

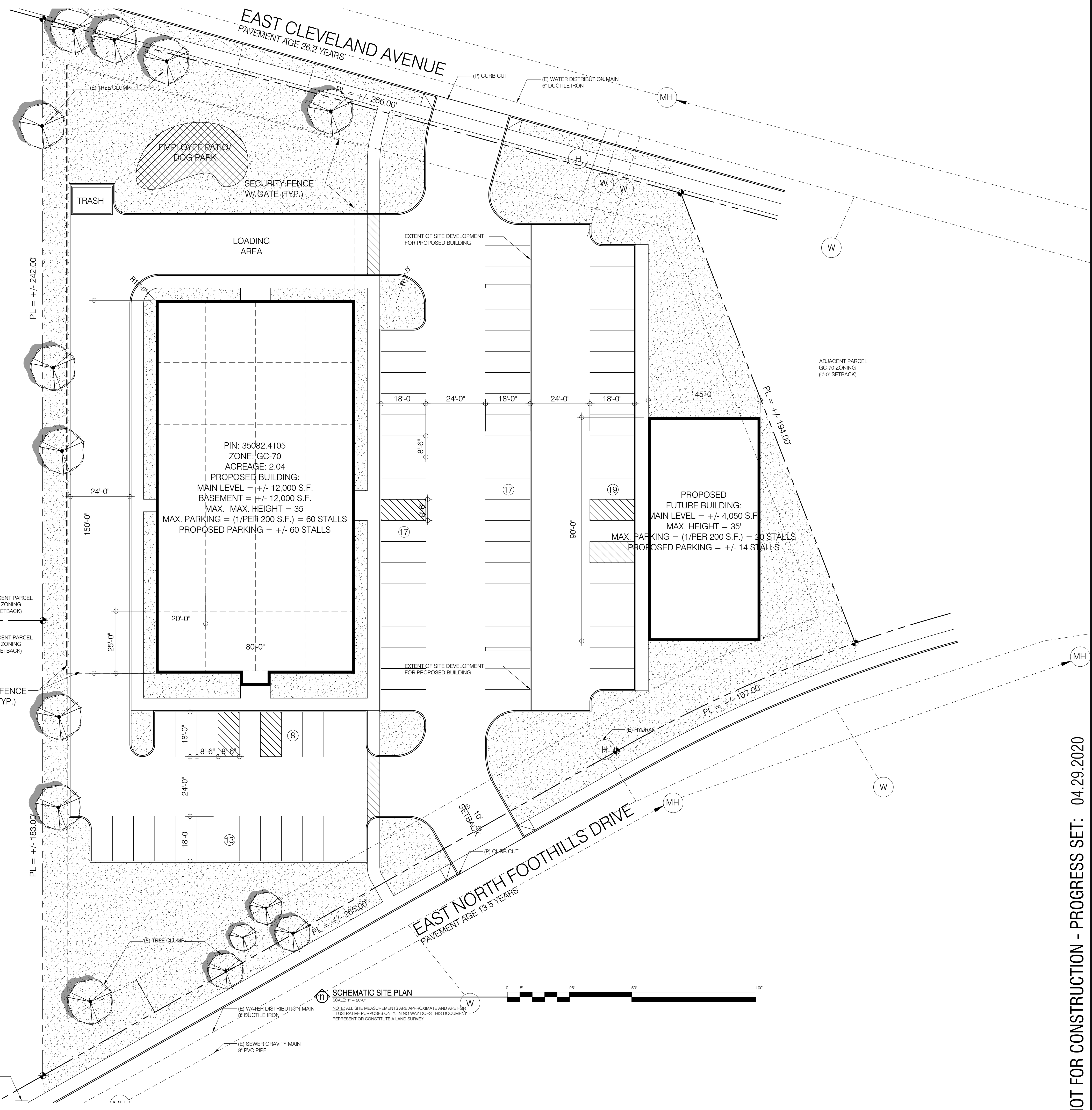
REVISIONS		
#	DESCRIPTION	DATE

PAW PRINT GENETICS
519 E NORTH FOOTHILLS DR
SPOKANE, WA 99207
PIN #: 35082.4105

PROJECT NO. 19.033
DRAWN BY: TS
CHECKED BY:
DATE:

PD.01
PREDEVELOPMENT
SITE PLAN

NOT FOR CONSTRUCTION - PROGRESS SET: 04.29.2020



PRE DEVELOPMENT SITE PLAN
SCALE: 1" = 20'-0"

0 5' 25' 50'

NOTE: ALL SITE MEASUREMENTS ARE APPROXIMATE AND ARE FOR ILLUSTRATIVE PURPOSES ONLY. IN NO WAY DOES THIS DOCUMENT REPRESENT OR CONSTITUTE A LAND SURVEY.

- PROJECT ADDRESS: 519 EAST NORTH FOOTHILLS DRIVE SPOKANE, WASHINGTON 99207
- PARCEL NUMBER: 35082.4105
- PRIMARY CONTACT: UPTIC STUDIOS 152 SOUTH JEFFERSON ST., SUITE 101 SPOKANE, WASHINGTON 99201 509 850 3698 MATTHEW COLLINS COLLINS@UPTICSTUDIOS.COM
- PROPERTY OWNER: PAW PRINT GENETICS LISA SHAFFER, CEO 220 EAST ROWAN AVE. STE. 220 SPOKANE, WASHINGTON 99207
- PROJECT VALUATION: \$3,000,000
- EST. CONSTRUCTION DATE: SUMMER 2020
- ZONE: LI (LIGHT INDUSTRIAL), RMF (RESIDENTIAL MULTI-FAMILY)
- REQUIRED SETBACKS: MIN. STREET LOT LINE: 0' MIN. FRONT LOT LINE: 10' MIN. SETBACK ABUTTING R ZONES: 10' MIN. SETBACK ABUTTING GC-70: 0'
- PARKING: MIN.: 1 500 OR 24 AT 12,000 SF FOOTPRINT MAX.: 1 200 OR 60 AT 12,000 SF FOOTPRINT MIN (3) ACCESSIBLE @ 68 PROVIDED
- LANDSCAPE: L3 REQUIRED
- MAXIMUM HEIGHT: 70' ABUTTING R ZONES: 35'
- BUILDING FOOTPRINT: +/- 11,600 SF MAX. BUILDING COVERAGE: 80% FAR: 2.5
- PROPOSED USE: OFFICE SPACE/LABORATORY GROUP B
- CONSTRUCTION TYPE: VB
- FIRE PROTECTION: SPRINKLED



VICINITY MAP
NTS

SCHEMATIC SITE PLAN
SCALE: 1" = 20'-0"

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