

**State Environmental Policy Act (SEPA)  
ENVIRONMENTAL CHECKLIST**

File No. \_\_\_\_\_

**PLEASE READ CAREFULLY BEFORE COMPLETING THE CHECKLIST!**

**Purpose of Checklist:**

The State Environmental Policy Act (SEPA) chapter 43.21C RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An Environmental Impact Statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the agency identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the agency decide whether an EIS is required.

**Instructions for Applicants:**

This environmental checklist asks you to describe some basic information about your proposal. Governmental agencies use this checklist to determine whether the environmental impacts of your proposal are significant, requiring preparation of an EIS. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply." Complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the governmental agencies can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

**Use of checklist for nonproject proposals:**

Complete this checklist for nonproject proposals, even though questions may be answered "*does not apply.*"

IN ADDITION, complete the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (Part D).

For nonproject actions, the references in the checklist to the words "project," "applicant," and "property or site" should be read as "proposal," "proposer," and "affected geographic area," respectively.

**A. BACKGROUND**

1. Name of proposed project: Hifume-en Affordable Housing Development
2. Applicant: Spokane Housing Authority & Storhaug Engineering
3. Address: 510 E Third Ave  
City/State/Zip: Spokane, WA 99204 Phone: 509-242-1000 (office)  
Agent or Primary Contact: Clifton Trimble  
Address: Same as above  
City/State/Zip: \_\_\_\_\_ Phone: 509-266-0029 (direct)  
Location of Project: 926 E 8th Ave (Corner of Garfield and E 8th Ave)  
Address: 926 E 8th ave, Spokane, WA.  
Section: 20 Quarter: \_\_\_\_\_ Township: 25 Range: 43E  
Tax Parcel Number(s) 35204.0825, 35204.0823, and 35204.0816
4. Date checklist prepared: 11/14/2023
5. Agency requesting checklist: City of Spokane
6. Proposed timing or schedule (including phasing, if applicable): After a boundary line adjustment, as well as approval of the engineering plans, construction would take place winter 2023 or spring of 2024.  
\_\_\_\_\_
7. a. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. No. The project will be approved as one project to be constructed in two phases, with no future additions or expansions.  
\_\_\_\_\_
- b. Do you own or have options on land nearby or adjacent to this proposal? If yes, explain. Yes. The Spokane Housing Authority owns the three subject parcel, which will undergo a BLA (Boundary Line Adjustment) on parcels 35204.0825, 35204.0823, and 35204.0816 for a total of 2.91 acres (including the vacated ROW applied for).  
\_\_\_\_\_
8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. None known.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. BLA application, and an application to vacate the Conklin Street ROW (to the immediate east of parcel 35204.0825)

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10. List any government approvals or permits that will be needed for your proposal, if known. Building permit approvals.

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11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. Demolition of an existing 2 story senior living facility with a 14,506 sf footprint, to be replaced (expanded by an updated), with an approx. 88 unit affordable senior and disabled, affordable housing living facility'with various shared facilities and amenities (see included site plan), on approximately 2.91 acres. The development is proposed by the Spokane Housing Authority.

12. Location of the proposal: Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit application related to this checklist. See answer 3 on page 2. Also see the Trip Generation Distribution map for location. The project is located at 926 E 8TH AVE, in Spokane, over parcels 35204.0825, 35204.0823, and 35204.0816 over approximately 2.91 acres.

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13. Does the proposed action lie within the Aquifer Sensitive Area (ASA)? The General Sewer Service Area? The Priority Sewer Service Area? The City of Spokane? (See: Spokane County's ASA Overlay Zone Atlas for boundaries.) Yes to all four.

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14. The following questions supplement Part A.

a. Critical Aquifer Recharge Area (CARA) / Aquifer Sensitive Area (ASA)

(1) Describe any systems, other than those designed for the disposal of sanitary waste installed for the purpose of discharging fluids below the ground surface (includes systems such as those for the disposal of stormwater or drainage from floor drains). Describe the type of system, the amount of material to be disposed of through the system and the types of material likely to be disposed of (including materials which may enter the system inadvertently through spills or as a result of firefighting activities). Sanitary sewer will be disposed of into the City of Spokane sewer system. Stormwater will be managed on site via swales and dry wells.

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(2) Will any chemicals (especially organic solvents or petroleum fuels) be stored in aboveground or underground storage tanks? If so, what types and quantities of material will be stored? No.

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(3) What protective measures will be taken to insure that leaks or spills of any chemicals stored or used on site will not be allowed to percolate to groundwater. This includes measures to keep chemicals out of disposal systems. None. N/A.

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(4) Will any chemicals be stored, handled or used on the site in a location where a spill or leak will drain to surface or groundwater or to a stormwater disposal system discharging to surface or groundwater? No.

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b. Stormwater

(1) What are the depths on the site to groundwater and to bedrock (if known)? Not known.  
See details RE soils info in Exhibit A, attached.

(2) Will stormwater be discharged into the ground? If so, describe any potential impacts. Yes,  
stormwater runoff from impervious surfaces (buildings, asphalt, pavement) and will  
discharge into the ground via swales and drywells. An Erosion & Sediment Control  
(ESC) plan to be included in civil submittal.

**B. ENVIRONMENTAL ELEMENTS**

**1. Earth**

a. General description of the site (check one):

Flat    Rolling    Hilly    Steep slopes    Mountainous

Other: Slight hill from off the the 8th and Garfield ROW, but flattens out at entry to the site at the north and west.

b. What is the steepest slope on the site (approximate percent slope)? Steepest slope on site  
appears to be off Garfield to the west at approximately 60%.

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils. \_\_\_\_\_  
Please see attached Exhibit A:

Urban land-Northstar, disturbed complex, 3 to 8 percent slopes

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. \_\_\_\_\_  
Not known. See Exhibit A for soils info.

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill: Specific quantities are unknown at this time. In general, the plan is to direct the stormwater runoff to swales in the southeast corner of the site.  
The final grading plans will meet all permitting requirements at the time of development.

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f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. During and post construction erosion is expected. An ESC plan that meets City of Spokane standards will be submitted and approved prior to construction. All permitting will be approved prior to development by the City of Spokane.

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g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt, or buildings)? Approximately 60% - 70%. Final design for the two buildings is still in process. See attached DRAFT working site plan referenced as exhibit b.

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h. Proposed measures to reduce or control erosion or other impacts to the earth, if any: An ESC plan that meets City of Spokane standards will be submitted and approved prior to construction.

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## 2. Air

a. What type of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known. Dust emissions, vehicle emissions, and odors will be typical during construction. Vehicle emissions and odors will be typical of a senior and disabled, affordable housing living facility.  
Any future construction on the site will comply with Spokane Regional Clear Air Agency requirements.

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b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. None that are known.

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- c. Proposed measures to reduce or control emissions or other impacts to air, if any: None proposed at this time. Any and all control measures requested by the city will be completed prior to construction, and followed per City standards.
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**3. Water**

a. SURFACE WATER:

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. No.
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- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. No.
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- (3) Estimate the amount of fill and dredge material that would be placed in or removed from the surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. None.
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- (4) Will the proposal require surface water withdrawals or diversions? If yes, give general description, purpose, and approximate quantities if known. No.
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(5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. No.  
Per the attached Exhibit C, FIRMETTE, the site is not in any flood zone; labeled as flood zone X.

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(6) Does the proposal involve any discharge of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. No.

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b. GROUNDWATER:

(1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known. No.

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(2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. None. The project will be served by City sewer and water, and no storage of hazardous materials are proposed.

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c. WATER RUNOFF (INCLUDING STORMWATER):

(1) Describe the source of runoff (including stormwater) and method of collection and disposal if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. Stormwater runoff from impervious surfaces (buildings, asphalt, pavement) will be discharge into the ground via swales and drywells, and/or other infiltration galleries.

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(2) Could waste materials enter ground or surface waters? If so, generally describe. No, not expected - no waste materials are proposed to be stored on site, and the project will connect to city sewer.

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(3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe. Not anticipated. Drainage will generally be diverted to a swale at the southeast portion of the site. Final design will be submitted and approved prior to permitting and construction, meeting all City requirements prior to development.

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d. PROPOSED MEASURES to reduce or control surface, ground, and runoff water, and drainage patter impacts, if any. A drainage report/plan, and an ESC plan will be submitted to the City at the time of permitting. Erosion and stormwater will be controlled in accordance with applicable regulations.

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**4. Plants**

a. Check the type of vegetation found on the site:

Deciduous tree:  alder  maple  aspen

Other: \_\_\_\_\_

Evergreen tree:  fir  cedar  pine

Other: \_\_\_\_\_

Shrubs  Grass  Pasture  Crop or grain

Orchards, vineyards or other permanent crops

Wet soil plants:  cattail  buttercup  bullrush  skunk cabbage

Other: \_\_\_\_\_

Water plants:  water lily  eelgrass  milfoil

Other: \_\_\_\_\_

Other types of vegetation: \_\_\_\_\_

b. What kind and amount of vegetation will be removed or altered? Some grass, shrubs, and trees will be removed during the construction process for building footprints and parking areas.

\_\_\_\_\_  
\_\_\_\_\_

c. List threatened and endangered species known to be on or near the site. Exhibit D is a PHS (Priority Habitat Species) report, which lists the occurrence of 'Big Brown Bats'. See attached.

\_\_\_\_\_  
\_\_\_\_\_

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: Existing landscaping & vegetation anticipated to be maintained where feasible.

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e. List all noxious weeds and invasive species known to be on or near the site. None known.

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**5. Animals**

a. Check and List any birds and other animals which have been observed on or near the site or are known to be on or near the site:

Birds:  hawk  heron  eagle  songbirds

Other: \_\_\_\_\_

Mammals:  deer  bear  elk  beaver

Other: \_\_\_\_\_

Fish:  bass  salmon  trout  herring  shellfish

Other: \_\_\_\_\_

Other (not listed in above categories): \_\_\_\_\_

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b. List any threatened or endangered animal species known to be on or near the site.  
None known. Big Brown Bats are listed as "sensitive", but not threatened nor endangered, per Exhibit D, Priority Habitats and Species Report.

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c. Is the site part of a migration route? If so, explain. Not known.

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d. Proposed measures to preserve or enhance wildlife, if any: Preservation of existing landscaping and vegetation when feasible to foster and encourage surrounding wildlife habitat.

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- e. List any invasive animal species known to be on or near the site. None known.
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**6. Energy and natural resources**

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. Future development may use electricity for lighting, cooking, mechanical operation, heating, and cooling. Natural gas may also be used for heating and cooking.
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- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. Not anticipated.
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- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any: Future development will comply with applicable energy codes and regulations.
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**7. Environmental health**

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste that could occur as a result of this proposal? If so, describe. No.
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(1) Describe any known or possible contamination at the site from present or past uses. None known.

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(2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity. None known.

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(3) Describe any toxic or hazardous chemicals/conditions that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project. None.

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(4) Describe special emergency services that might be required. Emergency services such as ambulance, fire, police, may be needed for the future residences commiserate with the scope of an approx. 47 additional senior living facility.

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(5) Proposed measures to reduce or control environmental health hazards, if any:  
Future development will comply with applicable regulations.

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b. NOISE:

(1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)? Noise from traffic and emergency services will be present but will not impact the project.

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(2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site. Short-term noise associated with construction activities will be mitigated by applicable noise ordinance that regulates the hours of operation to daytime. Long-term noise generated is anticipated by the future residential traffic, and will also be mitigated by applicable noise ordinance requirements.

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(3) Proposed measure to reduce or control noise impacts, if any: Future development is to comply with applicable noise ordinance requirements.

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**8. Land and shoreline use**

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe. The site is currently used as a senior and disabled, affordable housing living facility under one building. The Spokane Housing Authority project will expand this use into two new buildings (existing demo'd) with a myriad of associated amenities and community spaces (see included site plan; exhibit B). The affect to neighboring properties will not change; is the same use.

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b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use? No.

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1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversized equipment access, the application of pesticides, tilling, and harvesting? If so, how: N/A. Not near farm/forest land.

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c. Describe any structures on the site. Existing 2 story senior living facility with a 14,506 sf footprint.

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d. Will any structures be demolished? If so, which? Yes, the existing 2 story Senior living facility with a 14,506 sf footprint.

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e. What is the current zoning classification of the site? RMF

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f. What is the current comprehensive plan designation of the site? R 15-30

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g. If applicable, what is the current shoreline master program designation of the site? N/A

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h. Has any part of the site been classified as a critical area by the city or the county? If so, specify. No.

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i. Approximately how many people would reside or work in the completed project? 88 senior and disabled, affordable housing living facility units at project build out, for the two new buildings on site.

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j. Approximately how many people would the completed project displace? None.

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k. Proposed measures to avoid or reduce displacement impacts, if any: None. N/A.

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l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: The development is an expansion of the current use and will comply with applicable development codes at construction permitting.

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m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any: Not applicable as no such resources are located on or nearby the site.

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**9. Housing**

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. Approximately 88 senior and disabled, affordable housing living facility units, which will qualify and be classified as affordable housing units.

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b. Approximately how many units, if any, would be eliminated? Indicate whether high-, middle- or low-income housing. None.

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c. Proposed measures to reduce or control housing impacts, if any: None.

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**10. Aesthetics**

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? The buildings will be three stories high. Per height limitations by code, for the RMF zone, both structures will be less than 60' in height. Materials to be determined. See Exhibit B.

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b. What views in the immediate vicinity would be altered or obstructed? Typical view obstructions as a result of vertical construction as allowed by zoning/building code should be anticipate. No specific landmarks or view-sheds would be eclipsed as a result of this expansion.

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c. Proposed measures to reduce or control aesthetic impacts, if any: None.

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**11. Light and Glare**

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?       
The proposed project is anticipated to produce headlight and street light typical of multifamily development when dark, typically in the evening/nighttime.  
\_\_\_\_\_
- b. Could light or glare from the finished project be a safety hazard or interfere with views? No.  
\_\_\_\_\_  
\_\_\_\_\_
- c. What existing off-site sources of light or glare may affect your proposal? None.  
\_\_\_\_\_  
\_\_\_\_\_
- d. Proposed measures to reduce or control light and glare impacts, if any: The project will comply with applicable regulations to reduce or control light or glare impacts.  
\_\_\_\_\_  
\_\_\_\_\_

**12. Recreation**

- a. What designated and informal recreational opportunities are in the immediate vicinity? The site is approximately 2 block from Grant Park in Perry District.  
\_\_\_\_\_  
\_\_\_\_\_
- b. Would the proposed project displace any existing recreational uses? If so, describe. No.  
\_\_\_\_\_  
\_\_\_\_\_
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: None.  
\_\_\_\_\_  
\_\_\_\_\_

**13. Historic and cultural preservation**

a. Are there any buildings, structures, or sites, located on or near the sited that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe. No, closest historic properties are along Perry Street, several blocks away.

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b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. Unknown at this time.

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c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archaeology and historic preservation, archaeological surveys, historic maps, GIS data, etc. In preliminary review, Spokane housing Auth. consulted the Tribes and SHPO, both confirming there are no known archaeological or historic impacts. However, if artifacts are found during any part of construction, work will stop and the appropriate historical preservation office will be contacted. The extent of these measures will be determined by this SEPA.

d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required See above answer.

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**14. Transportation**

a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any. The site accesses off 8th Ave, with a pedestrian pathway connecting to Garfield for the senior residents to access.

See Exhibit B for site plan.

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b. Is site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop The closest bus stops are on E Hartson near Sherman, and along Perry Street.

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c. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private). \_\_\_\_\_

At this time access is being proposed off of 8th Ave. Improvements associated with both 8th Ave and Garfield will be assessed by the City Public Works Dept. All mitigative measures for local safety, circulation, and functionality will be met at the time of permitting.

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d. Will the project or proposal use (or occur in the immediate vicinity of) water, rail or air transportation? If so, generally describe. \_\_\_\_\_

No.

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- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates? Per the 11th Edition of the Trip Generation Manual by the Institute of Transportation Engineers, the proposed project will generate 122 NEW Average Daily Trips, 9 AM Peak Hour Trips, & 11 PM Peak Hour Trips. AM Peak is between 7-9AM and PM Peak is between 4-6PM. See attached trip generation letter and distribution graphic.

*(Note: to assist in review and if known, indicate vehicle trips during PM peak, AM Peak, and Weekday (24 hours).)*

- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, general describe. No.

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- h. Proposed measures to reduce or control transportation impacts, if any: None anticipated.  
Any traffic mitigation measures determined appropriate by the public works department will be complied with at the time of permitting.

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## 15. Public services

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe. The project will result in an incremental increase in the need for public services. Impacts are anticipated to be partially offset by tax revenues generated by the project. ROW improvements will be met at the time of permitting

- b. Proposed measures to reduce or control direct impacts on public services, if any: The project will comply with applicable regulations to reduce or control impacts to public services.

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**16. Utilities**

a. Check utilities currently available at the site:

- electricity
- natural gas
- water
- refuse service
- telephone
- sanitary sewer
- septic system

Other: \_\_\_\_\_  
\_\_\_\_\_

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed: \_\_\_\_\_

Electricity and Natural Gas: Avista. Sewer, Water, and Refuse: City of Spokane. Telephone:  
Xfinity/Lumen.

\_\_\_\_\_  
\_\_\_\_\_

**C. SIGNATURE**

I, the undersigned, swear under penalty of perjury that the above responses are made truthfully and to the best of my knowledge. I also understand that, should there be any willful misrepresentation or willful lack of full disclosure on my part, the agency must withdraw any determination of Nonsignificance that it might issue in reliance upon this checklist.

Date: 12/8/2023 Signature: 

**Please Print or Type:**

Proponent: Spokane Housing Authority Address: 25 W Nora  
Phone: 509-252-7148 Spokane, WA 99205

Person completing form (if different from proponent): Storhaug Engineering  
Phone: \_\_\_\_\_ Address: 510 E 3rd  
Spokane, WA 99202

<p><b>FOR STAFF USE ONLY</b></p> <p>Staff member(s) reviewing checklist: _____</p> <p>Based on this staff review of the environmental checklist and other pertinent information, the staff concludes that:</p> <p><input type="checkbox"/> A. there are no probable significant adverse impacts and recommends a Determination of Nonsignificance.</p> <p><input type="checkbox"/> B. probable significant adverse environmental impacts do exist for the current proposal and recommends a Mitigated Determination of Nonsignificance with conditions.</p> <p><input type="checkbox"/> C. there are probable significant adverse environmental impacts and recommends a Determination of Significance.</p>
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**D. SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS**

***(Do not use this sheet for project actions)***

Because these questions are very general, it may be helpful to read them in conjunction with the list of elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise? \_\_\_\_\_

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Proposed measures to avoid or reduce such increases are: \_\_\_\_\_

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2. How would the proposal be likely to affect plants, animals, fish or marine life? \_\_\_\_\_

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Proposed measures to protect or conserve plants, animals, fish or marine life are: \_\_\_\_\_

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3. How would the proposal be likely to deplete energy or natural resources? \_\_\_\_\_

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Proposed measures to protect or conserve energy and natural resources are: \_\_\_\_\_

---

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4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection, such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, flood plains or prime farmlands? \_\_\_\_\_

\_\_\_\_\_

Proposed measures to protect such resources or to avoid or reduce impacts are: \_\_\_\_\_

\_\_\_\_\_

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans? \_\_\_\_\_

\_\_\_\_\_

Proposed measures to avoid or reduce shoreline and land use impacts are: \_\_\_\_\_

\_\_\_\_\_

6. How would the proposal be likely to increase demands on transportation or public services and utilities? \_\_\_\_\_

\_\_\_\_\_

Proposed measures to reduce or respond to such demand(s) are: \_\_\_\_\_

\_\_\_\_\_


7. Identify, if possible, whether the proposal may conflict with local, state or federal laws or requirements for the protection of the environment. \_\_\_\_\_

\_\_\_\_\_

C. SIGNATURE

I, the undersigned, swear under penalty of perjury that the above responses are made truthfully and to the best of my knowledge. I also understand that, should there be any willful misrepresentation or willful lack of full disclosure on my part, the agency may withdraw any Determination of Nonsignificance that it might issue in reliance upon this checklist.

Date: 12/8/23

Signature: 

**Please Print or Type:**

Proponent: Pamela J Parr

Address: 25 W Nora Ave.

Phone: 509-252-7139

Spokane WA 99205

Person completing form (if different from proponent): \_\_\_\_\_

Phone: \_\_\_\_\_ Address: \_\_\_\_\_

\_\_\_\_\_

**FOR STAFF USE ONLY**

Staff member(s) reviewing checklist: \_\_\_\_\_

Based on this staff review of the environmental checklist and other pertinent information, the staff concludes that:

- A.  there are no probable significant adverse impacts and recommends a Determination of Nonsignificance.
- B.  probable significant adverse impacts do exist for the current proposal and recommends a Mitigated Determination of Nonsignificance with conditions.
- C.  there are probable significant adverse environmental impacts and recommends a Determination of Significance.

# EXHIBIT A

## Soil Map—Spokane County, Washington (HIFUMU-EN SOILS MAP)



Map Scale: 1:994 if printed on A landscape (11" x 8.5") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 11N WGS84



Soil Map—Spokane County, Washington  
(HIFUMU-EN SOILS MAP)

### MAP LEGEND

**Area of Interest (AOI)**

 Area of Interest (AOI)

**Soils**

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

**Special Point Features**



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

**Water Features**



Streams and Canals

**Transportation**



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

**Background**



Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Spokane County, Washington

Survey Area Data: Version 15, Aug 28, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 9, 2022—Aug 15, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
7131	Urban land-Northstar, disturbed complex, 3 to 8 percent slopes	3.8	100.0%
<b>Totals for Area of Interest</b>		<b>3.8</b>	<b>100.0%</b>

## Spokane County, Washington

### 7131—Urban land-Northstar, disturbed complex, 3 to 8 percent slopes

#### Map Unit Setting

*National map unit symbol:* 2mdnh

*Elevation:* 1,800 to 2,360 feet

*Mean annual precipitation:* 17 to 19 inches

*Mean annual air temperature:* 45 to 50 degrees F

*Frost-free period:* 100 to 140 days

*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Urban land:* 60 percent

*Northstar, disturbed, and similar soils:* 25 percent

*Minor components:* 15 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Urban Land

##### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 8

*Hydric soil rating:* No

#### Description of Northstar, Disturbed

##### Setting

*Landform:* Plateaus

*Landform position (two-dimensional):* Summit, shoulder

*Landform position (three-dimensional):* Side slope, base slope

*Down-slope shape:* Linear

*Across-slope shape:* Linear

*Parent material:* Loess with an influence of volcanic ash over residuum and/or colluvium derived from basalt

##### Typical profile

*A1 - 0 to 6 inches:* extremely cobbly ashy loam

*A2 - 6 to 11 inches:* extremely cobbly ashy loam

*BA - 11 to 17 inches:* very gravelly ashy loam

*Bw - 17 to 26 inches:* extremely gravelly loam

*R - 26 to 36 inches:* bedrock

##### Properties and qualities

*Slope:* 3 to 8 percent

*Depth to restrictive feature:* 20 to 40 inches to lithic bedrock

*Drainage class:* Well drained

*Capacity of the most limiting layer to transmit water*

*(Ksat):* Moderately high (0.20 to 0.57 in/hr)

*Depth to water table:* More than 80 inches

*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Available water supply, 0 to 60 inches:* Very low (about 1.9 inches)

**Interpretive groups**

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 7s  
*Hydrologic Soil Group:* C  
*Ecological site:* F009XY001WA - Mesic Xeric Loamy Hills and  
Canyons Ponderosa Pine Moderately Warm Dry Shrub  
*Other vegetative classification:* ponderosa pine/common  
snowberry (CN170)  
*Hydric soil rating:* No

**Minor Components**

**Rock outcrop**

*Percent of map unit:* 5 percent  
*Hydric soil rating:* No

**Rockly, disturbed**

*Percent of map unit:* 5 percent  
*Landform:* Plateaus  
*Landform position (two-dimensional):* Summit  
*Landform position (three-dimensional):* Interfluve  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Ecological site:* R009XY001WA - Very Shallow  
*Hydric soil rating:* No

**Lakespring, disturbed**

*Percent of map unit:* 3 percent  
*Landform:* Outwash plains, terraces  
*Landform position (three-dimensional):* Tread  
*Down-slope shape:* Linear  
*Across-slope shape:* Convex  
*Other vegetative classification:* ponderosa pine/ninebark (CN190)  
*Hydric soil rating:* No

**Springdale, disturbed**

*Percent of map unit:* 2 percent  
*Landform:* Outwash terraces  
*Landform position (three-dimensional):* Riser  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Other vegetative classification:* ponderosa pine/common snowberry  
(CN170)  
*Hydric soil rating:* No

**Data Source Information**

Soil Survey Area: Spokane County, Washington  
Survey Area Data: Version 15, Aug 28, 2023

**SITE PLAN GENERAL NOTES**

- A. ALL CONTRACTORS / SUB-CONTRACTORS TO VISIT SITE AND VERIFY ALL EXISTING CONDITIONS AND EXISTING SPOT ELEVATIONS. FIELD VERIFY ALL SITE DIMENSIONS AND COORDINATE NEW WORK AS REQUIRED WITH EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE OWNER AND ARCHITECT.
- B. THE OWNER IS RESPONSIBLE FOR ALL SOILS TESTING AND ANALYSIS. ALL SOILS INFORMATION TO BE OBTAINED FROM THE OWNER OR CIVIL ENGINEER.
- C. CONTRACTOR TO NOTIFY LOCAL "DIG-LINE" SERVICE PRIOR TO ANY EXCAVATION.
- D. CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES FOR THE LOCATION, ROUTE AND CONNECTION OF ALL NEW AND EXISTING UTILITIES FOR THIS PROJECT. ALL WORK TO CONFORM TO UTILITY COMPANY STANDARDS, LOCAL CODES AND ACCEPTED CONSTRUCTION PRACTICES. MINIMUM BURIAL DEPTH OF ALL UNDERGROUND ELECTRICAL RACEWAYS SHALL BE 24" BELOW FINISH GRADE U.O.N.
- E. REFER TO THE GENERAL STRUCTURAL NOTES FOR SOIL CONDITION REQUIREMENTS. THE CONTRACTOR IS REQUIRED TO DO ALL NECESSARY SOILS MODIFICATIONS TO MEET THE STRUCTURAL REQUIREMENTS OF THE FOUNDATION.
- G. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL EROSION AND SEDIMENT DESIGN AND BEST MANAGEMENT PRACTICES TO BE IMPLEMENTED DURING CONSTRUCTION.
- H. REFER TO CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION AND EROSION AND SEDIMENT CONTROL DRAWINGS. REFER TO CIVIL DRAWINGS FOR ALL GUTTER / DOWNSPOUT CONNECTIONS AND ROUTES TO DRAINAGE SYSTEMS. SEE ARCHITECTURAL ROOF PLANS AND ELEVATIONS FOR DOWNSPOUT LOCATIONS.
- I. REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPING REQUIREMENTS, LANDSCAPING NOT SHOWN ON ARCHITECTURAL SITE PLAN FOR CLARITY OF DRAWING.
- J. REFER TO ARCHITECTURAL FLOOR PLAN FOR BUILDING LAYOUT AND DIMENSIONS.
- K. REFER TO ELECTRICAL SITE PLAN FOR ALL ELECTRICAL NOTES AND INFORMATION AND ON-SITE LIGHTING PLAN.
- L. CLEAR SITE OF EXISTING VEGETATION, & DEBRIS AS REQUIRED FOR NEW CONSTRUCTION. PROTECT EXISTING CONSTRUCTION TO REMAIN.
- M. THE FINISH SITE GRADE SHALL SLOPE AND HAVE POSITIVE DRAINAGE AWAY FROM THE BUILDING. SEE CIVIL DRAWINGS FOR FINISH FLOOR ELEVATIONS.
- N. ALL CONSTRUCTION MODIFICATIONS, REPAIRS OR CHANGES TO CURBS, GUTTERS, CURB RAMPS AND SIDEWALKS IN THE RIGHT-OF-WAY TO RECEIVE AGENCY APPROVAL PRIOR TO CONSTRUCTION AND TO BE CONSTRUCTED PER AGENCY STANDARDS.
- O. ALL EXTERIOR SIDEWALKS, RAMPS, CURB RAMPS AND LANDINGS SHALL BE CONSIDERED AN ACCESSIBLE ROUTE AND SHALL COMPLY WITH ICC/ANSI A117.1-2009 CHAPTER 4. ALL NEW SIDEWALKS TO HAVE A MAXIMUM SLOPE OF 1:20 (OR SIDEWALKS WITH A SLOPE GREATER THAN 1:20 SHALL SLOPE 1:12 MAXIMUM AND SHALL NOT SLOPE GREATER THAN 6" RISE AND SHALL HAVE LANDINGS 5'-0" EACH END IN THE DIRECTION OF TRAVEL. ALL SIDEWALKS MAY HAVE A MAXIMUM CROSS SLOPE OF 2% (1:50). ALL EXTERIOR LANDINGS AT DOORS TO BE FLUSH WITH BUILDING FINISH FLOOR AND SLOPE AWAY FROM THE BUILDING AT 2% (1:50) MAXIMUM FOR A MINIMUM DISTANCE OF 5'-0".
- P. PROVIDE EXPANSION JOINTS IN SIDEWALKS AT 20'-0" O.C. MAX. CONTROL JOINTS AT 5'-0" O.C. TYPICAL. ALL SIDEWALKS SHALL SLOPE TO SHED WATER PER GENERAL NOTE REQUIREMENTS.
- Q. ALL NEW CONSTRUCTION TO BE IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS, ACCEPTED CONSTRUCTION STANDARDS AND CONFORM TO ALL BUILDING CODES AND REGULATIONS.
- R. KNOX BRAND SECURITY KEY BOXES SHALL BE PROVIDED IN ACCORDANCE WITH IFC SECTION 508.1. A KEY BOX WITH 2 SETS OF KEYS FOR THE ENTIRE BUILDING SHALL BE INSTALLED FROM THE KNOX COMPANY. THE BOX SHALL BE INSTALLED AT A LOCATION APPROVED BY THE FIRE DEPARTMENT. THIS IS GENERALLY TO THE RIGHT OF THE MAIN ENTRY, 5 - 6 FEET ABOVE FINISHED GRADE. A VISUAL STROBE IS REQUIRED ABOVE THE KNOX BOX. ORDER AT LEAST TWO WEEKS BEFORE APPROVAL OF ALARM AND OR SPRINKLER SYSTEMS ACCEPTANCE TESTING.
- S. ALL FIRE DEPARTMENT ACCESS GATES REQUIRE KNOX LOCKS. IF ELECTRIC, A KNOX KEY SWITCH IS REQUIRED.

**ZONING INFORMATION**

ZONING:	RMF
AREA:	1.91 ACRES
MAX. FAR:	NONE
MAX. WALL HEIGHT: PROPOSED:	30'-0" 29'-10 1/2"
MAX. ROOF HEIGHT: PROPOSED:	50'-0"
MIN. STREET SETBACK:	FRONT = 15'-0" SIDE = 5'-0" REAR = 10'-0" STREET SIDE = 5'-0" SEE SITE PLAN
LANDSCAPING REQ.:	YES
AUTO PARKING REQ.:	MIN. REQ. = 0
PROPOSED:	12 ADA STALLS + 32 STANDARD STALLS = 44 TOTAL STALLS
LOADING STALL REQ.:	1
BIKE PARKING REQ.:	NOT REQUIRED



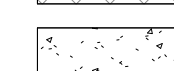
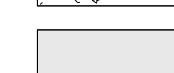
**BUILDING TABULATION**

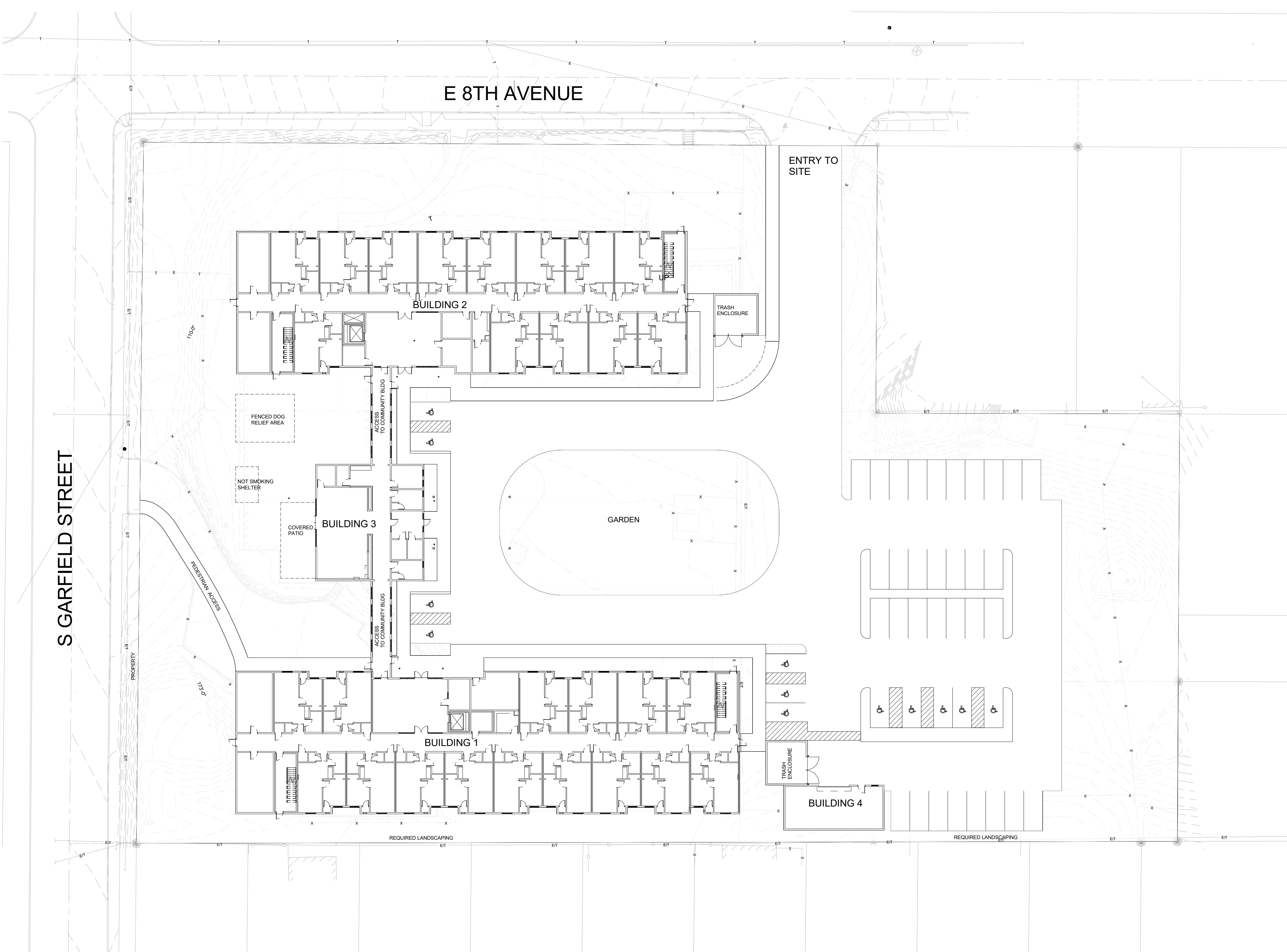
BUILDING 1	BUILDING 2		
LEVEL	Area	LEVEL	Area
BUILDING 1		BUILDING 2	
R1 LEVEL	14010 SF	R1 LEVEL	12518 SF
R2 LEVEL	12943 SF	R2 LEVEL	11574 SF
R3 LEVEL	12943 SF	R3 LEVEL	11574 SF
	39896 SF		35667 SF

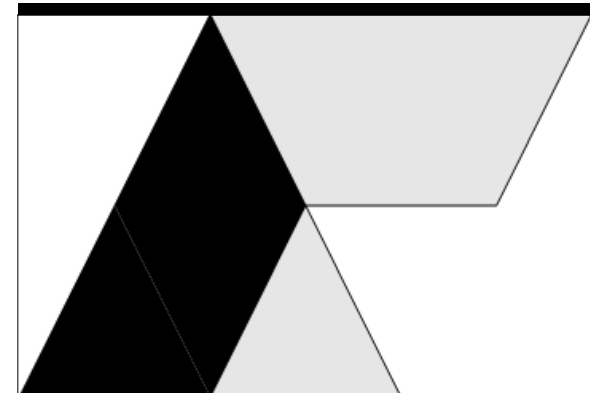
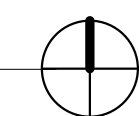
BUILDING 3	BUILDING 4		
LEVEL	Area	LEVEL	Area
COMMUNITY BLDG		MAINTENANCE BLDG	
R1 LEVEL	3345 SF	R1 LEVEL	909 SF
	3345 SF		909 SF

**SITE PLAN LEGEND**

-  LANDSCAPE AREA, COORDINATE WITH CIVIL / LANDSCAPE
-  FIRE ACCESS ROAD PAVERS (75,000 LB. LOAD MIN.)
-  CONCRETE SIDEWALK / HARDSCAPE, COORDINATE WITH CIVIL
-  ASPHALT PARKING / DRIVE, COORDINATE WITH CIVIL



**1 SITE PLAN**  
SCALE: 1" = 300'



© 2023 ARCHITECTURE ALL FORMS

CONSULTANT

**HIFUMI-EN**

926 E 8TH AVE, SPOKANE, WA 99202

ISSUED FOR		
#	DESCRIPTION	DATE

DATE: **11/6/23**  
 JOB NO.: **23.005**  
 DRAWING TITLE: **SITE PLAN**

SHEET NUMBER

**A100**



# National Flood Hazard Layer FIRMMette

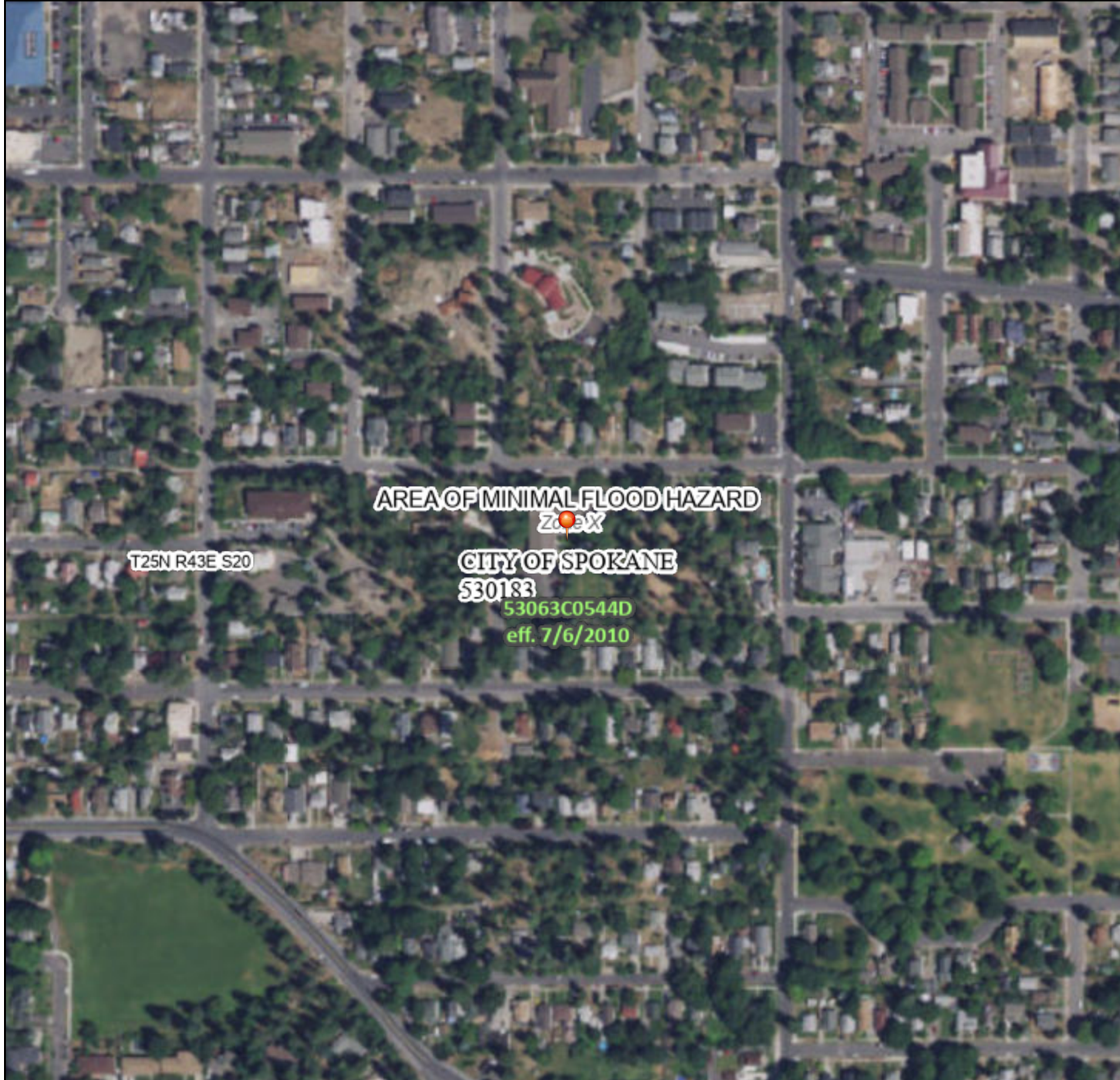


## EXHIBIT C

### Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

117°24'9"W 47°39'4"N



SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
		Area of Undetermined Flood Hazard <i>Zone D</i>

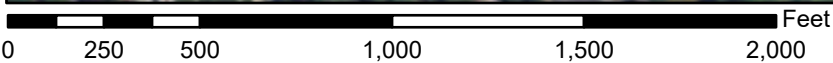
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



1:6,000

117°23'32"W 47°38'40"N

Basemap Imagery Source: USGS National Map 2023

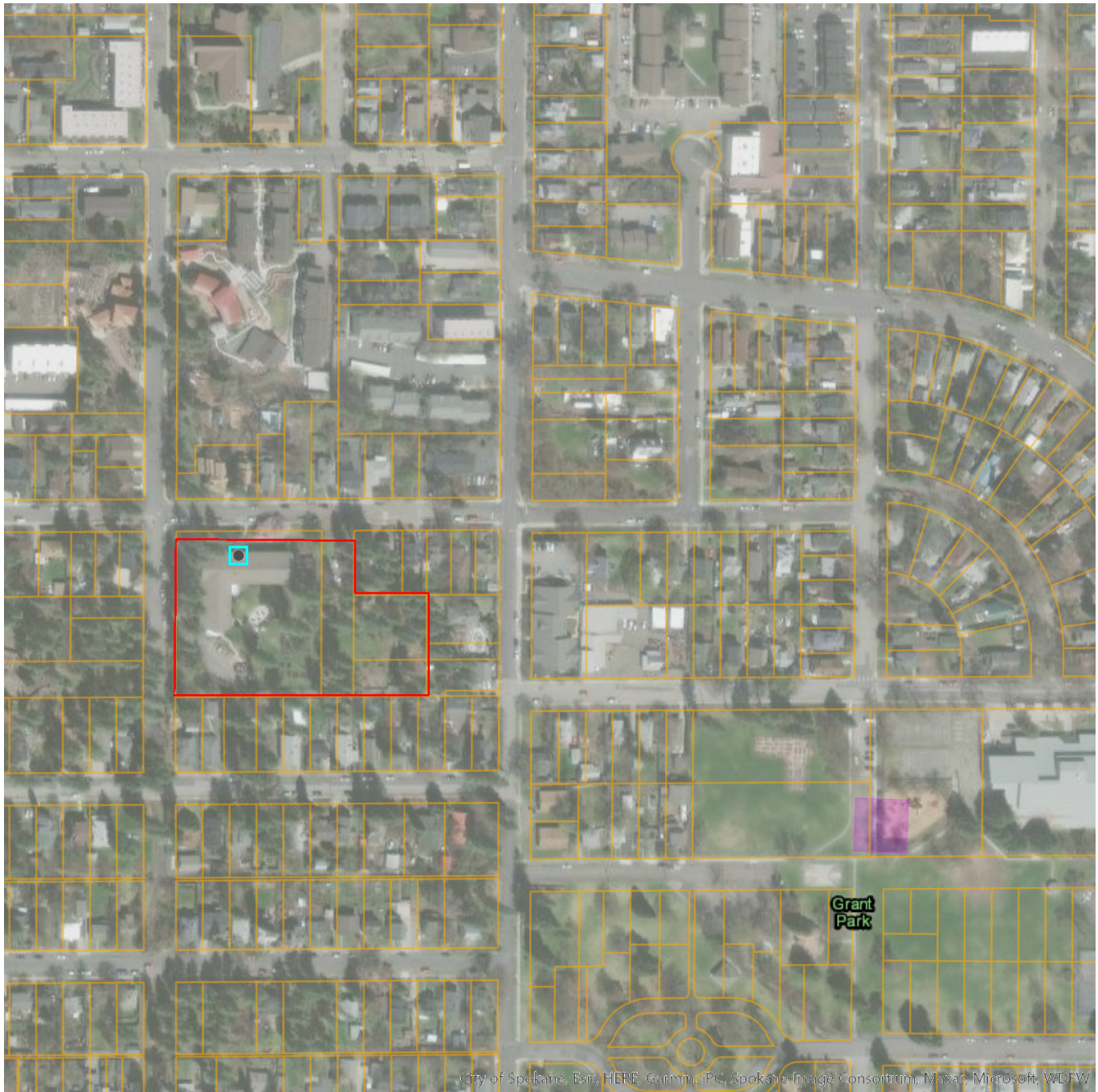
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **11/14/2023 at 7:19 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



# Priority Habitats and Species on the Web



(City of Spokane, Esri, HERE, Garmin, IFC, Spokane Image Consortium, Mapbox, Microsoft, WDEW)

**Report Date: 11/15/2023**

## PHS Species/Habitats Overview:

Occurrence Name	Federal Status	State Status	Sensitive Location
Big brown bat	undefined	undefined	Yes

## PHS Species/Habitats Details:



Scientific Name	<i>Eptesicus fuscus</i>
Notes	This polygon mask represents one or more records of the above species or habitat occurrence. Contact PHS Data Release at <a href="mailto:phsproducts@dfw.wa.gov">phsproducts@dfw.wa.gov</a> for obtaining information about masked sensitive species and habitats.
PHS Listing Status	PHS Listed Occurrence
Sensitive	Y
Display Resolution	TOWNSHIP
ManagementRecommendations	<a href="http://wdfw.wa.gov/publications/pub.php?id=00605">http://wdfw.wa.gov/publications/pub.php?id=00605</a>

DISCLAIMER. This report includes information that the Washington Department of Fish and Wildlife (WDFW) maintains in a central computer database. It is not an attempt to provide you with an official agency response as to the impacts of your project on fish and wildlife. This information only documents the location of fish and wildlife resources to the best of our knowledge. It is not a complete inventory and it is important to note that fish and wildlife resources may occur in areas not currently known to WDFW biologists, or in areas for which comprehensive surveys have not been conducted. Site specific surveys are frequently necessary to rule out the presence of priority resources. Locations of fish and wildlife resources are subject to variation caused by disturbance, changes in season and weather, and other factors. WDFW does not recommend using reports more than six months old.






# Hifumi-En SEPA for Pam's signature

Final Audit Report

2023-12-08

Created:	2023-12-08
By:	Paul Trautman (ptrautman@spokanehousing.org)
Status:	Signed
Transaction ID:	CBJCHBCAABAA-0oKIO8AxoBz0o99Nj1TeA4q0Lz12ASn

## "Hifumi-En SEPA for Pam's signature" History

-  Document created by Paul Trautman (ptrautman@spokanehousing.org)  
2023-12-08 - 9:03:17 PM GMT
-  Document emailed to Pam Parr (pparr@spokanehousing.org) for signature  
2023-12-08 - 9:04:16 PM GMT
-  Email viewed by Pam Parr (pparr@spokanehousing.org)  
2023-12-08 - 9:12:08 PM GMT
-  Document e-signed by Pam Parr (pparr@spokanehousing.org)  
Signature Date: 2023-12-08 - 9:15:02 PM GMT - Time Source: server
-  Agreement completed.  
2023-12-08 - 9:15:02 PM GMT