

**State Environmental Policy Act (SEPA)  
ENVIRONMENTAL CHECKLIST**

File No. \_\_\_\_\_

**PLEASE READ CAREFULLY BEFORE COMPLETING THE CHECKLIST!**

**Purpose of Checklist:**

The State Environmental Policy Act (SEPA) chapter 43.21C RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An Environmental Impact Statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the agency identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the agency decide whether an EIS is required.

**Instructions for Applicants:**

This environmental checklist asks you to describe some basic information about your proposal. Governmental agencies use this checklist to determine whether the environmental impacts of your proposal are significant, requiring preparation of an EIS. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply." Complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the governmental agencies can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

**Use of checklist for nonproject proposals:**

Complete this checklist for nonproject proposals, even though questions may be answered "*does not apply*."

IN ADDITION, complete the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (Part D).

For nonproject actions, the references in the checklist to the words "project," "applicant," and "property or site" should be read as "proposal," "proposer," and "affected geographic area," respectively.

**A. BACKGROUND**

1. Name of proposed project: McKinley School Adaptive Reuse
2. Applicant: Whipple Consulting Engineers, Inc.
3. Address: 21 S. Pines Rd.  
City/State/Zip: Spokane Valley, WA 99206 Phone: 509.893.2617  
Agent or Primary Contact: Elliot Whipple @ Whipple Consulting Engineers, Inc.  
Address: 21 S. Pines Rd.  
City/State/Zip: Spokane Valley, WA 99206 Phone: 509.893.2617  
Location of Project: Spokane, WA  
Address: 120 Magnolia Street  
Section: 16 Quarter: SW Township: 25 Range: 43  
Tax Parcel Number(s) 35163.3001
4. Date checklist prepared: January 12, 2021
5. Agency requesting checklist: City of Spokane
6. Proposed timing or schedule (including phasing, if applicable):  
Project to begin construction Fall of 2021. This project may be phased.
7. a. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.  
A future project will add housing and retail buildings to the parcel.
- b. Do you own or have options on land nearby or adjacent to this proposal? If yes, explain.  
No, the owner does not own land adjacent to this proposal.
8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.  
SEPA Checklist, Trip Generation and Distribution Letter.

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

The building has been listed on the Historic Preservation Society. The Owner, City, Historical Preservation Society and Architect are currently working with each other to renovate the existing McKinley Schoolhouse. As part of this revival, several improvements are being made to this structure such as interior and restaurants/ food service, office space layouts, and residential housing units. The proposed uses will meet all current and applicable standards.

10. List any government approvals or permits that will be needed for your proposal, if known.

Grading, Water and Sewer, Stormwater, Building, and Road Work permits will be needed for this proposal.

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page.

The project site is an old schoolhouse in the Light Industrial area proposed to be used for food service, office space, and residential housing. This phase is approximately 1.51 acres of parcel 35163.3001. The project may require a separate grading permit at a later date.

12. Location of the proposal: Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit application related to this checklist.

The subject property is located on 120 Magnolia Street in Spokane Washington, S. 16, T. 25 N., R 43 E., W.M.

13. Does the proposed action lie within the Aquifer Sensitive Area (ASA)? The General Sewer Service Area? The Priority Sewer Service Area? The City of Spokane? (See: Spokane County's ASA Overlay Zone Atlas for boundaries.)

Yes, this project lies within the high susceptibility section of the CARA.

14. The following questions supplement Part A.

a. Critical Aquifer Recharge Area (CARA) / Aquifer Sensitive Area (ASA)

(1) Describe any systems, other than those designed for the disposal of sanitary waste installed for the purpose of discharging fluids below the ground surface (includes systems such as those for the disposal of stormwater or drainage from floor drains). Describe the type of system, the amount of material to be disposed of through the system and the types of material likely to be disposed of (including materials which may enter the system inadvertently through spills or as a result of firefighting activities).

This proposal will use stormwater disposal methods consistent with Spokane Regional Stormwater Manual (SRSM), which may include grassed percolation areas, evaporation ponds, Low Impact Design Ponds, drywells and gravel galleries depending upon soil types at the locations of the proposed facilities. Anticipated rate will be appropriate for the design option chosen. Because the system will follow the SRSM there will be a dead storage component of 0.5' or more in each swale or pond area that should limit direct discharge of items used in the home as well as firefighting activities. The Dead Storage is the treatment volume that is intended to infiltrate through the treatment soil component within 72 hours. Drywells or catch basins are generally used for the discharge of excess stormwater during a frozen ground condition.

(2) Will any chemicals (especially organic solvents or petroleum fuels) be stored in aboveground or underground storage tanks? If so, what types and quantities of material will be stored?

After development, it would be expected that household volumes of these types of chemicals will be stored above ground in appropriately sized containers of less than 5 gallons. During construction, no chemicals will be stored on site.

(3) What protective measures will be taken to insure that leaks or spills of any chemicals stored or used on site will not be allowed to percolate to groundwater. This includes measures to keep chemicals out of disposal systems.

Applicable best management practices (BMP's) will be used during construction to contain any leaks or spills if they occur from vehicle refueling and oiling operations. After development, commercial/restaurant grade commercial supplies and small household leaks or spills will be adequately handled prior to leaving the hard surface areas by employees or individual residents.

- (4) Will any chemicals be stored, handled or used on the site in a location where a spill or leak will drain to surface or groundwater or to a stormwater disposal system discharging to surface or groundwater?

After development, there could be commercial/restaurant cleaning supplies and household chemicals stored on-site, spills associated with restaurant and household volumes will be handled on-site by the responsible employee or resident.

b. Stormwater

- (1) What are the depths on the site to groundwater and to bedrock (if known)?

The depth to groundwater on this property is currently unknown.

- (2) Will stormwater be discharged into the ground? If so, describe any potential impacts.

Yes, treated stormwater will be discharged into the ground as allowed per the SRSM, which requires treatment prior to discharge. No potential impacts are anticipated at this time.

## B. ENVIRONMENTAL ELEMENTS

### 1. Earth

- a. General description of the site (check one):

Flat    Rolling    Hilly    Steep slopes    Mountainous

Other: \_\_\_\_\_  
\_\_\_\_\_

- b. What is the steepest slope on the site (approximate percent slope)?

The steepest slope on the site is up to 15%.

- c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

7105-Urban land, gravelly substratum, 0 to 15 percent slopes.

- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

There is no history of unstable soils in the immediate vicinity.

- e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill:

Proposed grading will be for the parking lot. The grading would involve removal of organics, preparation of street subgrade utility (wet & dry) installation, and the preparation of building pads. This will occur over the entire site. Although quantities are unknown at this time, we would anticipate the movement of approximately 2,500 cy to 5,000 cy of material onsite. No export or import is anticipated; however, if any import or export of materials is required it shall be from/to a preapproved source/destination and coordinated with the City of Spokane, which already has appropriate documentation. Please take note that a separate grading application may be made at a later date as a phase of the noted project and should be considered a part of a consolidated permit process.

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- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Some minor localized erosion from wind and rain may occur during construction but would be mitigated through the use of appropriate BMPs and generally remain onsite. No erosion would be expected from the proposed use of the site as surfaces will be stabilized by paving, concrete, building, and landscaping.

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- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt, or buildings)?

Approximately 60% to 65% of the site will be covered with impervious surfaces after project construction.

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- h. Proposed measures to reduce or control erosion or other impacts to the earth, if any:

Erosion will be reduced and controlled through the use of appropriate BMPs during construction and stabilization of disturbed soils by paving, concrete, buildings, and landscaping following construction.

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## 2. Air

- a. What type of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

During construction some fugitive dust could be expected, although the intent of the permits would be to control this instance through watering, hydroseeding, or other BMPs. Additionally, there will be exhaust fumes from construction equipment, etc. At the completion of construction, air emissions may be from home appliances such as dryers and gas furnaces, exhaust from yard maintenance equipment, resident vehicles and personal entertainment activities such as barbecuing.

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

There are no off-site emissions known at this time.

- c. Proposed measures to reduce or control emissions or other impacts to air, if any:

All site development shall comply with Spokane Regional Clean Air Agency (SRCAA), construction related requirements.

## 3. Water

- a. SURFACE WATER:

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

There is no surface body of water in the immediate vicinity of the site.

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

No, as there are no waters in the vicinity of this project, no work will be done in the vicinity of waters of the state.

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from the surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

No fill or dredge material are proposed to be placed in, or removed from, any surface waters. \_\_\_\_\_

- (4) Will the proposal require surface water withdrawals or diversions? If yes, give general description, purpose, and approximate quantities if known.

No, the proposal will not require any surface water withdrawals or diversions. \_\_\_\_\_

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No groundwater will be withdrawn from this site. All potable water used will be provided by the local purveyor per their existing water right. The project's stormwater will be discharged to the underlying soils and groundwater as allowed per the Spokane Regional Stormwater Manual (SRSM). A project specific storm drainage report will be provided when the project site is in the design process. \_\_\_\_\_

- (6) Does the proposal involve any discharge of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No wastewater will be discharged via septic or other onsite systems. The subject site is in the Spokane County utility service area and will be served by public sewer. \_\_\_\_\_

b. GROUNDWATER:

- (1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

No groundwater will be withdrawn from this site. All potable water used will be provided by the local purveyor per their existing water right. The project's stormwater will be discharged to the underlying soils and groundwater as allowed per the Spokane Regional Stormwater Manual (SRSM). A project specific storm drainage report will be provided when the project site is in the design process. \_\_\_\_\_

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...;

agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

No wastewater will be discharged via septic or other onsite systems. The subject site is in the Spokane County utility service area and will be served by public sewer.

c. WATER RUNOFF (INCLUDING STORMWATER):

(1) Describe the source of runoff (including stormwater) and method of collection and disposal if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

The source of runoff from this site after completion of the project will be from the constructed elements of the project or the existing structures onsite including but not limited to buildings, streets, sidewalks, driveways, open spaces, etc. The intent is to convey stormwater to catchments or pond areas to treat and discharge the treated stormwater as required by the SRSM to the underlying soils, via swales, ponds, drywells, galleries, etc. This treated stormwater is anticipated to eventually reach groundwater.

(2) Could waste materials enter ground or surface waters? If so, generally describe.

No, as stormwater is required to be treated per the SRSM. All future runoff will be treated in the catchment areas before infiltrating through the treatment soil and into the native soil. The project will be connected to public sewer for household waste collection. Any spills on site will/would be contained within project swales and will/would be easily remediated prior to any discharge below grade.

(3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

The proposal will not alter or otherwise affect drainage patterns in the vicinity of the site.

d. PROPOSED MEASURES to reduce or control surface, ground, and runoff water, and drainage patten impacts, if any.

The project will be developed following the requirements for stormwater as outlined in the SRSM. Additional measures, if any, will be added if required during the design and approval process with the City of Spokane and any other affected agencies.

#### 4. Plants

a. Check the type of vegetation found on the site:

Deciduous tree:  alder  maple  aspen

Other: \_\_\_\_\_

Evergreen tree:  fir  cedar  pine

Other: \_\_\_\_\_

Shrubs  Grass  Pasture  Crop or grain

Orchards, vineyards or other permanent crops

Wet soil plants:  cattail  buttercup  bullrush  skunk cabbage

Other: \_\_\_\_\_

Water plants:  water lily  eelgrass  milfoil

Other: \_\_\_\_\_

Other types of vegetation: Weeds on site \_\_\_\_\_

b. What kind and amount of vegetation will be removed or altered?

It should be expected that all existing vegetation within the development area will be removed.

c. List threatened and endangered species known to be on or near the site.

A review of the Spokane County Fish and Wildlife Map did not reveal any critical habitat. There are 10 plant species listed in Washington. Of these, none are found on site; however, the following have habitat that covers this region: Yellow-Billed Cuckoo and Spaldings Catchfly.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

No measures are proposed at this time to preserve or enhance vegetation on the site.

List all noxious weeds and invasive species known to be on or near the site.

There are no known invasive plant species known to be on or near the site.

**5. Animals**

- a. Check and List any birds and other animals which have been observed on or near the site or are known to be on or near the site:

Birds:  hawk  heron  eagle  songbirds

Other: \_\_\_\_\_

Mammals:  deer  bear  elk  beaver

Other: \_\_\_\_\_

Fish:  bass  salmon  trout  herring  shellfish

Other: \_\_\_\_\_

Other (not listed in above categories): \_\_\_\_\_

\_\_\_\_\_

- b. List any threatened or endangered animal species known to be on or near the site.

A review of the Spokane County Fish and Wildlife Map did not reveal any critical habitat. There are 21 animal species listed in Washington. Of these, none are found on site; however, the following have habitat that covers this region: Yellow-Billed Cuckoo and Spaldings Catchfly.

- c. Is the site part of a migration route? If so, explain.

Spokane County is part of the Pacific Flyway migration route. An online review of the County Habitat map did not list any migration routes in this area.

- d. Proposed measures to preserve or enhance wildlife, if any:

As this is a highly urbanized development within the Urban Growth Boundary, no preservation or enhancement measures will be provided.

- e. List any invasive animal species known to be on or near the site.

There are no known invasive animal species known to be on or near the site.

## 6. Energy and natural resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.  
None, as this is a parking lot that is not proposed to store large quantities of toxic or flammable chemicals, there are no large-scale health hazards anticipated to the general public.
- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.  
No as this project will not involve any new buildings, the potential use of solar energy by adjacent properties will not be affected.
- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:  
At this time none are proposed beyond those required by current city, state, county, and national energy code.

## 7. Environmental health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste that could occur as a result of this proposal? If so, describe.  
None as this is a parking lot that is not proposed to store large quantities of toxic or flammable chemicals, there are no large-scale health hazards anticipated to the general public.
- (1) Describe any known or possible contamination at the site from present or past uses.  
No contamination of the site from present or past uses is known at this time.
- (2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.  
There are no known existing hazardous chemicals or conditions that might affect project development and design.

- (3) Describe any toxic or hazardous chemicals/conditions that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

No toxic or hazardous chemicals/conditions would be stored, used, or produced during the project's development or construction.

- (4) Describe special emergency services that might be required.

No special emergency services that might be required for this project.

- (5) Proposed measures to reduce or control environmental health hazards, if any:

No measures are proposed as during construction contractors are anticipated to follow all local, state, and federal regulations regarding the handling, and storage of hazardous and toxic chemicals stored on site.

b. NOISE:

- (1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

There is a railroad to the north of the project, and typical traffic associated with minor streets may cause noise.

- (2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

In the short term, noises from construction equipment for both land disturbing and building construction. Long term noise would be typical traffic. Construction noise is anticipated to occur during daylight hours.

- (3) Proposed measure to reduce or control noise impacts, if any:

Construction restricted to hours as allowed by code.

**8. Land and shoreline use**

- a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

The current use of the site and adjacent properties is Light Industrial.

- b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?

The project site has not been used as working farmlands or working forest lands in the near past.

- 1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

This proposal will not affect or be affected by surrounding working farm or forest land.

- c. Describe any structures on the site.

There are two structures on the subject property. One is an old school and the other is a concrete industrial building.

- d. Will any structures be demolished? If so, which?

Neither structure will be demolished as a part of this project.

- e. What is the current zoning classification of the site?

The current zoning classification of the site is Light Industrial.

- f. What is the current comprehensive plan designation of the site?

The current comprehensive plan designation of the site is Light Industrial.

- g. If applicable, what is the current shoreline master program designation of the site?

There is no shoreline master program designation on this site according to the City of Spokane GIS.

- h. Has any part of the site been classified as a critical area by the city or the county? If so, specify.

This site is not classified as an environmentally sensitive area according to the City of Spokane GIS.

- i. Approximately how many people would reside or work in the completed project?

Approximately 30 people would reside in the redeveloped schoolhouse.

- j. Approximately how many people would the completed project displace?  
No people will be displaced by the creation of this parking lot. \_\_\_\_\_
- k. Proposed measures to avoid or reduce displacement impacts, if any:  
No measures proposed to avoid or reduce displacement impacts. \_\_\_\_\_
- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:  
No measures are proposed to ensure the proposal is compatible with existing and projected land uses aside from compliance to City laws. \_\_\_\_\_
- m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any:  
None proposed as there are no nearby agricultural or forest lands. \_\_\_\_\_

**9. Housing**

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.  
Approximately 19 housing units and 9 commercial spaces will be provided with this project. \_\_\_\_\_
- b. Approximately how many units, if any, would be eliminated? Indicate whether high-, middle- or low-income housing.  
No units will be eliminated for this project. \_\_\_\_\_
- c. Proposed measures to reduce or control housing impacts, if any:  
No measures are proposed as no housing impacts are anticipated. \_\_\_\_\_

## 10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

No structures are proposed to be built with this project. \_\_\_\_\_

- b. What views in the immediate vicinity would be altered or obstructed?

No views will be altered or obstructed as there will be no structures built. \_\_\_\_\_

- c. Proposed measures to reduce or control aesthetic impacts, if any:

There is a proposed covered patio at this current time and date. This patio will be designed to meet all standards from local jurisdictions and The Historic Preservation Society. No other measures are proposed at this time. \_\_\_\_\_

## 11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Parking lot lights may produce light or glare in the night hours of this project. \_\_\_\_\_

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

We do not anticipate that light or glare from the completed project would impact or create a safety hazard to the adjacent or surrounding areas. \_\_\_\_\_

- c. What existing off-site sources of light or glare may affect your proposal?

There are no known off-site sources of light or glare that may affect the proposed project. \_\_\_\_\_

- d. Proposed measures to reduce or control light and glare impacts, if any:

There are no measures to control light and glare impacts beyond existing codes. \_\_\_\_\_

## 12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

Designated recreational opportunities include Liberty Park, Stone Park, and Underhill Park. \_\_\_\_\_

Informal recreational opportunities include Gonzaga University. \_\_\_\_\_

- b. Would the proposed project displace any existing recreational uses? If so, describe.

No recreational uses are anticipated to be displaced with this proposed project. \_\_\_\_\_

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

No measures proposed as there are no recreational opportunities displaced. \_\_\_\_\_

### 13. Historic and cultural preservation

- a. Are there any buildings, structures, or sites, located on or near the sited that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe.

A search of WISAARD revealed the McKinley School as a registered property. \_\_\_\_\_

- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

McKinley School is noted as a registered property. Aside from the school, there are no known landmarks of Indian or historic use or occupation. Due to the highly disturbed nature of the site, it is unlikely that any historical landmarks exist to the day. \_\_\_\_\_

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archaeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

We used WISAARD, a GIS map, to review nearby cultural sites or areas of high potential impact. \_\_\_\_\_

- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required

An inadvertent discovery plan will be prepared noting that during construction, if any artifact or human remains are discovered the project will stop in that area and the City of Spokane and owner will be notified. \_\_\_\_\_

### 14. Transportation

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

The site will access Napa Street and Riverside Avenue. Please see the site plan for more information. \_\_\_\_\_

- b. Is site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop

The site is nearby STA stop 90 at Sprague and Napa.

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

Approximately 55 total stalls will be provided with 52 of those being standard stalls and 3 being handicap stalls.

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

This project will not require new roads or streets.

- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail or air transportation? If so, generally describe.

The project is not anticipated to use water, rail, or air transportation. The BNSF Railway is to the north and to the west of the subject property; however, access is limited.

- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates?

As shown on the Trip Generation and Distribution Letter, the project is anticipated to generate 17 AM and 42 PM peak hour trips. The project is anticipated to generate 598 ADT to/from the site.

*(Note: to assist in review and if known, indicate vehicle trips during PM peak, AM Peak, and Weekday (24 hours).)*

- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, general describe.

No, this proposal will not interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area.

- h. Proposed measures to reduce or control transportation impacts, if any:

There are no measures proposed to reduce or control transportation impacts.

### 15. Public services

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.

At this time and as an infill project we do not believe that this project will negatively impact these services below an acceptable level nor beyond the services ability to self-regulate per the comprehensive plan.

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- b. Proposed measures to reduce or control direct impacts on public services, if any:

No measures are proposed at this time.

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### 16. Utilities

- a. Check utilities currently available at the site:

- electricity
- natural gas
- water
- refuse service
- telephone
- sanitary sewer
- septic system

Other: \_\_\_\_\_

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- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed:

Electricity will be provided by Avista

Gas will be provided by Avista

Water will be provided by the City of Spokane

Refuse will be provided by the City of Spokane

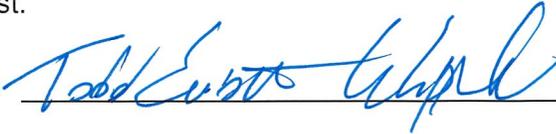
Phone will be provided by Century Link

Sewer will be provided by the City of Spokane

Cable will be provided by Comcast

**C. SIGNATURE**

I, the undersigned, swear under penalty of perjury that the above responses are made truthfully and to the best of my knowledge. I also understand that, should there be any willful misrepresentation or willful lack of full disclosure on my part, the agency must withdraw any determination of Nonsignificance that it might issue in reliance upon this checklist.

Date: 01-28-2021 Signature: 

**Please Print or Type:**

Proponent: \_\_\_\_\_ Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Person completing form (if different from proponent): \_\_\_\_\_

Phone: \_\_\_\_\_ Address: \_\_\_\_\_

\_\_\_\_\_

<p><b>FOR STAFF USE ONLY</b></p> <p>Staff member(s) reviewing checklist: _____</p> <p>Based on this staff review of the environmental checklist and other pertinent information, the staff concludes that:</p> <p><input type="checkbox"/> A. there are no probable significant adverse impacts and recommends a Determination of Nonsignificance.</p> <p><input type="checkbox"/> B. probable significant adverse environmental impacts do exist for the current proposal and recommends a Mitigated Determination of Nonsignificance with conditions.</p> <p><input type="checkbox"/> C. there are probable significant adverse environmental impacts and recommends a Determination of Significance.</p>
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