory dwelling unit may project beyond the forty-five degree setback plane
- may be reduced to zero feet with a signed waiver from the neighboring property owner



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Source: Spokane Municipal Code Section 17C.110 | <https://my.spokanecity.org/smc/?Chapter=17C.110>

Questions? Call: 509-625-6300 Email: bdsinfo@spokanecity.org

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