

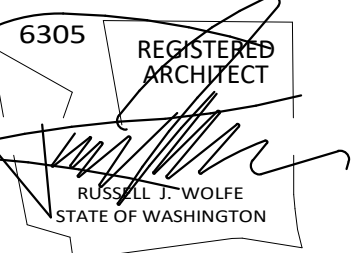
# NOMNOM ILLINOIS #10 UST REPLACEMENT

for  
**NOMNOM STORES**  
 1503 E ILLINOIS AVE  
 SPOKANE, WA 99207

## GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE STATE & LOCAL CODES
- DIMENSIONS ARE FACE OF STUD. OR GRID LINE AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION, U.O.N.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE JOB SITE TO FAMILIARIZE HER/HIMSELF WITH ALL THE EXISTING CONDITIONS THAT COULD AFFECT THE INSTALLATION OF ANY WORK SET FORTH IN THESE PLANS.
- THE JOB SITE AT THE COMPLETION OF CONSTRUCTION SHALL BE CLEAR OF ANY DEBRIS OR SPOIL, RESULTING FROM THE CONSTRUCTION. AT NO TIME SHALL THIS MATERIAL OBSTRUCT THE NORMAL OPERATION OF THE OWNER.
- ALL TERMINATIONS OF ONE FLOOR MATERIAL TO ANOTHER SHALL HAVE TRANSITION OR REDUCER STRIPS MADE FOR FLOORING TYPE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ANY UNDERGROUND OR CONCEALED UTILITY LINES THAT MAY BE REQUIRED OR AVOIDED DURING CONSTRUCTION.
- REFER TO CODE ANALYSIS AND CODE COMPLIANCE PLANS FOR FIRE RATED ASSEMBLIES, EXITING & EGRESS.
- ALL ROUGH OPENINGS ARE LOCATED 4" NEAREST ADJACENT WALL, U.O.N.
- ALL PENETRATIONS THROUGH FIRE RESISTIVE FLOORS OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLED TO CONFORM TO THE U.L. LISTING.
- U.O.N., ALL BLOCKING OR BACKING MATERIAL SHALL BE PLWD OR 2X FOR ALL WALL MOUNTED ITEMS.
- REFER TO INTERIOR SHEETS FOR ALL CASEWORK, COUNTERTOP, TRIM, FLOORING AND WALL TREATMENT DETAILS.
- THE CONTRACTOR IS ADVISED THAT DAMAGE TO ANY PORTION OF THIS PROJECT'S BUILDING AS A RESULT OF THIS PROJECT, IS TO BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL PREVAIL.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED PRIOR TO ANY PHASE OF CONSTRUCTION. FEES AND ANY RELATED COSTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DOOR OPENINGS SHALL HAVE 12" CLEAR ON THE PUSH SIDE & 18" CLEAR ON THE PULL SIDE.

## Revisions:



## ENLARGED VICINITY MAP



## VICINITY MAP



## INDEX OF DRAWINGS

- GENERAL**  
 G0.01 COVER SHEET
- ARCHITECTURAL**  
 A0.00 SURVEY  
 A0.01 EXISTING CONDITION PHOTOS  
 A0.02 DEMOLITION SITE PLAN  
 A0.03 SITE PLAN  
 A0.11 SITE DETAILS

## SYMBOLS & GRAPHICS

	GRIDLINE	ALUMINUM
	REFERENCE/ELEVATION POINT	BATT INSULATION
	INTERIOR ELEVATIONS	BRICK CUT
	BLDG SECTION	CONCRETE
	DETAIL SECTION	CONCRETE CUT
	KEYNOTE	CMU CUT
	DEMOLITION KEYNOTE	EARTH
	WINDOW TAG	E.I.F.S. IN ELEV
	FINISH KEYNOTE	FINISH WOOD
	DOOR TAG	FIRE PROOFING
	WALL TAG	GLASS
	LEVEL HEAD	GRASS
	ROOM TAG	GRAVEL
	REVISION TAG	GROUT
		GYPSUM BOARD
		METAL FRAMING
		PLASTIC
		PLYWOOD
		RIGID INSULATION
		SAND
		SPRAY INSULATION
		STEEL GRATE
		WOOD BLOCKING
		WOOD FRAME

## ABBREVIATIONS

A.B.	ANCHOR BOLT	FND	FOUNDATION	R	RADIUS OR RISER
A.F.F.	ABOVE FINISH FLOOR	FRMG.	FRAMING	RD	ROOF DRAIN
ABV	ABOVE	FT	FOOT OR FEET	REC	RECOMMENDED
ACOUS	ACOUSTICAL	FTG	FOOTING	REF	REFERENCE
ALUM	ALUMINUM	GA	GAUGE	REINF	REINFORCE, REINFORCED
ARCH	ARCHITECTURAL	GALV	GALVANIZED	REQ	REQUIRED
ASPH	ASPHALT	GC	GENERAL CONTRACTOR	RM	ROOM
BD	BOARD	CL	GLASS	S	SOUTH
BLDG	BUILDING	GND	GROUND	S & V	STAIN AND VARNISH
BLKG	BLOCKING	GWB	GYPSUM WALL BOARD	SC	SOLD CORE
BM	BEAM	GYP	GYPSUM	SCHED	SCHEDULE
BTM	BOTTOM	HB	HOUSE BIBB	SHT	SHEET
CAB	CABINET	HC	HOLLOW CORE	SHTG	SHEATHING
CB	CATCH BASIN	HDCP	HANDICAP	SIM	SIMILAR
CEM	CEMENT	HDWR	HARDWARE	SOG	SLAB ON GRADE
CJ	CONTROL JOINT	HM	HOLLOW METAL	SPEC	SPECIFICATION
CLG	CEILING	HR	HORIZONTAL	SQ FT	SQUARE FOOT
CLR	CLEAR	HT	HEIGHT	SS	STAINLESS STEEL
COL	COLUMN	IBC	INTERNATIONAL BUILDING CODE	STD	STANDARD
CONC	CONCRETE	INST	INSTALLATION	STL	STEEL
CONN	CONNECTION	INSUL	INSULATION	STOR	STORAGE
CONT	CONTINUOUS	INT	INTERIOR	STRUCT	STRUCTURAL
CT	CERAMIC TILE	JAN.	JANITOR	SUSP	SUSPENDED
CTR	CENTER	LAM	LAMINATE	SVC	SERVICE
DBL	DOUBLE	LAV	LAVATORY	T	TEMPERED
DEPT	DEPARTMENT	LOC	LOCATION	T & G	TONGUE & GROOVE
DIA	DIAMETER	MATL	MATERIAL	TC	TOP OF CURB
DN	DOWN	MECH	MECHANICAL	THK	THICK
DR	DOOR	MFG	MANUFACTURER	TP	TOP OF PLATE
DS	DOWNSPOUT	MH	MANHOLE	TP	TOP OF PAVEMENT
DTL	DETAIL	MIN	MINIMUM	TRD	THREAD
DWG	DRAWING	MISC	MISCELLANEOUS	TRTD	TREATED
E	EAST	MTD	MOUNTED	TW	TOP OF WALL
EA	EACH	MTL	METAL	TYP	TYPICAL
EIFS	EXT. INSULATION FINISH SYSTEM	N	NORTH	UNFIN	UNFINISHED
EJ	EXPANSION JOINT	NIC	NOT IN CONTRACT	UNON	UNLESS OTHERWISE NOTED
EL	ELEVATION	NO	NUMBER	VERT.	VERTICAL
ELEC	ELECTRICAL	NTS	NOT TO SCALE	VEST.	VESTIBULE
ELEV	ELEVATOR	OC	ON CENTER	VTR	VENT THRU ROOF
ENCL	ENCLOSURE	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	W	WEST
EO	EQUAL	OFOI	OWNER FURNISHED OWNER INSTALLED	W/	WITH
EQUIP	EQUIPMENT	OPP	OPPOSITE	W/O	WITHOUT
EXIST	EXISTING	PL	PLATE	WD	WOOD
EXPO	EXPOSED	PLAM	PLASTIC LAMINATE	WDW	WINDOW
EXT	EXTERIOR	PLYWD	PLYWOOD	WP	WATERPROOF
				WR	WATER RESISTANT
				WSCT	WAINSCOT
				WT	WEIGHT

## PROJECT TEAM

<b>OWNER:</b>	NOMNOM 3808 N SULLIVAN RD BLDG #15, STE 106 SPOKANE VALLEY, WA 99216 DON TAGGART (509) 960-6217 DTAGGART@PARPACIFIC.COM
<b>ARCHITECT:</b>	WOLFE ARCHITECTURAL GROUP 1015 N CALISPEL, STE B SPOKANE, WA 99201 MCKAYLA HOLLIDAY (509) 455-6999
<b>SURVEY:</b>	WHIPPLE CONSULTING ENGINEERS 21 SOUTH PINES ROAD SPOKANE VALLEY, WA 99206 RYAN ANDRADE (509) 893-2617 RANDRADE@WHIPPLECE.COM
<b>FUEL SYSTEMS:</b>	PACIFIC ENVIRONMENTAL SERVICES COMPANY 13022 W 18TH AVE AIRWAY HEIGHTS, WA 99001 MANNY CHAVEZ (509) 934-7785 MCHAVEZ@PACENVIRO.NET

## PROJECT INFORMATION

**PROJECT DESCRIPTION:**  
 REPLACEMENT OF UNDERGROUND FUEL STORAGE TANKS FOR A GAS STATION. INCLUDES REMOVAL OF EXISTING TANKS, INSTALLATION OF NEW TANKS, RELEVANT CIVIL WORK FOR DEMO AND NECESSARY IMPROVEMENTS, AND RELEVANT ELECTRICAL WORK FOR NEW CONNECTIONS.

REPLACEMENT OF EXISTING FUEL PUMPS. INCLUDES REMOVAL OF EXISTING FUEL PUMPS AND CONCRETE ISLANDS, INSTALLATION OF NEW FUEL PUMPS AND CONCRETE ISLANDS, RELEVANT CIVIL WORK FOR DEMO AND NECESSARY IMPROVEMENTS, AND RELEVANT ELECTRICAL WORK FOR NEW CONNECTIONS.

UPDATES TO EXISTING ADA PARKING AND STRIPING TO BE COMPLIANT WITH CURRENT CITY STANDARDS.

**ZONING INFORMATION:**

PARCEL NO.:	35093.0416
PARCEL AREA:	0.85 ACRES
ZONING:	NR-35 (NEIGHBORHOOD RETAIL)

COVER SHEET

NOMNOM ILLINOIS #10 UST REPLACEMENT  
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 1503 E ILLINOIS AVE  
 SPOKANE, WA 99207

**WAG**  
 Wolfe Architectural Group  
 1015 N. Calispel Street Suite "B"  
 Spokane, Washington 99201  
 p 509.455.6999 f 509.455.3933  
 www.wagarch.com

Project No.: 22.000  
 Date: 02.28.2023  
 Drawn By: MLH  
 Checked By: RJW

Sheet No.

PERMIT SET  
 02.28.2023

G0.01

SW 1/4, SEC. 09, T. 25 N., R. 43 E., W.M.

# TOPOGRAPHIC SURVEY

## NOM NOM GAS STATION

1503 E ILLINOIS AVENUE  
SPOKANE, WASHINGTON  
SW 1/4, SEC. 09, T. 25 N., R. 43 E., W.M.

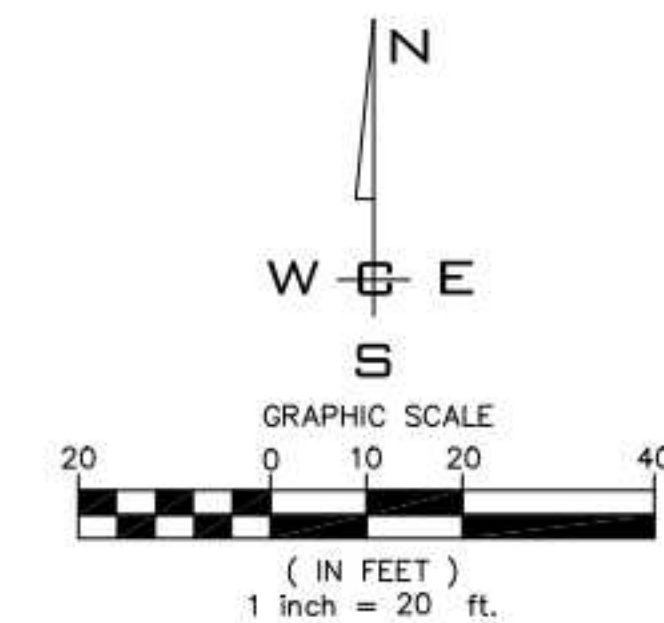
UNDERGROUND SERVICE ALERT  
ONE-CALL NUMBER  
**811**  
CALL TWO BUSINESS DAYS  
BEFORE YOU DIG

### LEGEND

- WATER**
  - ⊕ FIRE HYDRANT
  - ⊞ WATER METER
  - ⊞ WATER VALVE
  - ⊞ WATER VALVE MARKER
  - ⊙ WELL
  - WATER MANHOLE
- SEWER**
  - \* SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEANOUT
- GAS**
  - ⊞ GAS METER
  - GAS MANHOLE
  - ⊞ GAS VALVE
- IRRIGATION**
  - ⊞ IRRIGATION CATCH BASIN
  - IRRIGATION BOX
  - ⊞ IRRIGATION VALVE
- STORM**
  - CATCH BASIN
  - ⊙ DRAINAGE MANHOLE
  - ⊙ DRYWELL
  - CATCH BASIN
- POWER**
  - ⊞ ELECTRIC METER
  - ← GUY WIRE
  - ⊞ POWER POLE
  - ⊞ POWER MANHOLE
  - ⊞ POWER VAULT
  - ⊞ POWER TRANSFORMER
- TELEPHONE/MISC. UTILITIES**
  - TELE POLE
  - ⊞ TEL CABLE RISER
  - ⊞ TEL-JBOX
  - TEL MANHOLE
  - ⊙ UTILITY MANHOLE
  - ⊞ UTILITY VAULT
- MISCELLANEOUS**
  - ⊞ JUNCTION BOX
  - ⊞ JUNCTION BOX
  - ⊞ SIGN
  - ⊞ SIGN
  - ⊞ STREET LIGHT ASSEMBLY
  - LIGHT POLE
  - MAIL BOX
  - ROCK
  - RIPRAP
  - SHRUB
  - ⊞ TREE (CONIFER)
  - ⊞ TREE (DECIDUOUS)
  - ⊞ RUMBLE BARS
  - ⊙ TEST WELL
  - ⊞ WETLAND FLAG
  - ⊞ RR CROSSING SIGNAL
  - GATE POST
  - ⊙ BOLLARD



**SITE**  
SCALE: 1"=20'



P:\WCE\WORK\2022\ICE PROJECTS\2022-3390\WCE\NOM NOM (RFP, 11-889 AND 11-891)\SURVEY\DWG\3390-10-TOPOGRAPHIC SURVEY PLOT DATE: 01/09/23

NAVD - 88  
FOUND CITY BENCHMARK #21N 13E 3'  
BRASS CAP AT THE NORTHWEST CORNER  
OF ILLINOIS AVENUE & CRESTLINE STREET  
WITH A PUBLISHED ELEVATION OF 1960.10±

NO.	DATE	BY	REVISIONS
A	01/09/23	RMA	ORIGINAL PREPARATION

<b>SCALE:</b>	PROJ #: 22-3390
HORIZONTAL:	DATE: 01/09/23
1" = 20'	DRAWN: RMA
VERTICAL:	REVIEWED: RMA
N/A	

CIVIL	
STRUCTURAL	
<input checked="" type="checkbox"/> SURVEYING	
TRAFFIC	
PLANNING	
LANDSCAPE	
OTHER	

**WCE**  
WHIPPLE CONSULTING ENGINEERS  
21 S PINES ROAD  
SPOKANE VALLEY, WA 99206  
PH: 509-893-2617 FAX: 509-826-0227

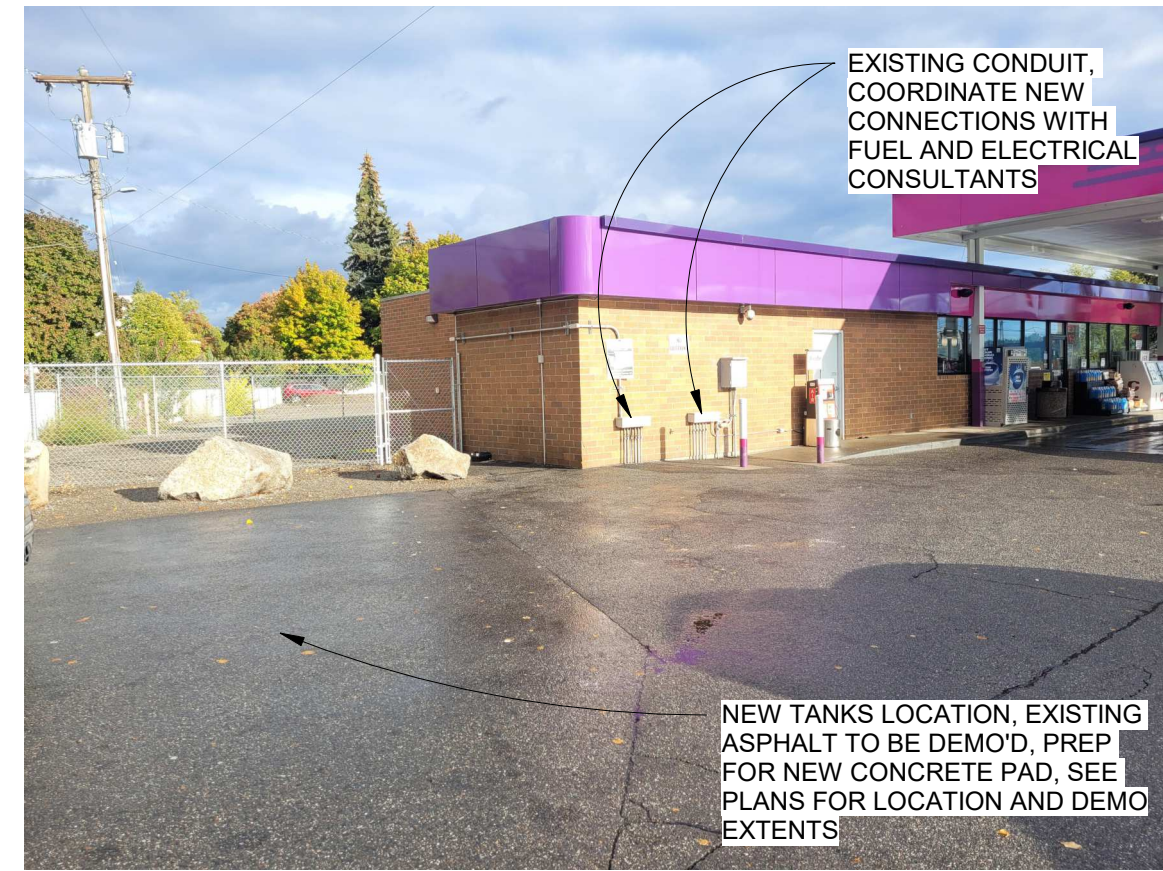
**NOM NOM GAS STATION  
TOPOGRAPHIC SURVEY  
1503 E ILLINOIS AVENUE  
SPOKANE, WA 99207**

RYAN MICHAEL  
STATE OF WASH.  
PROFESSIONAL ENGINEER  
7584  
P  
01/09/23

**SHEET  
1 OF 1**  
JOB NUMBER  
**22-3390**



1 EXISTING CONDITIONS



2 EXISTING CONDITIONS



3 EXISTING CONDITIONS



4 EXISTING CONDITIONS



7 EXISTING CONDITIONS



6 EXISTING CONDITIONS

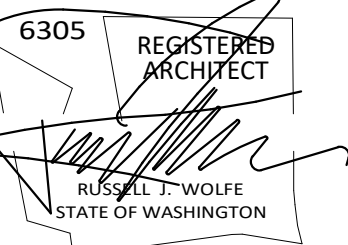


7 EXISTING CONDITIONS



8 EXISTING CONDITIONS

Revisions:

EXISTING CONDITION PHOTOS

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 Drawn By: MLH  
 Checked By: RJW

Sheet No.

**A0.01**



**GENERAL NOTES**

- 1 ALL COMPONENTS DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL, OR BETTER CONDITION W/OUT COST TO THE OWNER.
- 2 ALL EXISTING GRADING, PAVING, UTILITIES, AND STRIPING TO REMAIN, U.O.N.
- 3 REPAIR ALL EXISTING LANDSCAPE, PLANTINGS, AND IRRIGATION IN PLACE, U.O.N.

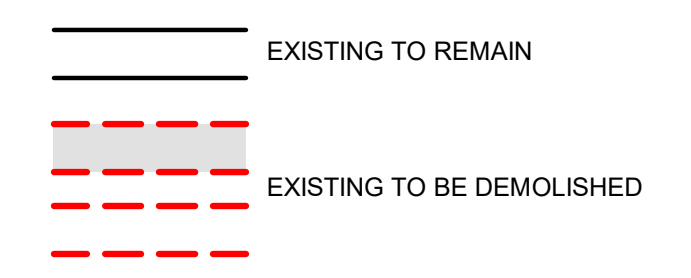
**KEYNOTES**

- 1 EXISTING MANHOLE TO REMAIN
- 2 EXISTING DRYWELL TO REMAIN
- 3 EXISTING CATCH BASIN TO REMAIN
- 4 EXISTING AIR COMPRESSOR TO REMAIN
- 5 EXISTING BOLLARDS TO REMAIN
- 6 EXISTING CONDUIT TO REMAIN. COORDINATE NEW CONNECTIONS WITH ELECTRICAL CONSULTANT
- 7 EXISTING CANOPY ABOVE TO REMAIN
- 8 EXISTING CANOPY COLUMNS TO REMAIN
- 9 EXISTING SIGN
- 10 EXISTING FIRE HYDRANT
- 11 EXISTING TRAFFIC LIGHT
- 12 EXISTING VENT LOCATION, CONNECT NEW TANK VENT LINES, COORDINATE NEW CONNECTIONS WITH FUEL CONSULTANT
- 13 EXISTING TRASH ENCLOSURE TO REMAIN
- 14 EXISTING SWALE TO REMAIN, PROTECT IN PLACE
- 15 EXISTING EMERGENCY SHUT OFF SWITCH, COORDINATE CONNECTIONS WITH FUEL AND ELECTRICAL CONSULTANTS
- 16 EXISTING CONCRETE CURB TO REMAIN, PATCH AND REPAIR AS REQUIRED
- 17 EXISTING LANDSCAPING TO REMAIN, PROTECT IN PLACE

**DEMO KEYNOTES**

- 1 DEMO EXISTING FUEL PUMPS AND CONCRETE ISLANDS, PREP FOR NEW
- 2 DEMO EXISTING CONCRETE TO MAKE WAY FOR NEW FUEL PUMPS AND ISLANDS AND CONNECTIONS, PREP FOR NEW
- 3 DEMO EXISTING ASPHALT TO MAKE WAY FOR NEW UNDERGROUND FUEL TANKS AND PADS, PREP FOR NEW CONCRETE PAD
- 4 DEMO EXISTING UNDERGROUND FUEL TANKS, BACKFILL AS REQUIRED
- 5 DEMO EXISTING CONCRETE PAD TO PREP FOR FUEL TANK REMOVAL
- 6 DEMO EXISTING FUEL TANK MANHOLES
- 7 DEMO EXISTING FUEL TANK LIDS
- 8 DEMO EXISTING PARKING STRIPING AND CURBS, PREP FOR NEW
- 9 EXISTING TENSION LINE TO BE TEMPORARILY REMOVED FOR CONSTRUCTION, COORDINATE WITH UTILITY COMPANY
- 10 DEMO EXISTING ASPHALT TO MAKE WAY FOR NEW CONDUIT/CONNECTIONS, PREP FOR NEW

**DEMO LEGEND**



Revisions:


6305 REGISTERED ARCHITECT  
  
 RUSSELL T. WOLFE  
 STATE OF WASHINGTON

DEMOLITION SITE PLAN

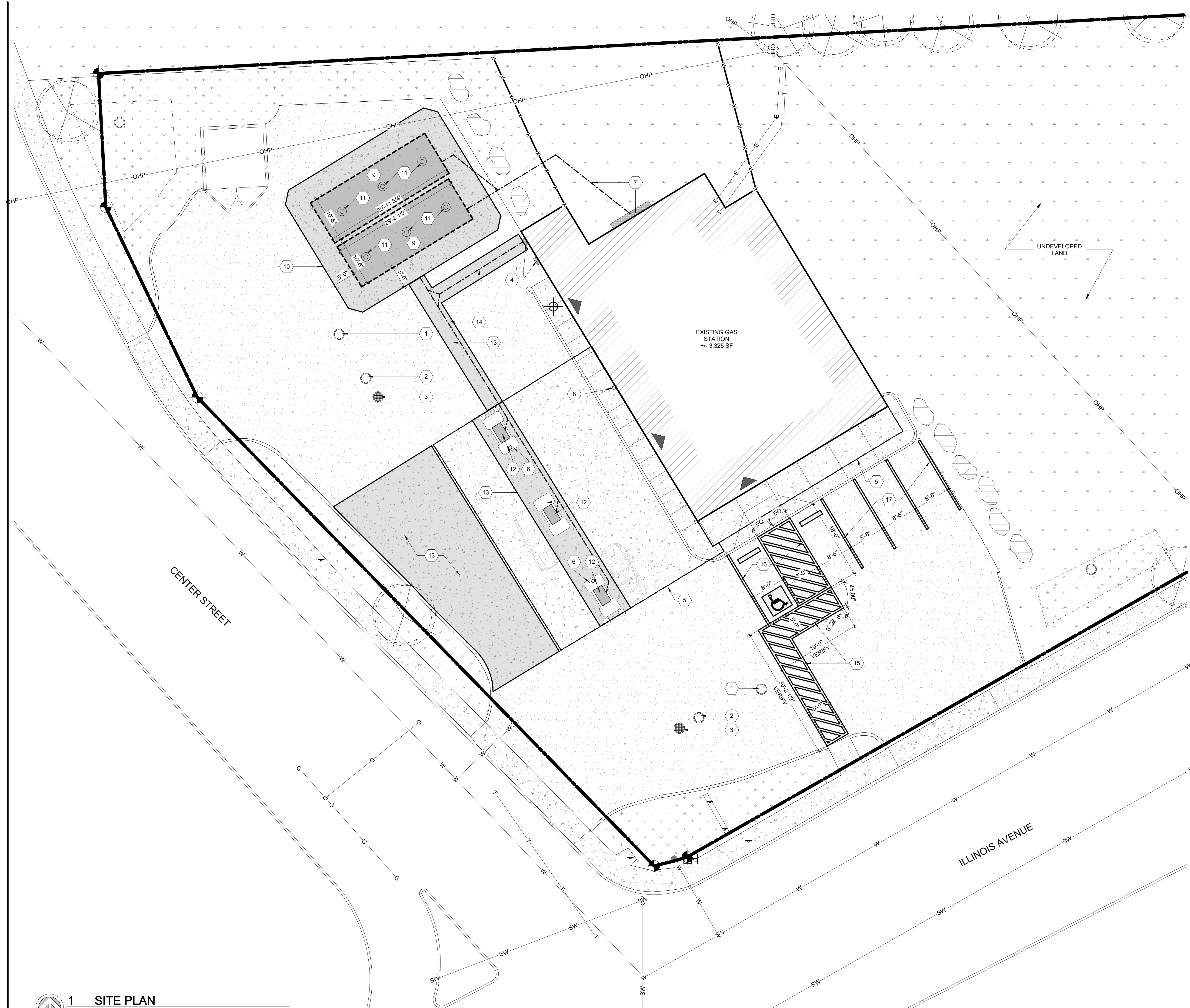
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Checked By:	RJW

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**A0.02**



**GENERAL NOTES**

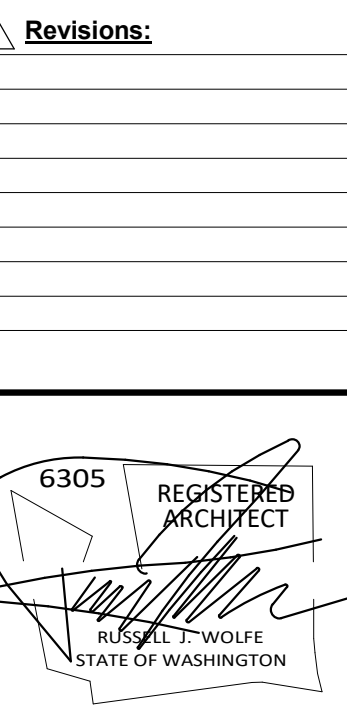
- 1 LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION \*CALL BEFORE YOU DIG\* 1-800-424-5555
- 2 SEE SITE SURVEY FOR EXISTING CONDITIONS

**KEYNOTES**

- 1 EXISTING MANHOLE, PROTECT IN PLACE
- 2 EXISTING DRYWELL, PROTECT IN PLACE
- 3 EXISTING CATCH BASIN, PROTECT IN PLACE
- 4 COORDINATE NEW ELECTRICAL CONNECTIONS WITH ELECTRICAL CONSULTANT
- 5 EXISTING CANOPY ABOVE
- 6 EXISTING CANOPY COLUMNS
- 7 CONNECT NEW TANK VENT LINES, COORDINATE NEW CONNECTIONS WITH FUEL CONSULTANT
- 8 COORDINATE CONNECTION TO EMERGENCY SHUT OFF SWITCH WITH FUEL AND ELECTRICAL CONSULTANTS
- 9 UNDERGROUND FUEL TANK, COORDINATE LOCATION, INSTALL, AND CONNECTIONS WITH FUEL AND ELECTRICAL CONSULTANTS
- 10 8" CONCRETE TANK SLAB WITH #4 REINFORCEMENT TIED AT 16" O.C.
- 11 FUEL TANK LIDS, COORDINATE LOCATION AND INSTALL WITH FUEL CONSULTANT
- 12 FUEL PUMP AND CONCRETE ISLAND, COORDINATE INSTALL AND CONNECTIONS WITH FUEL AND ELECTRICAL CONSULTANTS
- 13 6" CONCRETE DRIVE SLAB WITH #4 REINFORCEMENT TIED AT 16" O.C., MAKE FLUSH W/ ADJACENT CONCRETE SLAB/ASPHALT
- 14 TENTATIVE ELECTRICAL CONDUIT LAYOUT FOR FUEL SYSTEMS, COORDINATE WITH FUEL TANK AND ELECTRICAL CONSULTANTS
- 15 60" WIDE ACCESSIBLE PATHWAY STRIPING, 6" BLUE PER CITY STANDARDS
- 16 ADA PARKING STALL AND AISLE STRIPING PER CITY STANDARDS, SEE STANDARD PLAN G-80A (1/A0.11) AND STANDARD PLAN G-54 (2/A0.11)
- 17 PARKING STALL STRIPING, 6" WHITE

**LEGEND**

- EXISTING
- NEW
- NEW CONCRETE
- NEW TANK
- NEW CONDUIT/CONNECTION



SITE PLAN

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