

### SITE PLAN NOTES

- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. WHERE SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET THE FINAL GRADE SHALL SLOPE AWAY FROM THE FOUNDATION AT A MINIMUM SLOPE OF 2 PERCENT AND THE WATER SHALL BE DIRECTED TO DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. SWALES SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHEN LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 1 PERCENT MINIMUM AWAY FROM THE BUILDING.
- ALL SITE MEASUREMENTS ARE APPROXIMATE AND ARE FOR ILLUSTRATIVE PURPOSES ONLY. IN NO WAY DOES THIS DOCUMENT REPRESENT OR CONSTITUTE A LAND SURVEY.

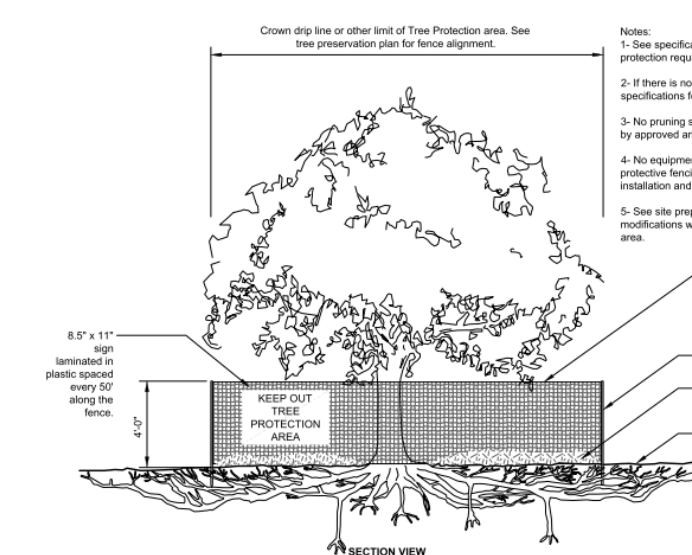
### SITE PLAN LEGEND

- 5' CONTOUR
- 2.5' CONTOUR
- EXISTING TREE TO REMAIN
- 44" MIN. WIDE ACCESSIBLE PATH

### SITE PLAN KEYNOTES (SP)

- SP-1 EXIST. APPROACH TO REMAIN
- SP-2 EXIST. SEPARATED SIDEWALK
- SP-3 DEMO REMOVE EXISTING APPROACH @ INTERSECTION
- SP-4 NEW APPROACH PER CITY OF SPOKANE STANDARDS
- SP-5 EXIST. STREET LIGHT
- SP-6 NEW APPROACH PER CITY OF SPOKANE STANDARDS
- SP-7 6' L2 LANDSCAPE SEE THROUGH BUFFER LOCATED BETWEEN PARKING LOT AND STREET RIGHT-OF-WAY
- SP-8 PROPERTY LINE TO BE REMOVED VIA BOUNDARY LOT LINE ADJUSTMENT (PROPERTIES TO BE AGGREGATED)
- SP-9 EXIST. LANDSCAPE STORAGE YARD
- SP-10 SWALE
- SP-11 ALL PORTIONS OF THE SITE NOT COVERED BY STRUCTURES OR HARDSCAPE SHALL BE PLANTED IN L3 OPEN AREA LANDSCAPING (UP TO 15%)
- SP-12 EXISTING CHAINLINK ENCLOSURE
- SP-13 EXISTING SWALE
- SP-14 EXISTING PARKING
- SP-15 EXISTING CHAINLINK ENCLOSURE
- SP-16 NEW LANDSCAPE STORAGE YARD W/ MINIMUM 6" OF COMPACT GRAVEL AT FIRE APPARATUS TURNAROUND INDICATED ON SITE PLAN
- SP-17 EXISTING STREET TREE TO REMAIN
- SP-18 DUMPSTER ENCLOSURE
- SP-19 SITE TREE; SEE LANDSCAPE DWGS
- SP-20 CONCRETE CONTROL JOINT
- SP-21 CHAINLINK GATE
- SP-22 SWALE INLET; SEE CIVIL DWGS
- SP-23 EXISTING 12" W LINE; SEE CIVIL DWGS
- SP-24 NEW FIRE HYDRANT LOCATED IN PLANTING AREA
- SP-25 EXISTING 12" SANITARY SEWER; SEE CIVIL DWGS
- SP-26 EXISTING POWER POLE AND UG FEED TO REMAIN
- SP-27 EXISTING 1" W LINE & WATER VAULT TO REMAIN; SEE CIVIL DWGS
- SP-28 EXISTING 2" W LINE & WATER VAULT TO REMAIN; SEE CIVIL DWGS
- SP-29 STRIPPING CURB OF SPOKANE STANDARDS
- SP-30 FLUSH CONCRETE CURBING, SLOPE ASPHALT TO MEET CURB HEIGHT AT 5% MAX SLOPE
- SP-31 EXISTING 8" SANITARY SEWER; SEE CIVIL DWGS
- SP-32 STEEL BENCH; SEE 12' A004
- SP-33 BOARDFORM CONCRETE RETAINING WALL
- SP-34 18" DOUBLE HEAD LIGHT POLE; SEE ELEC DWGS, TYP OF 4

### TREE PROTECTION SPECIFICATIONS



### TREE PROTECTION SPECIFICATIONS FOR DEVELOPMENT IN THE CITY OF SPOKANE

- GENERAL**  
The City of Spokane's Municipal Code requires that tree pruning, planting, or removal work within the public right-of-way and on public property must be performed by a person or entity with a commercial tree license. (SMC 10.25.010)  
Additionally, all tree pruning (crown or root) and tree removal work must be performed by an International Society of Arboriculture (ISA) certified arborist or certified tree worker. Tree planting must be directly supervised by an ISA certified arborist or certified tree worker.  
The term "Contracted Arborist" shall be used in the remainder of this document to refer to the licensed tree company.  
All equipment to be used and all work to be performed must be in full compliance with the most current revision of the American National Standards Institute Z-133-2017, or as amended.
- TREE PROTECTION ZONE**  
For the purpose of protecting trees in the right of way during development, the contractor/developer must install the TPZ in accordance with the standards below.  
The tree protection zone (TPZ) will either be determined in the field by Urban Forestry staff or established by the Contracted Arborist for approval by Urban Forestry staff prior to any excavation or work by the following method. The minimum TPZ shall be equal to the Critical Root Zone (CRZ) as defined by the International Society of Arboriculture (ISA): an area equal to 1 foot radius from the base of the tree's trunk for each 1 inch of the tree's diameter at 4.5 feet above grade (referred to as diameter at breast height or dbh). TPZ modifications may be made due to construction objectives and site infrastructure only with prior authorization by Urban Forestry staff.  
Mulch: The area within the TPZ shall be mulched with 1-2 inches of untreated wood chips, leaving a 1 foot radius from the trunk free of mulching materials, unless otherwise pre-approved by Urban Forestry staff.  
Water: All trees designated for protection shall receive 5-10 gallons of water per caliper inch every seven days throughout the construction period. The amount and frequency of irrigation may be adjusted as needed due to temperature fluctuations and site conditions. Temporary Fencing: Install temporary fencing, 3' tall minimum, orange plastic construction fencing per manufacturer's specifications, located as indicated or outside the TPZ of trees to protect remaining vegetation from construction damage. Fencing must be maintained at all times during construction. Alternative or modified fencing material may be permitted with prior authorization by Urban Forestry staff.  
Removal of Hardscapes: Where equipment is necessary to remove hardscapes in proximity of a protected tree, construction personnel must exhibit due care to ensure no damage occurs to the existing roots. If roots are encountered in the demo area, consultation with Urban Forestry staff or a Contracted Arborist is required to determine best management practice to meet construction and tree preservation objectives.  
Protect tree root systems from damage due to noxious materials caused by runoff or spillage while mixing, placing, or storing construction materials. Protect root systems from flooding, eroding, or excessive wetting caused by dewatering operations.  
Do not store construction materials, debris, or excavated material within the TPZ of remaining trees. Do not permit vehicles or foot traffic within the TPZ; prevent soil compaction over root systems.



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PROFESSIONAL SEAL

NEW COMMERCIAL BUILDING FOR  
**MARKET MIXED USE**

ADDRESS  
5616, 5612 & 5520 N. MARKET STREET  
SPOKANE WASHINGTON 99208

JOB  
20.05

DRAWN BY  
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CHECKED BY  
EJV

SCALE  
As Indicated

DATE  
10.16.20

PROJECT STATUS  
PROGRESS - NOT FOR CONSTRUCTION

REVISIONS

# DESCRIPTION DATE