



Spokane Plan Commission Agenda

April 25, 2018

2:00 PM to 4:30 PM

Council Chambers

808 W. Spokane Falls Blvd., Spokane WA 99201

TIMES GIVEN ARE AN ESTIMATE AND ARE SUBJECT TO CHANGE

Public Comment Period:

3 minutes each Citizens are invited to address the Plan Commission on any topic not on the agenda.

Commission Briefing Session:

| | | |
|------------|--|------------------|
| 2:00 -2:15 | 1) Approve April 11th, 2018 meeting minutes | All |
| | 2) City Council Report | Lori Kinnear |
| | 3) Community Assembly Liaison Report | (Greg Francis) |
| | 4) President Report | Dennis Dellwo |
| | 5) Transportation Sub- Committee Report | John Dietzman |
| | 6) Secretary Report | Heather Trautman |

Workshops:

| | | |
|------------|--|------------------|
| 2:15 -2:45 | 1) Downtown Plan Update | Kevin Freibott |
| 2:45 -3:00 | 2) Citywide Capital Improvement Program | Crystal Marchand |
| 3:00- 3:30 | 3) Infill Dimensional and Transitional Standards | Nathan Gwinn |

Items of Interest:

| | | |
|-----------|--|-----|
| 3:30-4:00 | 1) Member Items of Interest/Requests for Future Agenda | All |
|-----------|--|-----|

Hearings:

| | | |
|------------|--|----------------|
| 4:00- 4:30 | DTC-100 Zone Amendment Hearing | Kevin Freibott |
|------------|--|----------------|

Adjournment:

Next Plan Commission meeting will be on May 9, 2018 at 2:00 pm

The password for City of Spokane Guest Wireless access has been changed: **Username: COS Guest Password: 99c4uQeD**

AMERICANS WITH DISABILITIES ACT (ADA) INFORMATION: The City of Spokane is committed to providing equal access to its facilities, programs and services for persons with disabilities. The Spokane City Council Chamber in the lower level of Spokane City Hall, 808 W. Spokane Falls Blvd., is wheelchair accessible and also is equipped with an infrared assistive listening system for persons with hearing loss. Headsets may be checked out (upon presentation of picture I.D.) at the City Cable 5 Production Booth located on the First Floor of the Municipal Building, directly above the Chase Gallery or through the meeting organizer. Individuals requesting reasonable accommodations or further information may call, write, or email Human Resources at 509.625.6363, 808 W. Spokane Falls Blvd, Spokane, WA, 99201; or msteinolfson@spokanecity.org. Persons who are deaf or hard of hearing may contact Human Resources through the Washington Relay Service at 7-1-1. Please contact us forty-eight (48) hours before the meeting date.

Spokane Plan Commission

April 11, 2018

Meeting Minutes

Meeting called to order at 2:00 pm

Attendance:

- Commission Members Present: Dennis Dellwo- President; Michael Baker; John Dietzman; Greg Francis; Sylvia St. Clair; Carole Shook; Todd Beyreuther; Christopher Batten; Patricia Kienholz; Lori Kinnear - City Council Liaison.
- Commission Members Absent: Community Assembly Liaison (TBD).
- Quorum met.
- Staff Members Present: Heather Trautman; Jacqui Halvorson.

Public Comment Period:

No comments.

Commission Briefing Session:

1. Approve March 28, 2018 meeting minutes.

Todd made a motion to approve; Mike seconded. Minutes approved 8/0, 1 abstention.

2. City Council Report: Councilmember Kinnear

- a. Lori indicated Matthew Antush was approved as a new municipal court judge, filling a vacancy.
- b. Major Kane from the SPD presented a report at Monday's City Council meeting regarding vehicle theft abatement and strategies trying to prevent it, noting the numbers are still too high. Many thefts are preventable, e.g. keys left in/near cars; car left running/unattended.
- c. Council received the results of the homeless individuals 'Point-in-Time' count called "Everybody Counts Campaign"; 1,245 individuals and 1,012 households were counted. Surrounding areas were included such as Deer Park and Cheney. City is doing better housing vets, but not the 18-24 yo group. Also learned why people are homeless - e.g. domestic violence, substance abuse, Vets; which can help us mitigate homelessness by getting them to services needed.
- d. Lori is working on an ordinance called "Public Lands and Properties" because there is a concern about people using our public lands inappropriately. Council will be briefed on Thursday during the study session. The draft ordinance has been reviewed by Parks, CHHS, and the SPD.

3. Community Assembly Liaison Report: Commission member Greg Francis gave a status report. (Liaison position is currently vacant and in recruiting process - hoping to fill within two months.)

- a. CA had a briefing of current construction projects.
- b. Have received one applicant for the CA liaison position, which will close this week. Will need to go through the City Council and Mayor applicant process.
- c. CA to have a presentation of the Comp Plan amendment process next week.
- d. There is concern about the proposed building height amendment by several neighborhoods.

4. President Report: Dennis Dellwo:

On May 3rd there will be a joint Plan Commission and City Council meeting. Please attend! Contact Heather or Dennis for agenda item suggestions.

5. Transportation Sub-Committee Report: John Dietzman

- a. Brandon Blankenagle gave the final presentation of the 6-Year Transportation Program additions and changes, and the PCTS agreed on a proposal that he will present later today.

- b. We also had an interesting presentation by Rick Romero on the Strategic Plan, with a lot of interest and discussion on that topic.
- c. I attended the NSC Children of the Sun charrette on Saturday.
- d. The next PCTS meeting will be June 5th.

6. Secretary Report: Heather Trautman

- a. Diana Painter is expected to be confirmed as a new commission member at next Monday's City Council meeting.
- b. We will be offering training for new or other PC members to get oriented to the PC process and Land Use 101. We can schedule a meeting for one-on-ones or as a group. Contact Jacqui or me.
- c. We are also offering to PC members the opportunity to attend planning workshops and conferences throughout the year. Three PC members have signed-up for the APA Priest Lake conference at the end of May.
- d. We have updated the Agenda Management Tool. The impact fee hearing has been moved out to May. John asked what was holding-up the process. Heather indicated there is an airport land use question that needs to be resolved.

Workshops:

6-Year Transportation Program Update - Brandon Blankenagle

Brandon gave a consistency review presentation of the 6-Year Transportation Program describing the process of filling out the consistency matrix, and reviewed the Street Program Reconciliation sheet. He explained how projects are funded, and noted that the matrix is not used to score a project but to show that it is consistent with the Comprehensive Plan and Strategic Plan.

Brandon said he would be coming back to the Plan Commission next month for a hearing, and asked the Commission to review and make comments on the 6-Year Transportation Program Consistency Matrix for the 2019-2024 schedule: Are we correct or not in our analysis, ***"that the projects coming into the Program and projects previously included in the Program are consistent with the Comprehensive Plan as shown in the Consistency Matrix"***? Are these policies being implemented by the proposed projects? If they agree with the Consistency Matrix analysis, he will ask for their subsequent recommendation of approval to City Council.

Brandon will present the Program at a public hearing May 9th, after which it will go to the City Council.

- Presentation given.
- Questions asked and answered.

1) Infill Dimensional and Transitional Standards Workshop - Nathan Gwinn

Nathan gave a presentation on infill standards, the existing infill development code, and the draft code amendment. His presentation included: how to reach residential densities as envisioned in the comprehensive plan; how to achieve development that is compatible with surrounding land uses; landscape buffers, set-backs, upper-level setbacks adjacent to certain zones; upper-level height transitions; size, scale, and style of development; vehicular access and parking; and multi-family design standards.

Today's presentation builds on the material in the PC packet as well as what was presented during the March PC presentation, which highlighted some issues and opportunities for this round of code amendments. Transitional standards were looked at, which differs from transitional zoning. The purpose and content of the proposed text amendments was reviewed, and form base, outreach, and timeline were discussed.

John indicated that a flat roof is viewed as incompatible in most neighborhoods. Chris disagreed saying this was an opinion not shared by everyone. *Nathan noted that flat roofs would not be allowed in some areas.*

Carole was concerned about flat roofs and snow load. *Heather noted that none of these changes would alter the required international residential and commercial code.*

Concern was raised about additional attached and detached units on the smaller lots and how they are preserving on-street parking options. *Heather said we can bring back examples from around the country for the PC to review.*

Outreach schedule: Open house on April 25th preceding the Plan Commission meeting, and May 3rd.

- Presentation given.
- Questions asked and answered

1) Member Items of Interest/Requests for Future Agenda

Patricia indicated our email records are not being stored or retained correctly per the Eastern Washington State Archivist under GS 216-007. The law says email records for advisory committees need to be available long enough for agency business which is nine months to two years. Individual record needs to be findable, retrievable and accessible to be an archive, which is different than 'storage'.

Patricia made the request that storage be increased from two months to two years.

Heather noted that the concepts of the public records retention requirements is being weaved into this conversation about the commissioners access to their emails; these are two separate issues. The City is currently compliant with state requirements for public records retention per James Richman. The City clerk's office has direct access to the archivist who ensures that records are retained for the appropriate period of time. Heather noted that the original concern raised by Greg Francis at the last PC meeting is in regards to how accessible the commissioner's emails are for actual use, and those emails are what IT retains for two months. Heather indicated we can make a request to the Administration to change this to two years.

Presented at the last PC meeting were two options to use prior to the new storage program:

- 1) IT suggested that commissioners move emails over two-months old onto their desktop at this time. The PC has a choice of storing emails rather than requesting the retrieval of the records from IT. It is my understanding from the legal staff that the storage itself won't necessarily lead to a request for a public record, but if the PC stores emails and should they be incorporated or stored with personal records on a personal computer, it increases the chance that the computer might be subject to data review to see if it contains records that are responsive to a public records request.
- 2) Commissioners can also make a request to IT to retrieve older emails, and this conforms to the States' retention requirements.

This is a short-term solution as IT is moving to a new program that allows more storage space for your emails.

Heather asked if anyone had updates for the April PC Agenda.

Meeting adjourned 3:50 PM.

The next Plan Commission **hearing** and meeting is scheduled for **April 25, 2018**.



2019-2024

Citywide Capital Improvement Program Process & Timeline Overview

Plan Commission

April 25, 2018

Crystal Marchand, Director of Management and Budget



Capital Budgeting

○ Capital Budgeting Process

- 20 Year Plan ~ Comprehensive Plan
- 6 Year Capital Improvement Program, updated every year
- Annual Capital Budget, updated every year



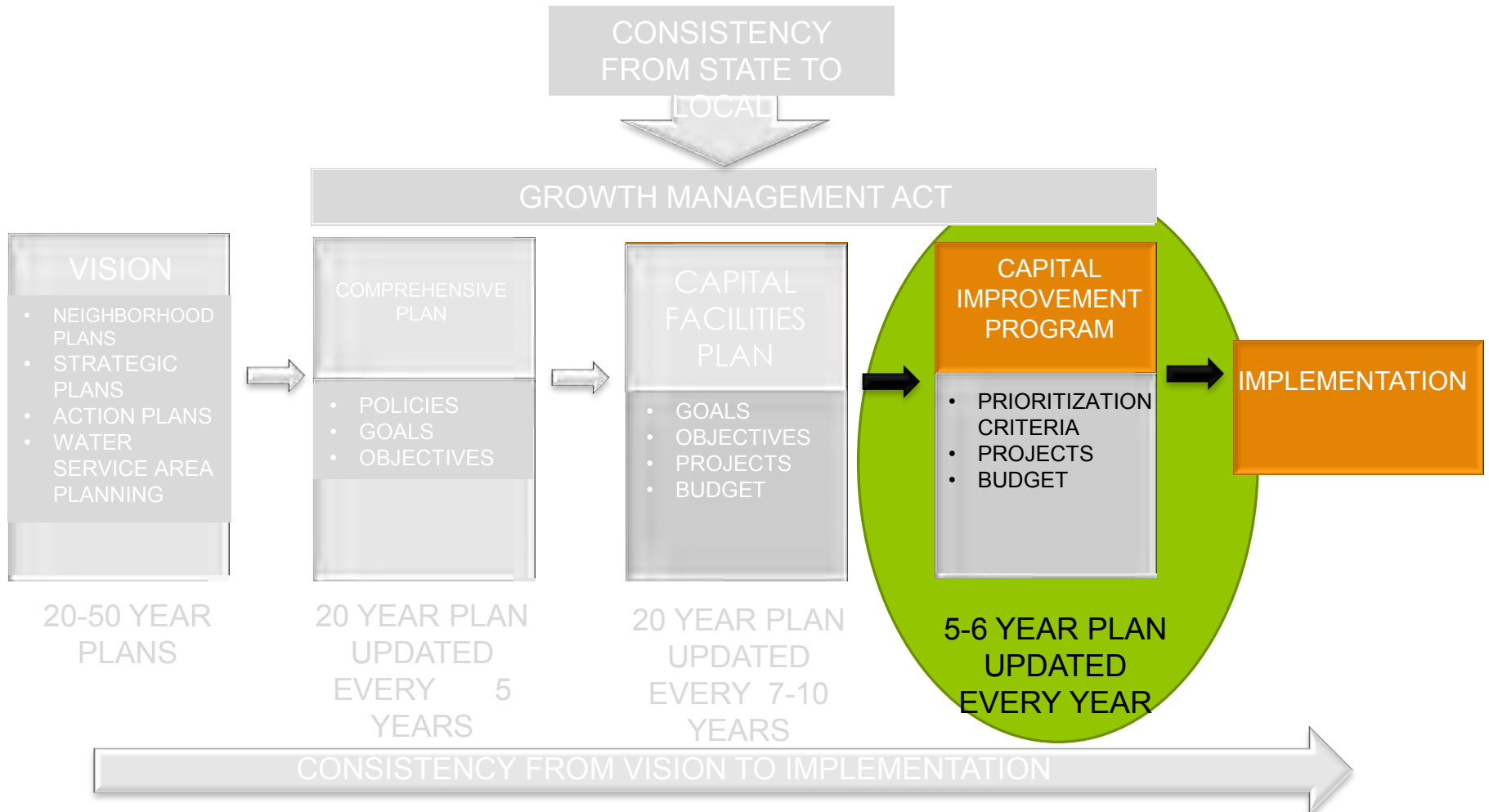
Citywide Six Year Capital Improvement Program

Process

- ◉ **6 Year Capital Improvement Program**, updated every year
- Existing Capital Projects in the Program are reviewed by City Staff & Administration
- New Capital Projects are considered, discussed, and when approved, submitted for inclusion in the current year Draft Program by City Staff & Administration



Infrastructure Planning





Citywide Six Year Capital Improvement Program

Process

- *New Projects* **Presented** to the City Plan Commission **at the Consistency Review Workshop** (All Departments: September, 2018)
 - *New Projects* **Reviewed** by the City Plan Commission **for Consistency with the City's Comprehensive Plan**
- City Plan Commission issues a Findings of Fact, Conclusions, and Recommendations document at the **CIP Hearing** (October, 2018) **which is taken forward to City Council**
- Vote on Adoption of the CIP by City Council (November, 2018)



CIP Presentations

Plan Commission

Workshop & Hearing

- Focus on *New* Projects added to the Program
- Focus on the New Projects' *Alignment* with the City of Spokane's Comprehensive Plan
- ****Template presentations provided to Departments****
 - New Projects Only
 - **Description of Projects:** what/where, to include map of location(s) as applicable
 - **How Projects are consistent with Comp Plan vision, goals & policy**
- *If Plan Commission has any requests for the presentations, please let us know*



Key Dates

MARCH

➤ 3/5/18

CIP System
Open to all
Users

APRIL

➤ 4/15/18

System Closed
for Initial
Review

➤ 4/16/18

Department
Chapter
Introductions
Updated

MAY

➤ 5/14/18

CIP Reports
Presented &
Reviewed with
City Administrator

➤ 5/18/18

CIP System
Re-opened to Allow
for Project Updates

JUNE*

➤ 6/8/18

System Closed

➤ 6/21-6/29

CIP Meetings
with the Mayor



Key Dates

JULY*

➤ 7/2/18

CIP System
Re-opened for
Final Updates

➤ 7/13/18

System Closed
for Draft
Capital
Program
Document
Creation

AUGUST*

➤ 8/1/18

Draft Capital
Program
Delivered to
the Mayor

SEPTEMBER*

➤ 9/12/18

Plan
Commission
Consistency
Review
Workshop

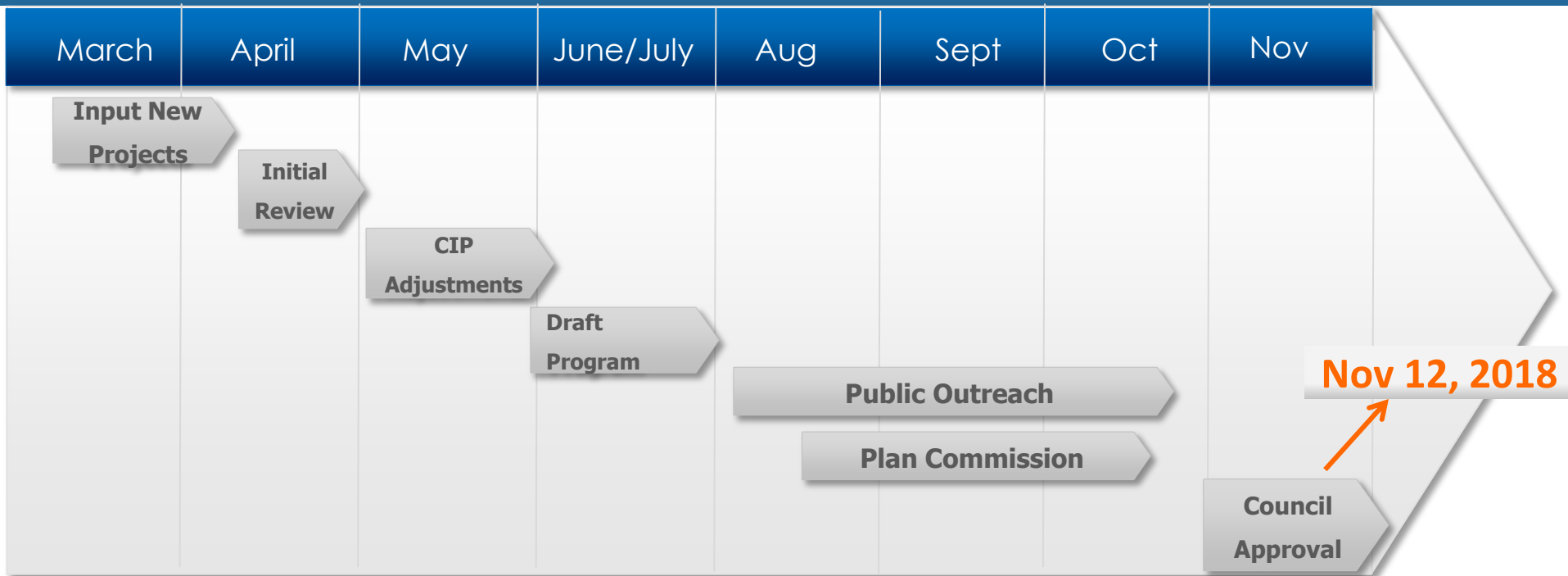
OCTOBER*

➤ 10/10/18

Plan
Commission
Hearing



2019-2024 Citywide CIP Timeline



| | |
|----------------------|---|
| March - June | City Departments submit projects |
| June - July | City Administration reviews and develops a Draft Program |
| Aug - Oct | Public Meetings throughout the City by Mayor & Cabinet |
| Aug - Oct | Plan Commission Consistency Review Workshop, Hearing & Recommendation |
| Nov 12 th | Vote for Adoption of the CIP by City Council |



Questions?

BRIEFING PAPER
City of Spokane
Plan Commission Workshop
April 25, 2018

Subject: Infill Code Revisions – Dimension and Transition Standards

Background

In 2016, the Infill Development Steering Committee called for a review and potential regulatory update of development standards to support attached housing and more efficient use of land. This package of text amendments supports attached housing, and other development that can achieve the densities established by the Comprehensive Plan, as viable options in additional residential zones. The previous Plan Commission workshop on April 11 focused on the increased height in the Residential Multifamily (RMF) zone, as well as decreased lot width for attached housing in several residential zones.

The Comprehensive Plan emphasizes design guidelines in regulations as primary tools to ensure that infill and redevelopment projects are well-designed and compatible with their surroundings, while allowing more compact and affordable housing (LU 2.2, LU 3.6, LU 5.5). A plan policy review packet is available [online](#). The revisions align with the Strategic Plan's Urban Experience Initiative by encouraging high-quality and diverse residential investment, while strengthening residential character and encouraging adequate usable open space.

Impact

The proposal may enable some sites in multifamily zones to be developed with additional units and make development of attached housing in all residential zones more likely. Increasing the supply of housing stock helps preserve housing affordability, and helps to meet the housing demand for the city's growing population, while local businesses and existing residents benefit from the investment in vacant and underutilized properties within their neighborhoods. The number of housing units per acre designated by the Comprehensive Plan would not be changed by this proposal.

Key Changes outlined in PC draft amendments to chapter 17C.110 ([attached](#)) for review:

- **Lot width/front lot line in RTF, RMF, RHD zones** (previously reviewed at April 11 workshop)
Reduce the minimum [lot width](#) and front [lot line](#) for attached housing without alley parking in the RTF, RMF, and RHD zones, from 36 feet, to the same minimum as for duplexes (25 feet). Also, reduce these standards for detached houses in the RTF zone to match the minimum of 25 feet required for duplexes in that zone (p. 5 of draft).
- **Number of curbcuts/driveways**
A limitation on one curbcut per each two dwellings is proposed for lots narrower than 40 feet, related to the reduction in front lot line where development provides vehicular access to the lot via curbcut (p. 10).

- **Setbacks**

Remove the requirement to double the [side setback](#) on the side of an attached house that is opposite a common, shared wall. This change would result in attached housing, where the units are owned separately, having the same setback as a duplex or other development in the zone (p. 8).

- **Wall height in the RMF zone** (previously reviewed at April 11 workshop)

Remove the 30-foot maximum exterior [wall height](#) for the primary structure in the Residential Multifamily (RMF) zone, resulting in the same maximum wall height of 35 feet as accessory structures and the [roof height](#) of 35 feet for all structures (p. 5).

- Design guidelines and standards for multi-family structures would continue to incorporate pitched roof forms where adjoining a single-family use to assist blending new buildings with surrounding development ([SMC 17C.110.450](#)). Additionally, in established and historic neighborhoods, housing types such as homes on narrow lots, duplexes, and attached housing would continue to incorporate forms from nearby buildings ([SMC 17C.110.310](#)).
- Height transition compatibility with surrounding RSF and RTF zones would continue to be provided at the zoning district boundary, maintaining a building height lower than 35 feet within ten feet of any RSF or RTF zone as provided under [SMC 17C.110.215\(C\)\(3\)](#).

Key Change outlined in PC draft amendments to chapter 17C.230.145 ([attached](#)) for review:

- **Parking area setbacks**

The parking area setback on sites abutting residential zoning districts provides a transition adjacent to residential front yards under SMC 17C.230.140(F). This parking area setback has a dimension 20 feet in depth from the street, with a width of 60 feet from the residential zoning district boundary. The proposal would apply the side street lot line setback instead where there is not an adjacent front yard. This would allow parking spaces on a commercial or industrial site adjacent to the area where parking spaces are also allowed on the abutting residential lot (pp. 5-6 of 17C.230.145 draft).

Action

Plan Commission workshops are scheduled for its meetings April 25 and May 9, 2018. The discussions will prepare for the public hearing on this ordinance, tentatively scheduled for June 13, 2018.

ORDINANCE NO. _____

An ordinance relating to relating to development standards for attached housing and multifamily development standards, amending Spokane Municipal Code (SMC) sections 17C.110.200 and 17C.110.310.

The City of Spokane does ordain:

Section 1. That SMC section 17C.110.200 is amended to read as follows:

17C.110.200 Lot Size

A. Purpose.

The standards of this section allow for development on lots, but do not legitimize lots that were divided in violation of [chapter 17G.080 SMC](#), Subdivisions. The required minimum lot size, lot depth, lot width and frontage requirements for new lots ensure that development will, in most cases, be able to comply with all site development standards. The standards also prevent the creation of very small lots that are difficult to develop at their full density potential. Finally, the standards also allow development on lots that were reduced by condemnation or required dedications for right-of-way.

B. Existing Lot Size.

1. Development is prohibited on lots that are not of sufficient area, dimension and frontage to meet minimum zoning requirements in the base zone. Except:
 - a. one single-family residence may be developed on a lot that was legally created under the provisions of chapter 58.17 RCW, Plats – Subdivisions – Dedications, or applicable platting statutes;
 - b. a PUD lot may be less than the minimum size of the base zone, if such lot is delineated on a PUD plan, which has been approved by the hearing examiner. All use and development standards of the zone wherein such lot is located, shall be complied with, unless modified through the PUD process by the hearing examiner. A PUD shall comply with the requirements of subsection (C) of this section.
2. No lot in any zone may be reduced so that the dimension, minimum lot area, frontage or area per dwelling unit is less than that required by this chapter, except as modified through the PUD process by the hearing examiner.
3. Lots Reduced by Condemnation or Required Dedication for Right-of-way. Development that meets the standards of this chapter is permitted on lots, or combinations of lots, that were legally created and met the minimum

size requirements at the time of subdivision, but were reduced below one or more of those requirements solely because of condemnation or required dedication by a public agency for right-of-way.

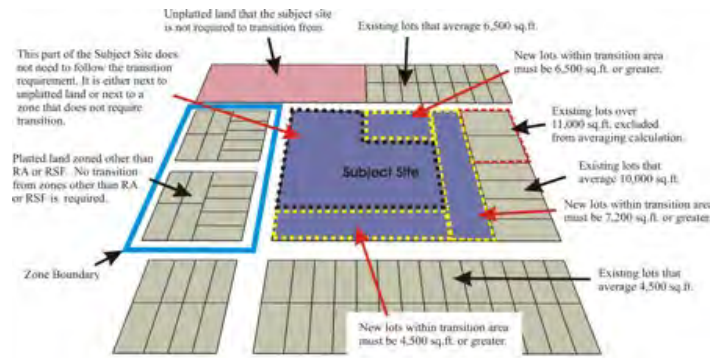
C. Land Division.

All new lots created through subdivision must comply with the standards for the base zone listed in Table 17C.110-3.

1. Transition Requirement.

For sites two acres or greater, transition lot sizes are required to be included as a buffer between existing platted land and new subdivision subject to the requirements of this section. The purpose of this section is to transition lot sizes between the proposed and existing residential developments in order to facilitate compatible development and a consistent development pattern. In the RA and RSF zones, the minimum lot size is subject to transitioning of lots sizes. Lots proposed within the initial eighty feet of the subject property are required to transition lot sizes based on averaging under the following formulas:

- a. Transitioning is only required of properties adjacent to or across the right-of-way from existing residential development. "Existing residential development" in this section shall mean existing lots created through subdivision or short plat.
- b. Lot size in the transition area is based on the average of the existing lot size in subdivisions adjacent to, or across the street from, the subject property. Lots greater than eleven thousand square feet are not counted in the averaging.
- c. If the existing average lot size is greater than seven thousand two hundred square feet, then the lot size in the transition area can be no less than seven thousand two hundred square feet.
- d. If the existing average lot size is less than seven thousand two hundred square feet, then the lot size in the transition area can be equal to or greater than the average.
- e. If the subject site shares boundaries with more than one subdivision, the minimum lot size in the transition area shall be based on the average lot sizes along each boundary. When two boundaries meet, the lot size shall be based on the larger of the two boundaries. See example below; and



- f. If the subject site shares a boundary with property zoned other than RA or RSF, then there are no transition requirements along that boundary.
 - g. After the first set of lots in the transition area, lot sizes may be developed to the minimum lot size of the base zone, i.e., four thousand three hundred fifty square feet in the RSF zone.
2. Planned unit developments, combined with a subdivision, may reduce the minimum lot size, lot width, lot depth and frontage requirements in the RA and RSF zones pursuant to [SMC 17G.070.030\(C\)\(1\)](#), except in the transition area required by subsection (C)(1) of this section.
- D. **Ownership of Multiple Lots.**
Where more than one adjoining lot is in the same ownership, the ownership may be separated as follows:
1. If all requirements of this chapter will be met after the separation, including lot size, density and parking, the ownership may be separated through either a boundary line adjustment (BLA) or plat, as specified under [chapter 17G.080 SMC](#), Subdivisions.
 2. If one or more of the lots does not meet the lot size standards in this section, the ownership may be separated along the original plat lot lines through a boundary line adjustment (BLA).
- E. **New Development on Standard Lots.** New development on lots that comply with the lot size standards in this section are allowed subject to the development standards and density requirements of the base zone as required under Table 17C.110-3.
- F. **Lot Frontage.** All residential lots shall front onto a public street and meet the minimum lot frontage requirements of Table 17C.110-3. Except, that frontage on a public street is not required for lots created through alternative residential subdivision under [SMC 17G.080.065](#), and lots approved in a planned unit

development or a manufactured home park may have lots or spaces fronting onto private streets, subject to the decision criteria of [SMC 17H.010.090](#).

| TABLE 17C.110-3 DEVELOPMENT STANDARDS [1] | | | | | |
|--|-----------------------|-----------------------|--|---|---|
| DENSITY STANDARDS | | | | | |
| | RA | RSF & RSF-C | RTF | RMF | RHD |
| Density - Maximum | 4,350 (10 units/acre) | 4,350 (10 units/acre) | 2,100 (20 units/acre) | 1,450 (30 units/acre) | -- |
| Density - Minimum | 11,000 (4 units/acre) | 11,000 (4 units/acre) | 4,350 (10 units/acre) | 2,900 (15 units/acre) | 2,900 (15 units/acre) |
| MINIMUM LOT DIMENSIONS LOTS TO BE DEVELOPED WITH: | | | | | |
| Multi-Dwelling Structures or Development | | | | | |
| | RA | RSF & RSF-C | RTF | RMF | RHD |
| Minimum Lot Area | | | | 2,900 sq. ft. | 2,900 sq. ft. |
| Minimum Lot Width | | | | 25 ft. | 25 ft. |
| Minimum Lot Depth | | | | 70 ft. | 70 ft. |
| Minimum Front Lot Line | | | | 25 ft. | 25 ft. |
| Compact Lot Standards [2] | | | | | |
| Minimum Lot Area [3] | | 3,000 sq. ft. | | | |
| Minimum Lot Width | | 36 ft. | | | |
| Minimum Lot Depth | | 80 ft. | | | |
| Minimum Front Lot Line | | 30 ft. | | | |
| Attached Houses | | | | | |
| Minimum Lot Area [3] | 7,200 sq. ft. | 4,350 sq. ft. | 1,600 sq. ft. | 1,600 sq. ft. | None |
| Minimum Lot Width | 40 ft. | 40 ft. | ((36)) 25 ft. or 16 ft. with alley parking and no street curb cut | ((Same)) 25 ft. or 16 ft. with <u>alley parking and no street curb cut</u> | ((Same)) 25 ft. or 16 ft. with <u>alley parking and no street curb cut</u> |
| Minimum Lot Depth | 80 ft. | 80 ft. | 50 ft. | 25 ft. | 25 ft. |

| | | | | | |
|--|---|--|--|--------------------------------|-------------------|
| Minimum Front Lot Line | 40 ft. | 40 ft. | Same as lot width | Same as lot width | Same as lot Width |
| Detached Houses | | | | | |
| Minimum Lot Area [3] | 7,200 sq. ft. | 4,350 sq. ft. | 1,800 sq. ft. | 1,800 sq. ft. | None |
| Minimum Lot Width | 40 ft. | 40 ft. | ((36)) 25 ft. | 25 ft. | 25 ft. |
| Minimum Lot Depth | 80 ft. | 80 ft. | 40 ft. | 25 ft. | 25 ft. |
| Minimum Front Lot Line | 40 ft. | 40 ft. | ((30)) 25 ft. | 25 ft. | 25 ft. |
| Duplexes | | | | | |
| Minimum Lot Area | | | 4,200 sq. ft. | 2,900 sq. ft. | None |
| Minimum Lot Width | | | 25 ft. | 25 ft. | 25 ft. |
| Minimum Lot Depth | | | 40 ft. | 40 ft. | 25 ft. |
| Minimum Front Lot Line | | | 25 ft. | 25 ft. | 25 ft. |
| PRIMARY STRUCTURE | | | | | |
| Maximum Building Coverage | | | | | |
| | RA | RSF & RSF-C | RTF | RMF | RHD |
| Lots 5,000 sq. ft. or larger | 40% | 2,250 sq. ft. +35% for portion of lot over 5,000 sq. ft. | 2,250 sq. ft. +35% for portion of lot over 5,000 sq. ft. | 50% | 60% |
| Lots 3,000 - 4,999 sq. ft. | 1,500 sq. ft. + 37.5% for portion of lot over 3,000 sq. ft. | | | | |
| Lots less than 3,000 sq. ft. | 50% | | | | |
| Building Height | | | | | |
| Maximum Roof Height [5] | 35 ft. | 35 ft. | 35 ft. | 35 ft. [6] | 35 ft. [6] |
| Maximum Wall Height | 25 ft. | 25 ft. | 25 ft. | ((30 ft. [6])) = | -- |
| Floor Area Ratio (FAR) | | | | | |
| FAR | 0.5 | 0.5 [4] | 0.5 [4] | -- | -- |
| Setbacks | | | | | |
| Front Setback [7, 8] | 15 ft. | | | | |
| Side Lot Line Setback – Lot width more than 40 ft. | 5 ft. | | | | |

| | | | | | |
|---|--------------------------------|--------------------------------|--------------------------------|--------------------------------|-----------------------------|
| Side Lot Line Setback – Lot width 40 ft. or less | 3 ft. | | | | |
| Street Side Lot Line Setback [7] | 5 ft. | | | | |
| Rear Setback [9, 10] | 25 ft. | 25 ft. [11] | 15 ft. | 10 ft. | 10 ft. |
| Required Outdoor Area | | | | | |
| Required Outdoor Area for attached and detached houses. Minimum dimension (See SMC 17C.110.223) | 250 sq. ft. 12 ft. x 12 ft. | 250 sq. ft. 12 ft. x 12 ft. | 250 sq. ft. 12 ft. x 12 ft. | 200 sq. ft. 10 ft. x 10 ft. | 48 sq. ft. 7 ft. x 7 ft. |
| ACCESSORY STRUCTURES | | | | | |
| | RA | RSF & RSF-C | RTF | RMF | RHD |
| Maximum Roof Height | 30 ft. | 20 ft. | 20 ft. | 35 ft. | 35 ft. |
| Maximum Wall Height | 30 ft. | 15 ft. | 15 ft. | 35 ft. | 35 ft. |
| Maximum Coverage [12] | 20% | 15% | 15% | See Primary Structure | See Primary Structure |
| Front Setback | 20 ft. | | | | |
| Side Lot Line Setback – Lot width 40 ft. or wider [13] | 5 ft. | | | | |
| Side Lot Line Setback – Lot width less than 40 ft. [13] | 3 ft. | | | | |
| Street Side Lot Line [14] | 20 ft. | | | | |
| Rear [13] | 5 ft. | | | | |
| Rear with Alley | 0 ft. | | | | |

Notes:

-- No requirement

[1] Plan district, overlay zone, or development standards contained in SMC 17C.110.310 through 360 may supersede these standards.

[2] See SMC 17C.110.209, Compact Lot Standards.

[3] For developments two acres or greater, lots created through subdivision in the RA, RSF and the RSF-C zones are subject to the lot size transition requirements of SMC 17C.110.200(C)(1).

[4] In the RSF-C and RTF zones, and sites in the RSF zone qualifying for compact lot development standards, described in SMC 17C.110.209, FAR may be increased to 0.65 for attached housing development only.

[5] No structure located in the rear yard may exceed twenty feet in height.

[6] Base zone height may be modified according to SMC 17C.110.215, Height.

[7] Attached garage or carport entrance on a street is required to be setback twenty feet from the property line.

[8] See SMC 17C.110.220(D)(1), setbacks regarding the use of front yard averaging.

[9] See SMC 17C.110.220(D)(2), setbacks regarding reduction in the rear yard setback.

[10] Attached garages may be built to five feet from the rear property line except, as specified in SMC 17C.110.225(C)(6)(b), but cannot contain any living space.

[11] In the RSF-C zone and sites in the RSF zone qualifying for compact lot development standards, described in SMC 17C.110.209, the rear setback is 15 feet.

[12] Maximum site coverage for accessory structures is counted as part of the maximum site coverage of the base zone.

[13] Setback for a detached accessory structure and a covered accessory structure may be reduced to zero feet with a signed waiver from the neighboring property owner, except, as specified in SMC 17C.110.225(C)(5)(b).

[14] The setback for a covered accessory structure may be reduced to five feet from the property line.

Section 2. That SMC section 17C.110.310 is amended to read as follows:

17C.110.310 Attached Housing, Detached Houses on Lots Less than Forty Feet Wide, and Duplexes

A. Purpose.

Attached housing, detached houses on narrow lots and duplexes allow for energy-conserving housing and a more efficient use of land. See definition of attached housing under chapter 17A.020 SMC.



B. Qualifying Situations.

Sites located in the ((RSF)) RA through the RHD zones. All lots must be under the same ownership or a signed and recorded agreement to participate in an attached housing development must be submitted to the City by all property owners at the time of building permit application.

C. Lot Development Standards.

Each house must be on a lot that complies with the lot development standards in the base zone as provided in Table 17C.110-3.

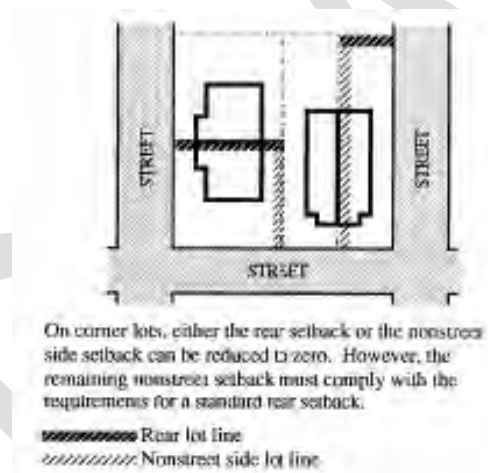
D. Building Setbacks for Attached Housing.

1. Interior Lots.

On interior lots, the side building setback on the side containing the common wall is reduced to zero. ~~((The side building setbacks on the side opposite the common wall must be double the side setback standard of the base zone.))~~

2. Corner Lots.

On corner lots, either the rear setback or non-street side setback may be reduced to zero. However, the remaining street side lot line setback must comply with the requirements for a standard side or rear setback.



E. Design Standards.

This section is subject to the provisions of SMC 17C.110.015, Design Standards Administration.

1. A multi-family residential building of three or more units is subject to the design standards of SMC 17C.110.400.
2. For detached houses on lots forty feet or less wide and attached housing and duplexes in the RSF, RSF-C, RTF, RMF and RHD zones, the following design standards must be met:

- a. All street-facing facades must have landscaping along the foundation. There must be at least one three-gallon shrub for every three lineal feet of foundation. (R)
- b. Sixty percent of the area between the front lot line and the front building line must be landscaped. At a minimum, the required landscaped area must be planted with living ground cover. Up to one-third of the required landscaped area may be for recreational use, or for use by pedestrians. Examples include walkways, play areas, or patios. (R)
- c. ~~((Generous))~~ Use of planting materials and landscape structures such as trellises, raised beds and fencing to unify the overall site design is encouraged, with plantings consistent with L3 open area landscaping standard of SMC 17C.200.030. (P)
- d. Front facade.
Fire escapes, or exterior stairs that provide access to an upper level are not allowed on the front facade of the building. (R)
- e. Duplexes and attached houses on corner lots should be designed so each unit is oriented towards a different street. This gives the structure the overall appearance of a house when viewed from either street. (R)
- f. Detached houses on lots forty feet or less wide and both units of a duplex or attached houses must meet the following standards to ensure that the units have compatible elements. Adjustments to this paragraph are prohibited, but modifications may be requested through a design departure. The standards are:
 - i. Entrances. Each of the units must have its address and main entrance oriented toward a street frontage. Where an existing house is being converted to two units, one main entrance with internal access to both units is allowed. (R)
 - ii. Each unit must have a covered, main entry-related porch or stoop area of at least fifty square feet with no dimension less than five feet. (R)
 - iii. Buildings must be modulated along the public street at least every thirty feet. Building modulations must step the building wall back or forward at least four feet. (R)
 - iv. Reduce the potential impact of new duplex and attached housing development on established and historic neighborhoods by incorporating elements and forms from nearby buildings. This may include reference to architectural

details, building massing, proportionality, and use of high-quality materials such as wood, brick, and stone. (P)

v. Create a human scale streetscape by including vertical and horizontal patterns as expressed by bays, belt lines, doors and windows. (P)

g. Garages are subject to the garage limitation standards of SMC 17C.110.208(E). (R)

h. Where off-street parking for two or more dwellings will be developed on abutting lots that are each less than 40 feet in width, only one curbcut and sidewalk crossing for each two lots may be permitted, to promote pedestrian-oriented environments along streets, reduce impervious surfaces, and preserve on-street parking and street tree opportunities. (P)

F. Number of Units.

1. RA, RSF and RSF-C Zones.

A maximum of two houses may be with a common wall. Structures made up of three or more attached houses are prohibited unless approved as a planned unit development.

2. RTF Zone.

Up to eight attached houses may have a common wall. Structures made up of nine or more attached houses are prohibited unless approved as a planned unit development.

3. RMF and RHD zones.

There is no limit to the number of attached houses that may have common walls.

PASSED BY THE CITY COUNCIL ON _____

Council President

Attest:

Approved as to form:

City Clerk

Assistant City Attorney

Mayor

Date

Effective Date

DRAFT

ORDINANCE NO. _____

The City of Spokane does ordain:

Section ____ That SMC section 17C.230.140 is amended to read as follows:

17C.230.140 Development Standards

- A. Purpose
The parking area layout standards are intended to promote safe circulation within the parking area and provide for convenient entry and exit of vehicles.
- B. Where These Standards Apply
The standards of this section apply to all vehicle areas whether required or excess parking.
- C. Improvements
 - 1. Paving.
In order to control dust and mud, all vehicle areas must be surfaced with a minimum all-weather surface. Such surface shall be specified by the city engineer. Alternatives to the specified all-weather surface may be provided, subject to approval by the city engineer. The alternative must provide results equivalent to paving. All surfacing must provide for the following minimum standards of approval:
 - a. Dust is controlled.
 - b. Stormwater is treated to City standards; and
 - c. Rock and other debris is not tracked off-site.

The applicant shall be required to prove that the alternative surfacing provides results equivalent to paving. If, after construction, the City determines that the alternative is not providing the results equivalent to paving or is not complying with the standards of approval, paving shall be required.
 - 2. Striping.
All parking areas, except for stacked parking, must be striped in conformance with the parking dimension standards of subsection (E) of this section, except parking for single-family residences, duplexes, and accessory dwelling units.
 - 3. Protective Curbs Around Landscaping.
All perimeter and interior landscaped areas must have continuous, cast in place, or extruded protective curbs along the edges. Curbs separating landscaped areas from parking areas may allow stormwater runoff to pass

through them. Tire stops, bollards or other protective barriers may be used at the front ends of parking spaces. Curbs may be perforated or have gaps or breaks. Trees must have adequate protection from car doors as well as car bumpers. This provision does not apply to single-family residence, duplexes and accessory dwelling units.

D. Stormwater Management

Stormwater runoff from parking lots is regulated by the engineering services department.

E. Parking Area Layout

1. Access to Parking Spaces.

All parking areas, except stacked parking areas, must be designed so that a vehicle may enter or exit without having to move another vehicle.

2. Parking Space and Aisle Dimensions.

a. Parking spaces and aisles in RA, RSF, RSF-C, RTF, RMF, RHD, FBC CA4, O, OR, NR, NMU, CB, GC, and industrial zones must meet the minimum dimensions contained in Table 17C.230-3.

b. Parking spaces and aisles in Downtown CC, and FBC CA1, CA2, CA3 zones must meet the minimum dimensions contained in Table 17C.230-4.

c. In all zones, on dead end aisles, aisles shall extend five feet beyond the last stall to provide adequate turnaround.

3. Parking for Disabled Persons.

The city building services department regulates the following disabled person parking standards and access standards through the building code and the latest ANSI standards for accessible and usable buildings and facilities:

a. Dimensions of disabled person parking spaces and access aisles.

b. The minimum number of disabled person parking spaces required.

c. Location of disabled person parking spaces and circulation routes.

d. Curb cuts and ramps including slope, width and location; and

e. Signage and pavement markings.

4. A portion of a standard parking space may be landscaped instead of paved, as follows:

- a. The landscaped area may be up to two feet of the front of the space as measured from a line parallel to the direction of the bumper of a vehicle using the space, as shown in Figure 17C.230-3. Any vehicle overhang must be free from interference from sidewalks, landscaping, or other required elements.

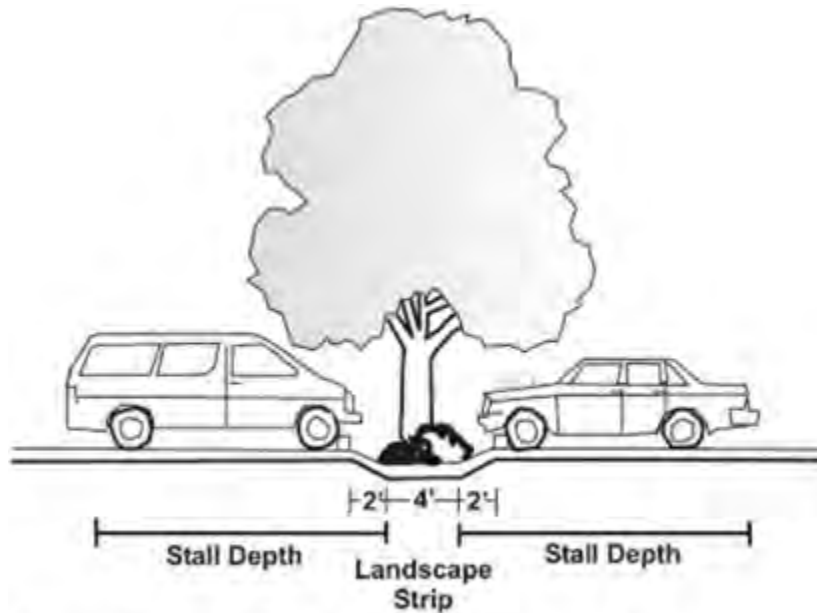


Figure 17C.230-3 Landscaped area at front of parking space

- b. Landscaping must be ground cover plants; and
 - c. The landscaped area counts toward parking lot interior landscaping requirements and toward any overall site landscaping requirements. However, the landscaped area does not count toward perimeter landscaping requirements.
5. Engineering Services Department Review
The engineering services department reviews the layout of parking areas for compliance with the curb cut and access restrictions of [chapter 17H.010 SMC](#).

| Table 17C.230-3 RA, RSF, RSF-C, RTF, RMF, RHD, FBC CA4, O, OR, NMU, CB, GC and Industrial Zones Minimum Parking Space and Aisle Dimensions [1, 2] | | | | | |
|--|----------------------|----------------------------|--------------------------------------|--------------------------------------|----------------------------|
| Angle (A) | Width (B) | Curb Length (C) | 1-way Aisle Width (D) | 2-way Aisle Width (D) | Stall Depth (E) |
| 0° (Parallel) | 8 ft. | 20 ft. | 12 ft. | 22 ft. | 8 ft. |

| | | | | | |
|-----|-------------|-------------|--------|--------|--------|
| 30° | 8 ft. 6 in. | 17 ft. | 12 ft. | 22 ft. | 15 ft. |
| 45° | 8 ft. 6 in. | 12 ft. | 12 ft. | 22 ft. | 17 ft. |
| 60° | 8 ft. 6 in. | 9 ft. 9 in. | 16 ft. | 22 ft. | 18 ft. |
| 90° | 8 ft. 6 in. | 8 ft. 6 in. | 22 ft. | 22 ft. | 18 ft. |

Notes:

[1] See Figure 17C.230-4.

[2] Dimensions of parking spaces for the disabled are regulated by the building code. See [SMC 17C.230.140\(E\)\(3\)](#).

Table 17C.230-4
Downtown, CC, NR, FBC CA1, CA2, and CA3 Zones
Minimum Parking Space and Aisle Dimensions [1, 2]

| Angle (A) | Width (B) | Curb Length (C) | 1-way Aisle Width (D) | 2-way Aisle Width (D) | Stall Depth (E) |
|----------------------|----------------------|----------------------------|--------------------------------------|--------------------------------------|----------------------------|
| 0° (Parallel) | 8 ft. | 20 ft. | 12 ft. | 20 ft. | 8 ft. |
| 30° | 8 ft. 6 in. | 17 ft. | 12 ft. | 20 ft. | 15 ft. |
| 45° | 8 ft. 6 in. | 12 ft. | 12 ft. | 20 ft. | 17 ft. |
| 60° | 8 ft. 6 in. | 9 ft. 9 in. | 16 ft. | 20 ft. | 17 ft. 6 in. |
| 90° | 8 ft. 6 in. | 8 ft. 6 in. | 20 ft. | 20 ft. | 16 ft. |

Notes:

[1] See Figure 17C.230-4.

[2] Dimensions of parking spaces for the disabled are regulated by the building code. See [SMC 17C.230.140\(E\)\(3\)](#).

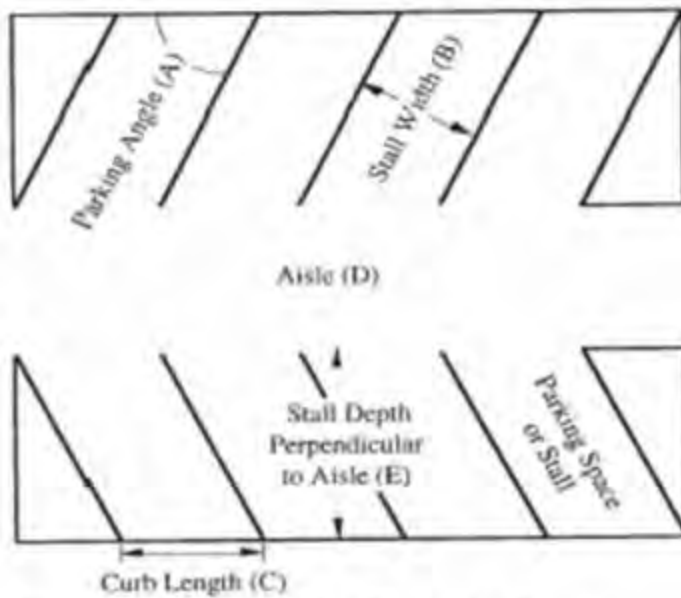
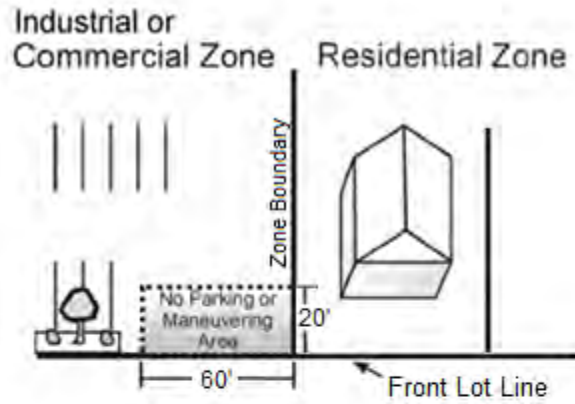


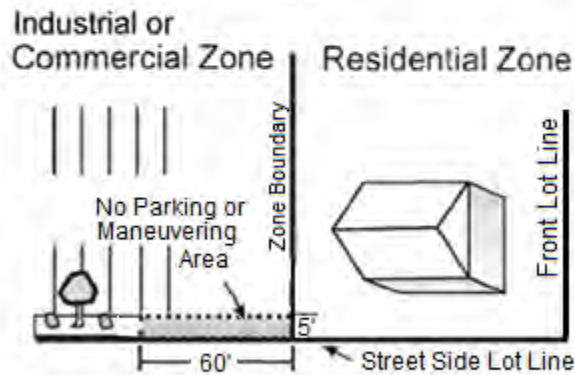
Figure 17C.230-4 Parking Dimension Factors

F. Parking Area Setbacks and Landscaping

1. For parking areas on sites abutting residential zoning districts, parking spaces or maneuvering areas for parking spaces, other than driveways that are perpendicular to the street, are ~~((not allowed within the first twenty feet from a street lot line for the first sixty feet from the boundary of))~~ required to be setback a distance equal to the setback of the adjacent residential zoning district for the first sixty feet from the zoning district boundary (Figure 17C.230-5).



A. Setback adjacent to front lot line.



B. Setback adjacent to street side lot line.

Figure 17C.230-5 Parking Area Setback

[Note: Add the graphic above.]

2. All landscaping must comply with the standards of [chapter 17C.200 SMC](#), Landscaping and Screening.

PASSED BY THE CITY COUNCIL ON _____

Council President

Attest:

Approved as to form:

City Clerk

Assistant City Attorney

Mayor

Date

Effective Date

DRAFT

Briefing Paper and Staff Report

Plan Commission

| | |
|--|---|
| Division & Department: | BDS - Long Range Planning |
| Subject: | Building Heights and Massing in the DTC-100 Zone |
| Date: | April 18, 2018 |
| Contact (email & phone): | kfreibott@spokanecity.org x6184 |
| City Council Sponsor: | Ben Stuckart |
| Executive Sponsor: | Dawn Kinder |
| Committee(s) Impacted: | Urban Experience |
| Type of Agenda item: | <input checked="" type="checkbox"/> Hearing <input type="checkbox"/> Discussion <input type="checkbox"/> Strategic Initiative |
| Alignment: (link agenda item to guiding document – i.e., Master Plan, Budget , Comp Plan, Policy, Charter, Strategic Plan) | Comprehensive Plan Downtown Plan Spokane Municipal Code 17C.124.220 E |
| Strategic Initiative: | n/a |
| Deadline: | PC Hearing April 25, 2018 City Council Ordinance to Follow |
| Outcome: (deliverables, delivery duties, milestones to meet) | A recommendation by the Plan Commission to the Spokane City Council recommending approval or denial of the proposed amendments or “no action”, per SMC 17G.025.010.F. |
| Background/History: <ul style="list-style-type: none"> • <i>Heights are currently limited in the DTC-100 zone in order to protect views and shadows on the park. Any structure above 100 feet must step back 15 feet for every story above 100 feet per SMC 17C.124.220.E.2.</i> • <i>A representative of two property owners in that zone has stated that the current requirements cannot be met due to the financial cost of such a building.</i> • <i>The Plan Commission held a series of subcommittee meetings last year to discuss the issue as well as possible answers to the request. The recommendation of the subcommittee was to:</i> <ul style="list-style-type: none"> • <i>Allow unlimited height above 100 feet as long as the tower floor plate is less than 18,750 square feet, the use above 100 feet is limited to residential or hotel uses, towers are no closer than 50 feet to each other, and the ground level frontage of any development is at least 50 percent retail.</i> • <i>The Plan Commission forwarded the report to City Council with the same recommendation.</i> • <i>City Council approved a resolution last year recognizing the report and directing staff to process a code amendment commensurate with the Plan Commission recommendation.</i> • <i>Staff has initiated a public communication process (per RCW 36.70A.140) regarding the proposed amendments to the SMC, including a web campaign, multiple meetings with stakeholders and local groups, and an online public opinion survey.</i> • <i>Plan Commission has held three workshops on this proposal in December, 2017, February 2018, and March, 2018.</i> • <i>Following the workshop with Plan Commission on March 28, 2018, staff was directed to bring the proposed amendments forward for a hearing before the Plan Commission on April 25, 2018 with a maximum floor plate in towers of 12,000 square feet and a minimum distance between towers of 75 feet.</i> | |

Executive Summary:

- City staff has prepared the attached draft Ordinance, amending SMC 17C.124.220, subsections B and E.
- The proposed amendments have been prepared in accordance with the goals and policies of the Comprehensive Plan and the Downtown Plan and in line with the various workshops held with the Plan Commission.
- A continuous public outreach process, pursuant to RCW 36.70A.140, has been conducted and numerous public comments have been received, both in writing and in the form of survey responses.
- Notice of this proposal and the Plan Commission hearing has been completed pursuant to SMC 17G.025.010.
- Plan Commission approved a staff request to hold a public hearing to take testimony on the proposed amendments and to determine whether the Plan Commission recommends approval or denial of the proposal or, as allowed under SMC 17G.025.010.F, they wish to take no action on the proposal. This public hearing is scheduled for April 25, 2018 at 4:00 PM.

See the Pages Following for Additional information.

Background materials are available on the project website:

<https://my.spokanecity.org/projects/building-heights-on-spokane-falls-boulevard/>

Budget Impact:

Approved in current year budget? ☐ Yes ☐ No ☒ N/A

Annual/Reoccurring expenditure? ☐ Yes ☐ No ☒ N/A

If new, specify funding source:

Other budget impacts: (revenue generating, match requirements, etc.)

Operations Impact:

Consistent with current operations/policy? ☐ Yes ☒ No ☐ N/A

Requires change in current operations/policy? ☒ Yes ☐ No ☐ N/A

Specify changes required: The proposal represents a change to City code.

Known challenges/barriers: Public sentiment to this proposal is generally negative.

I. GENERAL INFORMATION

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| A. Location of Proposal: | The proposed amendments would affect all properties in the City of Spokane zoned DTC-100. This is currently limited to one half block south of Spokane Falls Boulevard between Monroe Street and approximately one-half block east of Washington Street. |
| B. Parcels Affected: | 35183.0301, 35183.0324, 35183.0036, 35183.0050, 35184.1802, 35184.1808, 35184.1903, 35184.1904, 35184.1908, and 35184.2001 through 35184.2006 |
| C. SEPA Status: | A SEPA threshold Determination of Non-Significance was made on April 10, 2018. The comment period closed on April 25, 2018 (reference Exhibit A). |
| D. Enabling Code Section: | SMC 17C.025, Unified Development Code Amendment Procedure. |
| E. Plan Commission Hearing Date: | The Plan Commission public hearing is scheduled for April 25, 2018 with potential continuation to the next meeting(s) of the Plan Commission. |
| F. Staff Contact: | Kevin Freibott, Assistant Planner II kfreibott@spokanecity.org 509.625.6184 |

II. BACKGROUND INFORMATION

| | |
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| A. Site Description: | The properties that would currently be affected by the proposal include 16 parcels approximately 6.45 acres in area (not including City rights of way). See the following depiction of the current boundaries of the DTC-100 zone. No other DTC-100 properties currently exist in the city. |
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| B. Project Description: | Pursuant to the procedures provided by SMC 17G.025.010, the City proposes to amend SMC 17C.124.220, Heights and Massing, in order to |
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| | clarify an inconsistency in Subsection A as it pertains to the availability of bonus heights in numbered zones (e.g. DTC-100), and to provide for a second option in Subsection E to allow greater heights than 100 feet in the DTC-100 zone provided that certain conditions are met. Those conditions include limitations on use as well as massing standards, such as minimum distances between structures above 100 feet and a limitation on the total floor area of any floor above 100 feet. The proposed amendments are attached to this Staff Report as Exhibit B . |
| B. Adjacent Zoning: | Properties immediately north and west of the DTC-100 zone are within the DTG (Downtown General) zone, with various maximum heights. Properties east and south are in the DTC (Downtown Core) zone and have no height limitation. |
| C. Current Zoning: | DTC-100 (Downtown Core, 100-foot height limit) |
| D. Zoning History: | The subject properties were re-zoned DTC-100 on December 14, 2009 following adoption of the 2008 Downtown Plan Update (reference Ordinance C34522). Prior to that date, the subject properties were zoned CBD-1, Downtown Core. Under the development code prior to 2009, CBD-1 had no height limitations or Floor Area Ratio limits. |
| E. Existing Land Uses and Improvements | From west to east, the properties in the DTC-100 zone include a City Library, a shopping mall and parking garage, an office/commercial building, a bank, a vacant commercial/office building, a residential tower with ground-floor retail, two surface parking lots, and a hotel. |
| F. Adjacent Land Uses and Improvements | <p><i>North:</i> City parks and open space; City Hall, a portion of a performing arts center.</p> <p><i>East:</i> Hotel uses.</p> <p><i>South:</i> Commercial and residential mixed use and a parking garage.</p> <p><i>West:</i> A private recreation club and open spaces.</p> |



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| G. Transportation Improvements and Standards | The subject properties are bounded by Spokane Falls Boulevard to the north, Main Avenue to the south, and Monroe Street on the west. The Complete Street type is shown in the preceding graphic. Type I, II, and IV streets are located in the near vicinity of the DTC-100 zone. Pursuant to SMC 17C.124.035, these complete street types are described as follows: |
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| | <p>TYPE I—Community Activity Streets “are slow, two-way streets with wide, well-maintained sidewalks and pedestrian amenities to encourage strolling, walking, and shopping.”</p> <p>TYPE II—Community Connector Streets “move traffic and pedestrians into and around downtown. These streets provide some of the major pedestrian connection to surrounding neighborhoods and districts.”</p> <p>TYPE IV—Neighborhood Streets “carry little through traffic and tend to have less commercial activity than the other types of complete streets. These tend to have generous sidewalks, landscaping, and street trees. All downtown streets will meet Type IV criteria to a minimum.”</p> |
| H. Applicable Municipal Code Regulations | <p>SMC 17G.025, Unified Development Code Amendment Procedure</p> <p>SMC 17C.124, Downtown Zones</p> <p>SMC 17C.124.220, Height and Massing</p> |
| I. Technical Reports and Other Relevant Documents | <p>The following documents are relevant to this application and either informed decision makers or the public during the preparation and processing of this proposed amendment. All documents can be found on the project website¹. The following documents are incorporated by reference into this staff report:</p> <ul style="list-style-type: none"> • “Building Heights on Spokane Falls Boulevard – FINAL Report” • “Public Survey Results for Plan Commission Consideration” • “Building Heights and Floor Plate Comparisons” • “Comparison of Similar Codes from Outside Jurisdictions” • “Shadow Analysis of the Working Group” |
| J. Comprehensive Plan Policy | <p>Shaping Spokane, the 2017 Update to the Comprehensive Plan, included the following policies relevant to the proposed amendment:</p> <p><u>LU 2.2, Performance Standards</u></p> <p>Employ performance and design standards with sufficient flexibility and appropriate incentives to ensure that development is compatible with surrounding land uses.</p> <p><u>LU 7.1, Regulatory Structure</u></p> <p>Develop a land use regulatory structure that utilizes a variety of mechanisms to promote development that provides a public benefit.</p> <p><u>ED 3.10, Downtown Spokane</u></p> <p>Promote downtown Spokane as the economic and cultural center of the region.</p> <p><u>SH 6.3, Natural Surveillance</u></p> <p>Design activities and spaces so that users of the space are visible rather than concealed.</p> <p><u>N 1.1, Downtown Development</u></p> <p>Develop downtown Spokane as the primary economic and cultural center of the region and provide a variety of housing, recreation, and daily service opportunities that attract and retain neighborhood residents.</p> |

¹ <https://my.spokanecity.org/projects/building-heights-on-spokane-falls-boulevard/>

| | |
|----------------------------------|---|
| | <p><u>PRS 1.4, Property Owners and Developers</u> Work cooperatively with property owners and developers to preserve open space areas within or between developments, especially those that provide visual or physical linkages to the open space network.</p> <p><u>PRS 2.3, Parks and Recreation Amenities</u> Continue to develop parks and recreation amenities that enhance the local economy.</p> |
| K. Downtown Plan Policy | <p>The 2008 update to the Spokane Downtown Plan, titled “Fast Forward Spokane—Downtown Plan Update” and adopted in December 2008, included goals and guidance relevant to the proposed amendments, including:</p> <p><u>Access to Views and Sunlight</u> “The Spokane community expressed a strong desire to maintain maximum exposure to sunlight in significant public open spaces, such as Riverfront Park, by promoting buildings designed to reduce shadows.”</p> <p><u>Downtown Plan Goal 2.2</u> Foster and improve upon the unique, Downtown “sense of place.”</p> <p><u>Downtown Plan Goal 2.5</u> Increase housing options Downtown and protect existing neighborhood character.</p> <p><u>Downtown Plan Goal 2.6</u> Incorporate sustainable practices in redevelopment efforts.</p> |
| L. Downtown Plan Guidance | <p>In addition to the policy language in item II.K above, the Downtown Plan included schematic project descriptions for several catalytic developments downtown.</p>  <p><i>A Schematic Drawing Of Major Downtown Sites 1 And 2 From The Downtown Plan</i></p> <p>Three catalytic projects were identified in what is now the DTC-100 zone, including the site now occupied by the Davenport Grand Hotel and the two remaining surface parking lots in the zone, known in the Downtown Plan as “Major Downtown Site 1” and “Major Downtown Site 2.”</p> <p>Major Downtown Sites 1 and 2 straddle either side of Stevens Street on the south side of Spokane Falls Boulevard. Site 1 represents the western</p> |

| | |
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| | side of Stevens Street and Site 2 the eastern. Both sites were envisioned to contain mixed-use developments in a pedestal and base configuration as shown in the drawing above. |
|--|---|

III. PUBLIC COMMENT

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|----------------------------------|---|
| A. Agency Comment | A single agency comment letter was received from the Land Committee of the Parks Board, City of Spokane Parks and Recreation. This letter is attached to this report as Exhibit C |
| A. Public Comment Summary | As outlined in section IV.A below, this project included an extensive public outreach and engagement process. During that process many public comments were submitted, including 841 online surveys ² and 88 comment emails or online messages. All comments received up to April 18, 2018 are included in Exhibit D . |
| B. Survey Results | A public opinion and visual preference survey was published online on January 17, 2018 and has been open continuously since. As of April 16, 2018 the City has received 841 surveys. Of these, 9 were blank and removed from the pool of responses. A summary accounting of the responses to the survey up to April 16 is attached to this Staff Report as Exhibit E . |
| C. Comment Emails | City staff received 24 emailed comments regarding the proposed amendments. Of the comment emails received, 4 were supportive of some amendment to the height and massing requirements, 15 advocated retaining the current regulations, and 3 advocated a lessening of any restrictions on development in the downtown. |

IV. AMENDMENT PROCESS

| | |
|-----------------------------|--|
| A. Initiation | The project was initiated by City Council upon adoption of Resolution 2017-0087 on October 9, 2017. |
| B. Public Engagement | <p>Pursuant to RCW 36.70A.140, a public participation process was initiated and continues, including mailed notice and request for comment to all property owners, taxpayers, and tenants within 400 feet of the zone, an extensive web campaign including both a project webpage¹ and online Story Map³, and a range of public meetings including the following:</p> <ul style="list-style-type: none"> • Plan Commission Workshop—October 11, 2017 • Peaceful Valley Neighborhood Council—November 8, 2017 • Plan Commission Workshop—December 12, 2017 • Urban Experience Committee—February 12, 2018 • CA4 Land Use Subcommittee – February 15, 2018 • Plan Commission Workshop—February 28, 2018 • Urban Experience Committee—March 12, 2018 |

² As of 5:00 PM on April 16, 2018. Surveys continue to be taken.

³ <https://spokane.maps.arcgis.com/apps/Cascade/index.html?appid=61844852688f4adcb8025fae7614be14>

⁴ Community Assembly

| | |
|--|--|
| | <ul style="list-style-type: none"> • Riverside Neighborhood Council (<i>Ad Hoc</i>)—March 26, 2018 • Plan Commission Workshop—March 28, 2018 • Park Board Land Committee—April 4, 2018 |
| C. Notice of Public Hearing | Pursuant to SMC 17G.025.010, on or about April 10, 2018 a notice of public hearing before the Plan Commission and SEPA determination was mailed to all property owners, tenants, and taxpayers within 400 feet of the DTC-100 zone. The same notice was published in the Gazette and the Spokesman Review on April 11 and 18, 2018. Likewise, notice was posted in the Downtown Branch of the Spokane Library and was emailed to all interested parties in the project. Interested parties included all individuals who have provided comment, attended public meetings where they provided their contact information, or those who both completed the online survey and filled out the optional question requesting their email address. |
| B. SEPA Review | A SEPA Determination of Non-Significance (“DNS”) and SEPA Checklist were issued by the City of Spokane on April 10, 2018. The DNS was issued under WAC 197-11-340(2). |
| C. Department of Commerce | A 60-day Notice of Intent to Adopt the proposed amendments was provided to the WA Department of Commerce pursuant to RCW 36.70A.106. |
| D. Plan Commission Process Guidance | <p>SMC 17C.025.010.F provides the procedure for the Plan Commission to follow regarding Unified Development Code Amendments. It states that following a public hearing the Plan Commission shall prepare and forward a recommendation to the City Council, taking one of the following actions:</p> <ol style="list-style-type: none"> 1. Recommend by majority vote that the City Council approve the proposal. Plan Commission may include changes to the proposal if they desire. 2. Recommend by majority vote that the City Council deny the proposal. <p>If the Plan Commission is unable to take either of the actions specified above, the proposal will be sent to City Council with the notation that the Plan Commission makes no recommendation.</p> |
| E. Approval Criteria | <p>SMC 17G.025.010.G provides the two approval criteria applicable to Unified Development Code Amendments. The City may approve the proposed amendments provided that it find the following to be true:</p> <ol style="list-style-type: none"> 1. The proposed amendment is consistent with the applicable provisions of the comprehensive plan; and 2. The proposed amendment bears a substantial relation to public health, safety, welfare, and protection of the environment. <p><u>Staff Analysis</u></p> <p>Criteria 1:</p> <p><i>Both the Comprehensive Plan and the Downtown Plan are applicable in this case, as the Downtown Plan when adopted is made part of the City’s</i></p> |

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| | <p><i>Comprehensive Plan. Accordingly, in regards to Comprehensive Plan policy, the proposed amendment:</i></p> <ul style="list-style-type: none"> • <i>Concerns the application of performance standards on development (LU 2.2);</i> • <i>Would provide for public benefit as part of the regulatory structure (LU 7.1);</i> • <i>Involves promoting greater development potential in the downtown (ED 3.10);</i> • <i>Would activate the street and usage of Riverfront Park and other downtown amenities (SH 6.3)</i> • <i>Provides for greater residential development downtown (N1.1);</i> • <i>Helps preserve visual linkages to parks and open space by limiting impacts to light and views into the park (PRS 1.4); and</i> • <i>Would not prevent the continued improvement and development of Riverfront Park (PRS 2.3).</i> <p><i>In regards to the Downtown Plan, the proposal would help foster development of two key opportunity sites within the downtown while still meeting the intent of the Downtown Plan to maintain exposure to sunlight in public open spaces by promoting buildings designed to reduce shadows. The proposed amendments would allow development of a “base and tower” configuration, consistent with the development envisioned for these properties by the Downtown Plan, as shown in the graphic excerpt in item II.L above.</i></p> <p>Criteria 2:</p> <p><i>The amendments propose to allow greater development potential in exchange for improvements and enhancement to public benefit granted by activated streets, increased residential downtown, and appropriate development adjacent to Riverfront Park. The proposal would have benefits to health, safety, and welfare both as a result of activated streets (lower crime, more pedestrian activity, etc.) and greater numbers of residents in the vicinity of the park (“eyes on the park,” higher usage during ‘off’ hours like evenings and weekends, etc.). Furthermore, by including standards meant to reduce impacts to views and sunlight on the park, these benefits are achieved while maintaining protection for environmental effects to the streetscape and park property.</i></p> |
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V. DRAFT FINDINGS OF FACT

The following Findings of Fact are submitted in draft form as recommended findings by the Plan Commission. They are subject to amendment, addition, or deletion by the Plan Commission at the public hearing and are provided here only as a reference.

- A. The Spokane City Council adopted Ordinance C34370 on December 22, 2008, adopting the updated Downtown Plan “Fast Forward Spokane: Downtown Plan Update.”
- B. The Downtown Plan included a vision, goals, and policies that outline future growth and development desired within the downtown.

- C. The Downtown Plan as adopted stipulates that access to views and sunlight—including adjacent to Riverfront Park—be preserved utilizing methods such as building orientation, stepbacks, or building height limitations.
- D. The City of Spokane adopted Ordinance C34522, creating Chapter 17C.124, Downtown Zones, of the Spokane Municipal Code (“SMC”), which included section 17C.124.220, Height and Massing, limiting building heights in the DTC-100 zone to 100 feet with certain exceptions for the purposes of complying with the Downtown Plan.
- E. On March 22, 2017 the City Council President asked the Plan Commission to review the City’s existing height restrictions in the DTC-100 zone.
- F. Pursuant to that request, the Plan Commission formed an ad hoc committee of stakeholders (“Working Group”) and approved a project charter for the Working Group to review existing building heights limits in the vicinity of Spokane Falls Boulevard and Riverfront Park.
- G. The Working Group met four times to discuss this matter on May 16, June 6, June 13, and June 27, 2017.
- H. Following the completion of the Working Group’s review, Planning staff prepared a draft report titled “Building Heights on Spokane Falls Boulevard,” (the “Report”) dated August 2017, and presented the Report to the Plan Commission on August 9, 2017 during a workshop.
- I. The Report documents the Working Group’s recommended direction for City decision makers as they consider future changes to the Downtown Plan, development regulations, and implementation measures, specifically as they relate to future action in the vicinity of Spokane Falls Boulevard in the area currently zoned DTC-100.
- J. The Plan Commission reviewed the Report at their August 9, 2017 workshop and approved a motion to recommend to the City Council recognize this work as well as consider some additional recommendations.
- K. The City Council adopted Resolution 2017-0087 during their regularly scheduled meeting on October 9, 2017, recognizing the Report, adding text to the Report recognizing the Plan Commission’s recommendation of the report, and directing staff to move forward with a Unified Development Code amendment to create greater flexibility in design within the DTC-100 zone while remaining consistent with Comprehensive Plan and Downtown Plan goals and polies.
- L. City staff has conducted a public outreach and engagement process as required by RCW 36.70A.140, including meetings with the Community Assembly, Riverside Neighborhood, Peaceful Valley Neighborhood, Land Committee of the Parks Board, and representatives of the Downtown Spokane Partnership as well as an extensive web campaign and successful execution of noticing requirements in SMC Section 17G.025.010.
- M. The Plan Commission held workshops, open to the public, on December 12, 2017 and both February 28 and March 28, 2018 to study the proposed amendments.
- N. The City issued a SEPA Non-Project Determination of Non-Significance on April 10, 2017, indicating that the proposal would not have a significant impact on the environment, and published notice of that determination in the Spokesman Review on April 11 and April 18 and as required by SMC Section 17G.020.080; and

- O. The Plan Commission held a public hearing on April 25, 2018 during which they received public testimony regarding the proposed amendments with deliberations held immediately following.

Additional findings of fact may be added by the Plan Commission during deliberations, based upon new information that may be introduced into the record through the course of the hearing proceedings.

VI. LIST OF EXHIBITS

| <u>Exhibit</u> | <u>Description</u> |
|-----------------------|---|
| A | SEPA Determination |
| B | Proposed Amendments |
| C | Comment Letter from Land Committee, Parks Board |
| D | Public Comments Received |
| E | Survey Summary Results |

NONPROJECT DETERMINATION OF NONSIGNIFICANCE

FILE NO(S): *An ordinance amending section 17C.124.220, Height & Massing, of the Spokane Municipal Code.*

PROPONENT: *City of Spokane, Planning & Development*

DESCRIPTION OF PROPOSAL: *An ordinance amending Spokane Municipal Code (SMC) section 17C.124.220 to modify existing bonus heights within the DTC-100 Zone, allowing heights above 100 feet under certain conditions. The DTC-100 zone is comprised of 16 properties, some which are only partly in the zone. The total acreage of property in the zone, not including public rights-of-way, is 6.45 acres.*

LOCATION OF PROPOSAL, INCLUDING STREET ADDRESS, IF ANY: *This is a non-project citywide development code amendment that applies to areas currently zoned DTC-100 in the City of Spokane. The DTC-100 zone generally encompasses properties immediately south of Riverfront Park for a depth of one-half block south of Spokane Falls Boulevard, comprising the following parcels: 35183.0301, 35183.0324, 35183.0036, 35183.0050, 35184.1802, 35184.1808, 35184.1903, 35184.1904, 35184.1908, and 35184.2001 through 35184.2006, in the City of Spokane, Washington.*

LEAD AGENCY: *City of Spokane, Planning & Development*

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request.

DNS INFORMATION

☐ There is no comment period for this DNS.

☐ This DNS is issued after using the optional DNS process in section 197-11-355 WAC. There is no further comment period on the DNS.

☒ This DNS is issued under 197-11-340(2); the lead agency will not act on this proposal for at least 14 days from the date of issuance (below). Comments must be submitted no later than April 25, 2018 at 4:00 p.m. if they are intended to alter the DNS.

Responsible Official: Heather Trautman

Position/Title: Acting Director, Planning and Development **Phone:** (509) 625-6300

Address: 808 West Spokane Falls Boulevard, Spokane, WA 99201-3329

Date Issued: April 10, 2018 **Signature:** 

APPEAL OF THIS DETERMINATION, after it becomes final, may be made to the City of Spokane Hearing Examiner, 808 West Spokane Falls Blvd., Spokane, WA 99201. The appeal deadline is fourteen (14) calendar days after the signing of the DNS. This appeal must be on forms provided by the Responsible Official, make specific factual objections and be accompanied by the appeal fee. Contact the Responsible Official for assistance with the specifics of a SEPA appeal.

Proposed Amendments

The following proposed amendments are shown with text to be deleted in double-parenthens and structure through as follows: ~~((deleted text))~~. Any proposed new text or graphics are shown with a single underline as follows: new text.

Title 17C Land Use Standards

Chapter 17C.124 Downtown Zones

Section 17C.124.220 Height & Massing

A. Purpose.

The height and massing standards control the overall scale of buildings. These standards downtown allow for building height and mass at a scale that generally reflects the most intensive area within the City. The standards help to preserve light, air, and the potential for privacy in lower intensity residential zones that are adjacent to the downtown zones.

B. Height and Massing Standards.

The height and massing standards for all structures are stated in Table 17C.124-2 and as shown on the zoning map. Bonus height for zones that have a maximum height specified on the zoning map by a dash and a maximum heights (i.e. DTC-100) may be allowed as defined in SMC 17C.124.220(E). The Bonus height provisions of SMC 17C.124.220(F) and SMC 17C.124.220(G) are not available within downtown zones that have a maximum height specified on the zoning map by a dash and a maximum height specified after the zone map symbol (i.e. DTG-100). All height standards are subject to the following provisions:

1. Changes to the Maximum Height Provisions.

Changes to the height limits are not allowed outside of a downtown plan update process.

2. Pitched roof forms and accessible decks may extend above the height limit; however, if the space within the pitched roof is habitable, it shall only be used for residential purposes.

3. Projections Allowed.

Chimneys, flag poles, satellite receiving dishes, and other similar items with a width, depth, or diameter of five feet or less may rise ten feet above the height limit, or five feet above the highest point of the roof, whichever is greater. If they are greater than five feet in width, depth, or diameter, they are subject to the height limit.

4. Rooftop Mechanical Equipment.

All rooftop mechanical equipment must be set back at least fifteen feet from all roof edges visible from streets. Elevator mechanical equipment may extend up to sixteen feet above the height limit. Other rooftop mechanical equipment which cumulatively covers no more than ten percent of the roof area may extend ten feet above the height limit.

5. Radio and television antennas, utility power poles, and public safety facilities are exempt from the height limit except as provided in chapter 17C.355A.SMC, Wireless Communication Facilities.
 6. Architectural Projections.
The height limits do not apply to uninhabitable space under four hundred square feet in floor area that is devoted to decorative architectural features such as belfries, spires, and clock towers.
 7. Ground Floor Allowed Height.
The first story of the building may be up to twenty-five feet tall and still count as only one story.
- C. Special Height Districts.
Special height districts are established to control structure heights under particular circumstances such as preservation of public view or airport approaches and protection. See chapter 17C.170 SMC, Special Height Overlay Districts.
- D. Downtown West End Special Height District.
For the properties shown in Figure 17C.124.220-1 that are located in the area generally west of Monroe Street, east of Cedar Street, and between Main Avenue and Riverside Avenue, the maximum height shall be as shown in Figures 17C.124.220-1 and 17C.124.220-2.



Figure 17C.124.220-1
Notes for Figure 17C.124.220-1.

1. Thirty-five feet high from Cedar Street and Main Avenue street grade (highest street elevation fronting the parcel). Horizontally, fifty feet in depth from Cedar Street and Main Avenue right-of-way/property line.
2. Seventy feet high from Cedar Street and Main Avenue street grade (highest street elevation fronting the parcel). Horizontally, seventy-five feet in depth beginning fifty feet from the Cedar Street and Main Avenue right-of-way/property line.
3. Seventy feet in height from Wilson Avenue street grade (highest street elevation fronting the parcel).

4. One hundred fifty feet high from Riverside Avenue street grade (highest street elevation fronting the parcel). Horizontally, one hundred feet in depth from the Riverside Avenue right-of-way/property line.
5. One hundred fifty feet high from Cedar Street and Main Avenue street grade (highest street elevation fronting the parcel).
6. One hundred fifty feet high from Riverside Avenue street grade (highest street elevation fronting the parcel). Horizontally, two hundred twenty-five feet in depth from the Riverside Avenue right-of-way/property line.



Figure 17C.124.220-2

E. Additional Height Within Specific Height Designation Areas.

Additional stories for structures where the maximum height is specified with a dash after the zoning map symbol (i.e. DTG-70).

1. One additional story is allowed for every fifteen feet of upper story structure setback from a street lot line, up to the maximum number of stories allowed in the zone without a maximum height specified.

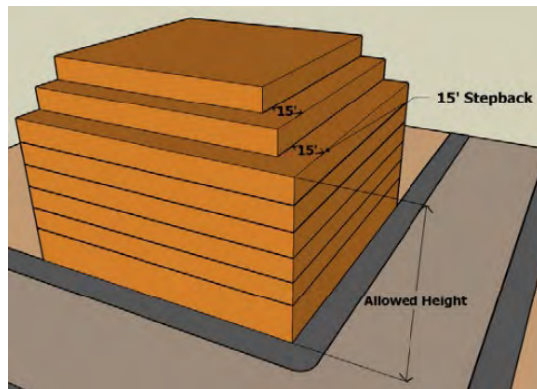


Figure 17C.124.220-3

2. Bonus height in the DTC-100 zone.

Additional height over 100 feet is allowed within the DTC-100 zone subject to the following requirements:

- a. ~~((In the DTC-100 zone one))~~ One additional story is allowed for every fifteen feet of upper story structure stepback from Spokane Falls Boulevard. There is no upper story structure stepback required from street lot lines that are not adjacent to Spokane Falls Boulevard after the first fifteen feet of upper story structure stepback from Spokane Falls Boulevard.

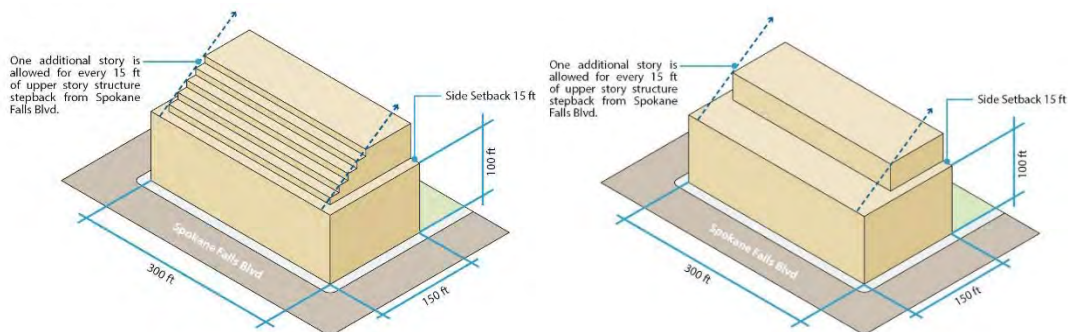


Figure 17C.124.220-4

b. Additional height above 100 feet is also allowed subject to the following limitations:

- i. Development of towers above 100 feet is limited to a floor plate that does not exceed 12,000 square feet. The floor plate is the total floor area of a single story (see SMC 17A.020.060.T for a definition of floor area). If a tower floor plate is not square, the long dimension shall be oriented north-south.
- a. Tower Separation. In order to reduce shadow impacts in Riverfront Park, if any part of a tower exceeds 100 feet in height then all portions of the tower that are above 100 feet in height shall be separated by a minimum of seventy five (75) feet from any portion of any other tower in the DTC-100 zone that is over 100 feet in height.
- b. Setbacks. In order to preserve views of and sunlight into Riverfront Park, any part of a tower that exceeds 100 feet in height shall be setback at least 15 feet from lot lines that abut public right-of-way.

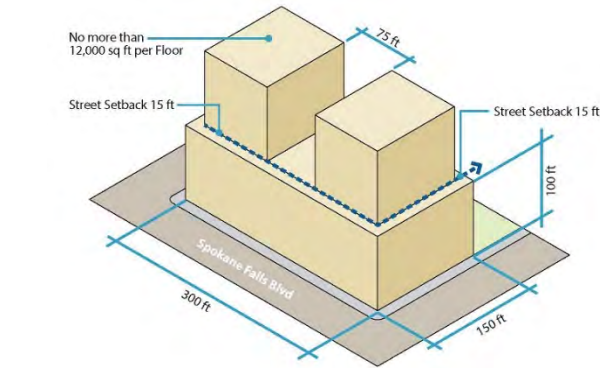


Figure 17C.124.220-5

- ii. Except as otherwise allowed in this section, allowed uses in those portions of towers above 100 feet in height shall be limited to residential or hotel uses. In cases where portions of a building below 100 feet in height include hotel or residential uses, the same square footage of non-residential uses are allowed in the tower (for example, 1,000 square feet of residential use in the building below 100 feet in height allows for 1,000 square feet of non-residential use in the tower).
- iii. Retail uses must make up at least 50 percent of the street level frontage. All such uses shall have their primary entrance directly on the sidewalk and not interior to the building.
 - a. Corporate offices, banks, and financial institutions do not qualify as retail in this case.
 - b. Restaurants and other public-serving food establishments qualify as retail uses in this case.

F. Structure Standards Above the Seventh Above Ground Story.

These standards are designed to transition the building bulk and mass for buildings exceeding seven stories in the DTG, DTU, and DTS zones.

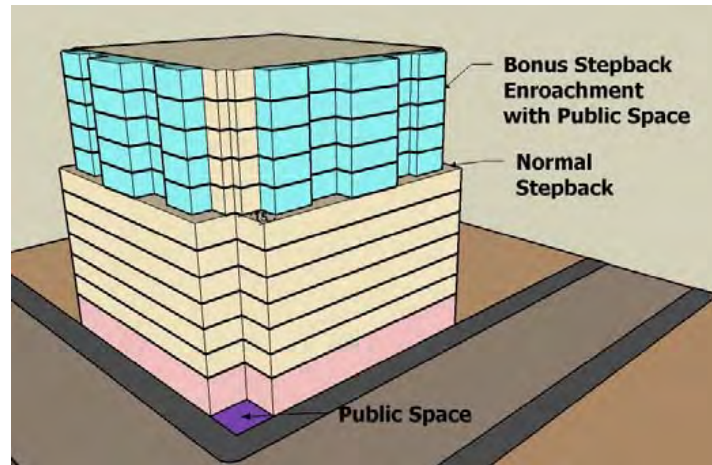
1. Upper Story Setback.

All stories above the seventh story shall be setback from all property lines and street lot lines a minimum of fifteen feet.

2. Exception.

The provision of an exterior public space as defined below allows for encroachment into the upper story setback. The allowed area of encroachment may not exceed an area equal to five times the area of the exterior public space.

Exterior Public Space(s) – A Plaza or Courtyard With a Minimum Area of Two Hundred Square Feet.



A plaza or a courtyard is a level space accessible to the public, at least ten feet in width, with a building façade on at least one side. The elevation of the courtyard or plaza shall be within thirty inches of the grade of the sidewalk providing access to it. For courtyards, at least sixty percent of the green shall be planted with trees, ground cover and other vegetation. For plazas, at least fifteen percent, but no more than sixty percent of the space shall be planted with trees, ground cover and other vegetation. Courtyards and plazas shall also include seating, pedestrian-scale lighting, decorative paving, and other pedestrian furnishings. The use of artists to create fixtures and furnishings is strongly encouraged.

G. Bonus Height.

The bonus height provisions are not available within specially designated height areas or the downtown zones that have a maximum height specified on the zoning map by a dash and a maximum height specified after the zone map symbol (i.e. DTG-100).

Additional bonus stories may be achieved if a development incorporates specified and described public amenities allowing bonus height and stories above the number of stories allowed outright in the zone. The bonus stories are in addition to what is specified in Table 17C.124-2. The number of stories above the number of stories allowed outright may be increased through a ministerial process intended to ensure that each amenity both satisfies design criteria and serves a public purpose in the proposed location. Amenities provided must be associated with the use for which the height increase is sought. Proposed amenities shall have a public benefit that is appropriate considering the height increase being achieved.

1. Structure Standards for Stories Above the Twelfth Above Ground Story.

These standards are designed to transition the apparent building height and mass for buildings that exceed twelfth stories in the DTG, DTU, and DTS zones. All stories above the twelfth story must meet the following standards. The following floor area and maximum diagonal plan tower dimension shall be measured from the inside face of the outside wall.

- a. On sites less than or equal to thirty-four thousand square feet in size:

- i. the maximum tower floor plate area per site is twelve thousand square feet;
 - ii. the maximum tower diagonal plan dimension is one hundred fifty feet.
 - b. On sites over thirty-four thousand square feet in size:
 - i. the maximum tower floor plate area per site is thirty-six percent of the total site area;
 - ii. the maximum tower diagonal plan dimension is based upon the following formula: Maximum tower diagonal plan dimension = (Square Root of (Site Area x 2)) x 0.6).
- 2. Bonus Height Provisions.
 - a. The following items qualify for addition structure height.
 - i. Permanent Affordable Housing.

Structure envelop devoted to permanent affordable household living space (housing units affordable to households making less than eighty percent of area median income for the City as defined by HUD) is not subject to a height or story limit.
 - ii. Affordable Housing Building Volume Bonus.

An area equal to the area devoted to permanent affordable housing that lies below the twelfth story may be added above the twelfth story in residential use that is not affordable housing.
 - iii. Historic Landmark Transfer of Development Right (TDR).

Subject to the requirements of chapter 17D.070 SMC, Transfer of Development Rights, additional building height and gross floor area may be transferred from a building on the Spokane register of historic places that is within a downtown zone to a new development within a downtown zone. The TDR may be transferred from a historic landmark located on the same site or from a historic landmark located on a separate site.
 - b. Two Story Bonus.

The following items each qualify for two bonus stories.

 - i. Ground Floor Uses that “Spill” onto Adjacent Streets.

One ground floor use that “spills” (single use) per one hundred foot of structure street frontage.

Preferred uses include retail sales and service or entertainment use, or any combination thereof, located on the ground floor with direct access and fronting on a street.

ii. Canopy Covering at Least Fifty Percent of Adjacent Frontage Over Public Sidewalk.

A virtually continuous canopy structure. A canopy is a permanent architectural element projecting out from a building facade over a sidewalk or walkway. A canopy shall be at least five feet in horizontal width and be no less than eight feet and no more than twelve feet above grade.

iii. Alley Enhancements.

Decorative paving, pedestrian-scaled lighting, special paving, and rear entrances intended to encourage pedestrian use of the alley.

iv. Additional Streetscape Features.

Seating, trees, pedestrian-scaled lighting, and special paving in addition to any that are required by the design standards and guidelines.

v. Small Scale Water Feature.

A small scale minor water feature integrated within an open space or plaza between the structure and public sidewalk. Small scale minor water features are generally designed to be viewed but not physically interacted with.

vi. Incorporating Historic Features and Signage.

Including historic plaques or markings about the local area or site. Reusing historic building elements and features on the site. Reusing existing landmark signs.

vii. Incorporating Bicycle Parking Enhancements.

Providing covered bicycle parking for all required bicycle parking along with other bicycle amenities such as secured bicycle lockers and equipment storage facilities.

c. Four Story Bonus.

The following items qualify for four bonus stories each.

i. Additional Building Stepback Above the Seventh Floor.

An additional ten feet of upper floor stepback from the street lot lines.

ii. Preferred Materials in Pedestrian Realm.

Use of brick and stone on the building facades that face streets on the first three stories of the building.

- iii. Multiple Ground Floor Uses that “Spill” onto Adjacent Streets.
One ground floor use that “spills” per thirty feet of structure street frontage. Preferred uses include retail sales and service or entertainment use, or any combination thereof, located on the ground floor with direct access and fronting on a street.
- iv. Major Exterior Public Spaces/Plaza.
A plaza or courtyard, with a minimum area of four hundred square feet or one percent of the site size, whichever is greater. A plaza or a courtyard is a level space accessible to the public, at least ten feet in width, with a building façade on at least one side. The elevation of the courtyard or plaza shall be within thirty inches of the grade of the sidewalk providing access to it. For courtyards, at least sixty percent of the green shall be planted with trees, ground cover and other vegetation. For plazas, at least fifteen percent, but no more than sixty percent of the space shall be planted with trees, ground cover and other vegetation. Courtyards and plazas shall also include seating, pedestrian-scale lighting, decorative paving and other pedestrian furnishings. The use of artists to create fixtures and furnishings is strongly encouraged.
- v. Workforce Housing Greater Than Twenty-five Percent of the Total Number of Housing Units.
For this bonus, the housing units shall be affordable to households earning one hundred twenty percent or less of area medium income (AMI). For homes to be purchased the total housing payment (principal, interest, taxes, and insurance, PITI) shall be no more than thirty-three percent of income. For rental housing the rent plus utilities shall be no more than thirty percent of income.
- vi. Public Art.
Public art includes sculptures, murals, inlays, mosaics, and other two-dimensional or three-dimensional works, as well as elements integrated into the design of a project (e.g., fountain) that are designed and crafted by one or more artists. Such artists must be listed on a registry of either the Washington state arts commission or the Spokane arts commission. To receive the bonus, public art must be documented at a value that is at least one percent of the construction value of the bonus stories.
- vii. Through-block Pedestrian Connections.
Through-block pedestrian connection providing a continuous walkway accessible to the public, at least ten feet in width, paved with decorative paving and lighted for nighttime use. It may be covered or open to the sky.
- viii. Major Water Feature.

A major water feature integrated within an open space or plaza between the structure and public sidewalk. A major water feature is designed to be viewed and is large enough to be physically interacted with by the public. It shall be at least ten square feet in size as measure in plan view.

ix. Green/Living Roof.

A planted area of a roof covering greater than fifty percent of the roof surface.

d. Eight Story Bonus.

The following items qualify for eight bonus stories each.

i. Workforce Housing Greater Than Fifty Percent of the Total Number of Housing Units.

For this bonus, the housing units shall be affordable to households earning one hundred twenty percent or less of area medium income (AMI). For homes to be purchased the total housing payment (principal, interest, taxes, and insurance, PITI) shall be no more than thirty-three percent of income. For rental housing the rent plus utilities shall be no more than thirty percent of income.

ii. Bicycle Commuter Shower Facilities.

Structures containing two hundred thousand square feet or more of office gross floor area shall include shower facilities and clothing storage areas for bicycle commuters. One shower per gender shall be required. Such facilities shall be for the use of the employees and occupants of the building, and shall be located where they are easily accessible to parking facilities for bicycles.



April 12, 2018

Spokane Plan Commission
City of Spokane
808 W. Spokane Falls Blvd.
Spokane, WA 99201

Re: Height Restrictions Spokane Falls Blvd.

Dear Plan Commission and President Dellwo:

I'm the Spokane Park Board Land Committee chair. Kevin Freibott of Planning Services provided a presentation at the April 4 Land Committee meeting which outlined the building height considerations associated with the DTC-100 zone along the south side of Spokane Falls Boulevard across from Riverfront Park. Kevin gave a thorough report and reviewed in detail the recommendations of the Spokane Falls Boulevard Building Heights Working Group. It is important to note Park Board member Chris Wright, the Park Board President at the time, and Parks and Recreation Director Leroy Eadie were members of the Working Group, and attended Kevin's presentation to the Land Committee.

Although the Land Committee did not take formal action, there was a robust discussion following Kevin's presentation. In that discussion, four main themes or positions were brought forward by those present:

1. Most Land Committee members present felt comfortable with the recommendations of the Building Heights Working Group. This included Chris Wright who participated on the Work Group.
2. At least one Land Committee member did not agree with increasing the height from the current DTC-100 code requirements. That Board member's position is that height restrictions across from Riverfront Park should not be allowed to be any higher than the existing 100 feet allowed today.
3. Of those committee members supporting the Working Group recommendation, none thought further entitlement of a larger floor plate or reduced width between towers should be considered. In other words, the Working Group has gone far enough to provide development opportunity for the property owners, balanced with consideration of views and shadowing on other properties in the vicinity, including Riverfront Park.
4. Several Land Committee members present felt that a cap on the building height in this area should be maintained, rather than unlimited height as proposed by the Working Group. There is concern that this park-front property might invite taller buildings than other properties in the

EXHIBIT C
AGENCY COMMENT LETTER

downtown core, which could exacerbate shadow/view concerns. Limiting building height to that of the tallest building currently in downtown, limiting based on shadowing on Riverfront Park, and a straightforward 200-foot limit were all brought up as possibilities.

5. Park Board members understand they have no formal role in this matter, but do agree it is important to convey the opinions expressed by its members to date. There is some support for having the full board review the matter, but the next opportunity for a resolution by the full Park Board will be in May. It is likely that the full Park Board will have a variety of opinions, similar to the Land Committee, and how the full Park Board would vote on height restrictions in the DTC-100 zone along the south side of Spokane Falls Boulevard across from Riverfront Park is unknown.

Although Parks and Recreation Director Leroy Eadie is not a voting member of the Park Board member, it is my understanding he also supports the recommendations of the Working Group.

Please contact Leroy me or if you have any questions.

Sincerely,



Greta Gilman
Spokane Park Board – Land Committee Chair

Cc: Kevin Freibott, Planning Services

From: [Ann Fennessy](#)
To: [Dave Lucas](#); [Freibott, Kevin](#); [Stuckart, Ben](#); [Burke, Kate M.](#); [Fagan, Mike](#); [Kinnear, Lori](#); [Beggs, Breean](#)
Cc: [Greg Francis](#); [Mary Terhaar](#); [kurt helgerson](#); [Jim Sullivan](#); [Khalil Beznaigui](#); [Julie Banks](#); stresko@outlook.com; erobey@comcast.net; [Stratton, Karen](#); [Mayor](#)
Subject: Re: Spokane Falls Blvd Building Heights Proposal - New Story Map for information
Date: Friday, January 19, 2018 11:51:03 AM

Dear Mayor Condon, Community Assembly Members, Committee Chairs, Community Assembly Alternates, Land Use Committee, Neighborhood Council Contacts, and Members of the City Council,

The story map recently submitted for consideration by Planner Kevin Freibott was an effective and easily understood presentation on the proposed changes to building heights along Spokane Falls Blvd.

It was especially effective in showing the different patterns of shade that would be cast on Riverfront Park by buildings exceeding the current height limit of 100 feet.

Because shading was the major concern in establishing those limits by the City Council in 2009, it is my opinion that the requirements should remain in place.

The citizens of Spokane two years ago approved a multi-million dollar upgrade of the Park, and any changes in the amount of sunlight cast during the day would decrease the value of the area.

Plan Commission workshops and hearings held in August, 2008 came to this conclusion:

“....preference to maintain an open, light-filled, sunny edge of Riverfront Park. Having sunlight on one side of every street allows for a better public realm, because it allows for openness as well as the sense of enclosure that the shade provides.”

Further, on page 81 of the downtown plan, “Access to Views and Sunlight” states that, “The Spokane community expressed a strong desire to maintain maximum exposure to sunlight in significant public open spaces, such as Riverfront Park, by promoting buildings designed to reduce shadows.”

Any changes to this intent would disregard the wishes of the citizens of Spokane—both today and in 2009-- and also negate the hard work and study done by the City Council and others to make this original restriction part of the city’s downtown plan.

Please keep the 100 ft building restriction on Spokane Falls Boulevard in place.

Thank you for your time and consideration,

Ann Fennessy

EXHIBIT D
PUBLIC COMMENTS RECEIVED (NOT INCLUDING SURVEY)

From: [Ben Giese](#)
To: [Freibott, Kevin](#)
Subject: No height restrictions
Date: Friday, January 19, 2018 8:20:40 PM

I wasn't able to get the survey to work, but I think that taller buildings near the park would be great for our city. The surface parking lots that are there now are a waste of space. Thank you!

Sent from my iPhone

From: [bonniekofmehl3](#)
To: [Freibott, Kevin](#)
Subject: Opinion on taller buildings
Date: Saturday, January 20, 2018 9:58:53 AM

No we should NOT increase the height of new construction downtown. It's claustrophobic sense makes me avoid downtown as is. One word concerning the look of proposed buildings
EYESORE!
Sent from my Boost Mobile Phone.

From: [Ellen Robey](#)
To: [Freibott, Kevin](#)
Cc: [Greg Francis](#); [Dave Lucas](#)
Subject: Proposed Building Height changes
Date: Wednesday, January 24, 2018 7:56:47 AM

In 1972-74 an amazing group of Spokane people had the foresight to create a magnificent park right in the middle of our wonderful City. It transformed Spokane in a way no one expected. Today that Park is a magical part of Spokane. I think the Olmsted Brothers would have been proud if they had participated. Having worked downtown for my entire career, the openness, the sunshine and being able to look 360 degrees around and see the sky and the beautiful architecture of the Old National Building, the Paulsen Building and many other historical structures truly made Spokane a jewel.

I have viewed the presentation several times and it makes me very sad to see us lose this jewel behind a wall of buildings and cutting off Downtown from the park. Having recently traveled to several large Eastern cities, I walked down tunnels of buildings with little view of the sky or the sun, cold wind tunnels....dreary indeed! Please don't change Spokane into one of those. The money currently being invested in the Park is wonderful! Don't hide these marvelous improvements.

Ellen Robey

From: [Don Barden](#)
To: [Freibott, Kevin](#)
Subject: Building Heights on Spokane Falls Blvd
Date: Friday, January 26, 2018 1:34:30 PM

Kevin,

I got into the website that describes this matter but after several tries, was unable to find a link to the survey or any means of providing input.

My input is pretty simple: I ride my bike down Spokane Falls Blvd from Washington to Post from time to time and am concerned that allowing much taller buildings along that stretch of SFB would create much cooler temperatures in the area shaded and lengthen the time that ice and snow remains in the bike lane on the north side of the street

Thanks,

Don Barden

From: [Happy, Julie](#)
To: [Freibott, Kevin](#)
Subject: FW: Comment on City Asks Public for Input into Building Heights along Riverfront Park - City of Spokane, Washington
Date: Monday, January 29, 2018 12:36:09 PM

Do you want me to send these to you?

From: Disqus [mailto:notifications@disqus.net]
Sent: Friday, January 26, 2018 10:28 PM
To: Happy, Julie <jhappy@spokanecity.org>
Subject: Re: Comment on City Asks Public for Input into Building Heights along Riverfront Park - City of Spokane, Washington



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This comment is awaiting moderator approval.

[mdriftmeyer](#)

All for it as long as the base ratio compensates for the height increase, and the designs aren't just cubic rectangles of primarily concrete only designs like the new hotel: a truly wasted opportunity to have more than a 50s/60s design that no one finds appealing and timeless.

The problem with these new designs is they have zero aesthetic appeal for mixed use upper levels to allow for open view seating in the upper levels. We don't have remotely the need for a business only suite tier of one, two or three side by side towers and no open mid-roof top restaurants, view points to overlook the park.

These designs do nothing but negate views of the park from existing buildings which still overlook the park.

It makes more sense to have the nearest road perimeter to the park cap be below the the line of sight of pre-existing capped builds, thus allowing for the views to remain, not to mention give focus of the near the park buildings as primarily consumer driven buildings, not professional office driven buildings.

Case in point, the Rotary Fountain View

Cut the three towers off and make the roof lines be designed for public access and social settings to overlook the park. This could give large events like the 4th of July,

Hoopfest and more a more inclusive vibe and reduce congestion, plus give the city the opportunity to have roof top restaurants around the park.

It seems rather obvious to me.

1:28 a.m., Saturday Jan. 27 | [Other comments by mdriftmeyer](#)

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From: [Happy, Julie](#)
To: [Freibott, Kevin](#)
Subject: FW: Comment on City Asks Public for Input into Building Heights along Riverfront Park - City of Spokane, Washington
Date: Monday, January 29, 2018 1:12:29 PM

From: Disqus [mailto:notifications@disqus.net]
Sent: Saturday, January 20, 2018 9:04 AM
To: Happy, Julie <jhappy@spokanecity.org>
Subject: Re: Comment on City Asks Public for Input into Building Heights along Riverfront Park - City of Spokane, Washington



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This comment is awaiting moderator approval.

I Love Sign Language

I can't find the link to the survey but I am against changing the hight requirements for new buildings running along Riverfront Park.

[12:03 p.m., Saturday Jan. 20](#) | [Other comments by I Love Sign Language](#)

Moderate this comment by email

Email address: colleen@ilovesignlanguage.org | IP address: 174.216.15.83

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From: [Happy, Julie](#)
To: [Freibott, Kevin](#)
Subject: FW: Comment on City Asks Public for Input into Building Heights along Riverfront Park - City of Spokane, Washington
Date: Monday, January 29, 2018 1:55:59 PM

From: Disqus [mailto:notifications@disqus.net]
Sent: Monday, January 29, 2018 1:55 PM
To: Happy, Julie <jhappy@spokanecity.org>
Subject: Re: Comment on City Asks Public for Input into Building Heights along Riverfront Park - City of Spokane, Washington



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This comment is awaiting moderator approval.

Matty

Against increasing height-blocking sunlight

4:54 p.m., Monday Jan. 29 | [Other comments by Matty](#)

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From: freeri@yahoo.com
To: [Freibott, Kevin](#)
Subject: Thanks for this opportunity
Date: Saturday, February 3, 2018 4:04:42 PM

While others will have shared their thoughts more succinctly than mine, please accept these ideas as one citizen's concern about our most valuable asset, Riverfront Park.

First, government needs to find balance in generation of property tax revenue with the public's inherent right to the availability of recreational property that can generate revenue through events and attractions that generate sales tax income. Property owners with land adjoining Riverfront Park are entitled to construction of projects that provide them with fair return on their investment.....or, purchase of their property by the government at fair value to protect the intrinsic value of the park area.

If construction of projects in the area surrounding the park result in the creation of an aesthetically unpopular, enclosed park area the value and utilization of the park will be adversely impacted and public use of the park will dwindle and events will look for other venues. Sales tax revenue will fall and the park will deteriorate into a low use, high expense area.

Therefore, Riverfront Park must have an open area, a northwest regional feel that encourages sun, air and landscaping designed to return the area as much as possible to its natural state. Encroachment by construction as already accepted and additionally proposed basically for the betterment of property owners and high end residents devalues the potential of Riverfront Park and risks the viability and public enjoyment of the area.

Reduce height and density justifications and preserve the current and potential value of Riverfront Park. Why would the city invest millions of taxpayer dollars in needed park improvements only to make the area similar to parks in the Eastern United States that are surrounded by encroaching tall buildings?

Thank you for your consideration.

Frank Neeri

Sent from my iPad

From: [Grant Keller](#)
To: [Freibott, Kevin](#)
Subject: Building Height Survey
Date: Tuesday, February 6, 2018 10:35:21 AM

Hi Kevin,

I went through and took the survey but my browser was acting funky and I'm not sure if the survey actually got published. I just wanted to chime in on the building height discussion and emphasize that we may be missing a HUGE opportunity here. The two blocks on either side of Stevens present an incredible opportunity to create what Spokane currently lacks: A Town Square. Stevens could artfully be rerouted to one side or the other allowing for a large plaza and open space that would be a transition point from Downtown to Riverfront Park. Spokane currently does not have a large outdoor gathering space, other than what may be found inside the park. Most major cities have a large, open, hardscaped plaza and I think we should be considering this as we plan for the future of Downtown Spokane. I have sketched out a couple of quick ideas if you're interested in seeing them but I think you can probably envision what I'm talking about.

Thanks!

-Grant

Grant Keller
President | TERRABELLA, inc.
www.terrabellainc.com
M: 509.951.9227
O: 509.535.2333
F: 509.692-2066

From: [Delbridge, Tessa](#)
To: [Freibott, Kevin](#)
Subject: ATM-18-00088 Building Heights Objection
Date: Tuesday, February 6, 2018 2:21:47 PM

Hi Kevin,

Our office received this comment through the Ask the Mayor online forum, so I thought I'd pass it along to you as well.

*Mayor Condon:
Council Member Stratton
Council Member Mumm
Council President Stuckart*

I've closely reviewed the link provided below by the City of Spokane regarding current building height and setback restrictions in zone DTC-100 located immediately south of Spokane Falls Blvd. I've also reviewed some of the more obvious impacts to portions of River Front Park located south of the Spokane River and north of Spokane Falls Blvd. The graphics are very revealing. I compliment the City of Spokane graphic design team who assembled them, and the City for its decision to share them with Citizens. In summary, the graphics clearly illustrate the potential for significant shadow effects, as well as resulting seasonal thermal solar inputs for the Park should setback and height restricts be relaxed. In conjunction with both seasonal and daily changes in sun azimuth and solar elevation, the stair step height setbacks presently in place within DTC-100 for buildings located immediately south of River Front Park appear to be well crafted to provide necessary protections for the park environment.

River Front Park is a Jewell in the crown of our City. Located, as it is, along the beautiful Spokane River which bisects the City, the Park offers a uniquely accessible and vitally important opportunity for residents to recharge, relax, and revitalize. River Front Park is used every month of the year, from January to December. I frequently pass through the Park as I walk or ride my bike from my home near Corbin Park to do business and shop in the City Center. During the winter I have observed families with children of all ages walking on the paths and playing on the snow covered lawns. When I walk through the Park I share my experience with hundreds of others who likewise walk or ride to catch some winter sun during the brief breaks in the short and dreary days of winter. In the spring, summer, and fall the morning sun brings life and color to the beautiful riverfront where I see elderly residents of our City strolling by the fountains the lie within a few feet of Spokane Falls Blvd, or watching the water fowl swim along the river bank. Later in the day, as the temperature climbs when the sun rises above the tall buildings already in place just south of Spokane Falls Blvd I see young mothers and fathers with their kids, as well as single individuals – both young and elderly - walking the paths that parallel the river. In the spring and fall when mornings are often crisply chill the early morning sun with its warming radiance is clearly a major draw for these families and individuals who rise with the sun.

The new ice ribbon, for example, as well as the fountains where children play or buildings associated with the newly housed carousel could be shrouded in gloom when they should be resplendent in all of

their colors. During spring, fall, and winter – months when temperatures plunge, shadows from taller buildings AND/OR buildings that lack the stair step setback on their roofs currently required by zoning in DTC-100 would doom Park visitors to gloom and cold. As we all know, Summer Solstice in June is the longest day of the year. During June the sun rises early in the day and sets late in the evening. The rays of the summer sun come from high in the sky and bring warmth to River Front Park very early each morning. Even during June, the month with the longest days of the year and the greatest amount of sun reaching the park, much taller buildings that now are prohibited within DTC-100 would likely cast chilling shadows over many of the newly built improvements. Would the multi-million dollar bond that built these new (and very expensive) improvements have received such overwhelming support had citizens known the fruits of their generosity would soon be shrouded in shadow?

I and my family vehemently object to proposals to “relax” building code restrictions south of Spokane Falls Blvd in DTC-100. We voted in favor of the Park’s multi-million dollar bond so Spokane’s crown jewels would glisten in sunlight and warmth for the enjoyment by all of our citizens and the visitors to our City. We did NOT support the bond so a few developers could build more unaffordable apartments and overpriced offices with spectacular views created and maintained at our expense. We want the Park to be welcoming and warmed by the sun year round. When the south shore of the Spokane River is doomed to shadow by canyon walls of tall buildings we all suffer irreparable loss.

<https://spokane.maps.arcgis.com/apps/Cascade/index.html?appid=61844852688f4adcb8025fae7614be14>

Please oppose efforts to “relax” the current height and setback restrictions with DTC-100. The restrictions are working exactly as intended while producing the precisely desired outcomes as foreseen by prior Mayors and City Councils. Your predecessors on the Council acted wisely by creating these restrictions. I hope you act in wisdom by retaining them.

Respectfully,

John Townsley

TESSA DELBRIDGE | CITY OF SPOKANE | CONSTITUENT SERVICES COORDINATOR, OFFICE OF THE MAYOR
509.625.6716 | tdelbridge@spokanecity.org | spokanecity.org



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From: [Delbridge, Tessa](#)
To: [Freibott, Kevin](#)
Subject: RE: ATM-18-00088 Building Heights Objection
Date: Thursday, February 8, 2018 9:31:26 AM

Hi Kevin,

I'm passing along another one that we received. Could you also draft a short response to these comments for Mayor's signature about the next steps, or how the consideration is being processed/timeline? Thank you.

I am opposed to both proposal 1 & 2 allowing high-rise building to shade Riverfront Park. In my opinion, the city should keep their current regulation as presented in the Spokesman Review on Saturday, February 3, 2018.

Visitors to the Park come to enjoy the open feeling that it the currently has. Buildings blocking the Sun light will be encroachment on the openness we currently enjoy. Riverfront Park is a very unique park. Let's not diminish its uniqueness. It helps to make Spokane an enjoyable place to visit for the people living in this area and is attractive to visitors.

Chris Wade

Tessa

From: [Margaret Caparoso](#)
To: [Freibott, Kevin](#)
Subject: Building Heights in Downtown Spokane
Date: Sunday, February 11, 2018 10:22:52 AM

Hello,

I am writing to let you know my opinion about the new building heights proposed for the city. I read most of the newspaper article and looked at the possible designs for higher buildings. I do not like any of the increased height requests or proposals.

The Spokane River is a dynamic and beautiful part of our downtown and the entire corridor it has created is worthy of the highest level of preservation. If this desire to build higher and go for more density it should be accomplished a long way from the River...I would say at least 3/4 to 1 mile from the River. The River is adding wonderful dimensions to our lives and well being that cannot be calculated and certainly does not have a price tag on it. Developers have a price tag on everything and they can do their thing but please, I request, don't build any higher near the Spokane River.

Please, do not listen to the requests from the big people in the development and finances sector of our area. Listen to the heart of Mother Nature and allow our River to be the best possible piece of creation that it is striving to be.

Thanks for your time.

Meg Caparoso

509-448-8480

From: [Fisher, Jessica](#)
To: [Martin, Abigail](#); [Freibott, Kevin](#)
Cc: [Wittstruck, Melissa](#)
Subject: RE: Storyboard and survey for building height on Spokane Falls Blvd.
Date: Monday, February 12, 2018 1:30:06 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image009.png](#)
[image013.png](#)
[image036.png](#)

I will share this on Nextdoor!

Kevin,

Here are the latest comments from Facebook regarding building heights.

[Susan Smith Lindsey](#) I think that huge, monolithic buildings directly across the street from Riverfront Park are a terrible idea. River Park Square, the INB Center and the Davenport Grand already cut visual space between the South and North Hills and the heart of our city: Riverfront Park and the river. Huge, tall, monolithic buildings on the little open space that is left on Spokane Falls Blvd would choke the visual breathing space between existing downtown buildings and the park and lose the feeling that the park and river flow naturally into/from downtown. It would feel like the park and river were cut off from the rest of the city by big walls.

One of the things we love about living on the North Hill is the view into downtown with visual open space between the river, park and downtown buildings. We can really appreciate how pretty our downtown is and be grateful that it is not built up like Seattle or other large cities because of that view. The wall of buildings on the north side of the park completely cuts off the visual openness of the river and park. Doing the same thing on the south side would be like enlarging your nose so no one could see your beautiful eyes.

One of the pleasures of visiting Riverfront Park is looking south into downtown to admire the different architectural styles and appreciate how our downtown is not all ugly, modern high-rises. Huge monolithic buildings in the last open spaces on Spokane Falls Blvd would destroy that attractive southern view from the park.

Finally, making these last open spaces into expensive residential and pricey hotel properties will mean that average Spokaneites will no longer have visual access to our river and beautiful park. It's already bad enough that River Park Square literally turns its back on the park and the INB Center blocks the view of the park from downtown but this plan will also mean that only rich residents and hotel visitors would be able to enjoy a parkfront view from their giant towers.

If anything, building heights should be reduced in the last open space on Spokane Falls Blvd. Riverfront Park is the jewel of our city and it should not be cut off from the community by walls of buildings.

[6](#)

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[Hank Chiappetta](#) Does it matter I'm sure somebody that was involved in the park will tell everybody that it's all a process and they forgot to let anybody know until the right time period a couple days before they do it like they did in the park over the the cement company New York art. I'm sure it's all in the process

[2](#)

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[Ryan Brix](#) Ruining Spokane one block at a time

3

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Sarah Fairfax I'm not sure I'm really opposed to higher buildings but is that really the design for the two buildings because they're not attractive at all!

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Greg Marks  yes

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Julie Shepard-Hall Don't block off the view to our park and our Cityscape. The ugliest site now when driving downtown on Washington is the boring white wall of the Grand. Adding large buildings across the park would be awful. Plus losing sunlight on our park and how it will affect the grass and plants

6

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Dana Brimmer I've heard that area called, "The bland canyon."

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Eddi Taru Who really cares about the shadow? Just build the buildings that you want to build. We need new buildings.

1

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[3 Replies](#)



Kara Wilcox Please don't allow taller buildings!

7

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City of Spokane - Municipal Government Please share your feelings by taking the survey! You can find the survey at the bottom of this blog. <http://bit.ly/2DuDlaRManage>

[City Asks Public for Input into Building Heights along Riverfront...](#)

MY.SPOKANECITY.ORG

1

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[Charlotte Lamp](#) #1 only. Do NOT shade the park. We get little enough sun as it is. I use the park for walking almost daily.
3

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[City of Spokane - Municipal Government](#) Thanks for the comment! Please share your feedback by taking the official survey. You can find it at the bottom of this blog! <http://bit.ly/2DuDlaRManage>

[City Asks Public for Input into Building Heights along Riverfront...](#)

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2

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[Charlotte Lamp](#) I did!

1

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[Susan Traver](#) I do hope these comments will also be used as public input.

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[Ray Biddle](#) Only if you take the survey. Read the instructions. Seriously.

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[Susan Traver](#) My point is that you should not be forced into taking a survey as the only means for citizen input to our City decision makers. I did read the instructions. I just also hoped that other comments from other sources would also be given to decision makers.

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[Shauna Harshman](#) If you comment on the article on the project page, or send an email they will for sure be taken into account, likely on the article on the fb page also.

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[Michelle Walter](#) no more ugly monster buildings

1

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Julie Hehyan What monster high rise do we have. We have one of the ugliest skylines and downtown that I have seen. We need new buildings!!!

[2](#)

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Erika Deasy Then we'd no longer be the brown city.

[Manage](#)

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Shawn Rumer-Kerbs I filled out the survey, but one thing I noticed on the shading was that it appeared to use the summer sun angle. Keep in mind this is lower in winter and will cast a longer shadow.

[8](#)

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Dan Kolbet Took the survey. Major kudos for the website simulations. Made the ideas very easy to see and understand.

[2](#)

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Erik Nelson The step building looked really cool. Don't shade our park!

[1](#)

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Smith Robbie If you do riverfront park will pay. Zero sense to block out the lil southern exposure left. But I'm sure people from a tax bracket I'll never achieve will make this decision.

[4](#)

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Julie Shepard-Hall It definitely needs some improvement, but not those high rise buildings. It's like blocking of our whole downtown corridor

[1](#)

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Ed Miller lets clean up what we have down town we don't need tall thing by the park we are not NEW YORK CITY like there big park there

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Nick Backman We have plenty of other buildable sites for high rises.

2

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Laura McNiel I did the survey. A definite no to taller buildings.

2

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Todd Smith Do people really think the city is actually going to listen to what we suggest. They do what to do no matter what.

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Nickie Ament No!

2

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James Kelly Let it rip!

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Jessica Edgar Worley [Jessie Worley](#)

[Manage](#)

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Christine Ortiz [Matt Sprott](#) bad shadows 😬

[Manage](#)

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Thanks.

From: [Fisher, Jessica](#)
To: [Freibott, Kevin](#)
Subject: RE: Storyboard and survey for building height on Spokane Falls Blvd.
Date: Tuesday, February 13, 2018 11:51:03 AM
Attachments: [image041.png](#)
[image049.png](#)
[image050.png](#)
[image051.png](#)
[image053.png](#)
[image054.png](#)
[image055.png](#)
[image060.png](#)
[image064.png](#)
[image087.png](#)

Here are the latest responses.

[Brandy E.](#) from [16th Ave](#) · 21h ago

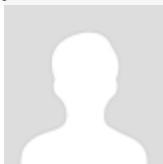
? .



[jack v.](#) from [Lincoln Heights](#) · 21h ago

If past experience is any predictor, it's already a done deal and any citizen input is just for show. Just ask anyone who wasted time and effort on the citizen committees for the most recent Comprehensive Plan. When it came out, all the citizen input was ignored and developers not present at the public meetings wrote the plan they wanted. BTDTNA

jack vines



[Justin B.](#) from [Cliff Cannon](#) · 21h ago

I really appreciate that this was a concern for new building. I recall when I was in Munich, Germany and noticed that when I was enjoying their beautiful parks I felt like I was in the forest, not in a huge city. Later I realized that they had taken great pains to preserve the sacredness of their parks by limiting the buildings in the vicinity of a park to be no higher than 5 stories (old growth trees there were tall). The effect of this is the ability to truly detach from the city while in the park. I'm not proposing a similar thing as this worked for that community. What I am in favor of is being aware of how we value parks (esp in spokane as it's part of our identity) and so should go forward with reverence for them. If this is the decision that balances respecting parks with economic development, I'm all for it.

Respecting the parks is preserving the ability to enjoy them without having huge swaths in shadow (it's cold enough thank you...).



[Dennis H.](#) from [Westgate / Windriver](#) · 20h ago

Jack, you said it best. Also note that it's hard to be heard from verbally. It's always, "go to this website". Therefore, city reps don't have to be held accountable. Sadly it is the way society does business now...even in the private sector.



[Jennifer J.](#) from [Manito/Cannon Hill NC](#) · 20h ago

I have looked over the info and am trying to understand the benefits and drawbacks for the proposed changes. Actually, I am trying to see what the benefit is to the citizens of Spokane. The rules were put in place originally as that is what the people of Spokane wanted. What has changed? How do these changes benefit us? Why would people want it to change?

I am simply trying to understand, so I can make an informed decision on this.

I see how developers would want this. I don't understand why everyone else might.

Also, I am not clear on why making these buildings residential/hotel would affect what the rules are.

I would greatly appreciate any input from those who might have more understanding or insight.



[Kim K.](#) from [Lindeke & Grandview](#) · 20h ago

Jack Vines is correct. Just watch the City Council meetings on Monday nights. They allow public comments on issues under consideration, but you are strictly timed and heaven forbid you go over the allotted 3 minutes. Ben Stuckart will cut you off like a gangrenous limb. The public comment periods only give the illusion that citizens have any input into decisions that affect them and that they have to pay for.



[Kim K.](#) from [Manito/Cannon Hill NC](#) · 19h ago

I agree with Jack ..keep our park full of sunshine and trees..limit high rises around this wonderful downtown gem!



[Michael B.](#) from [Manito/Cannon Hill NC](#) · 18h ago

Do not change height restrictions. I will pay attention to who votes for increasing heights and will vote accordingly.



[Tina H.](#) from [South Indian Trail](#) · 17h ago

Don't we have better things to vote on instead of wasting the view of the park?



[Paula M.](#) from [Shadle Park Northwest](#) · 16h ago

this a mess to me,why can't they do something about the lack of parking. There is no parking around the Fox, all the lots around there are private or pay by the month only. It is very hard for me ,i am 100% disable and can not do all the walking. I enjoy my granddaughter playing in the Spokane Youth Symphony Orchestra,but trying to get a parking space around there is impossible and almost no disabled spaces. One parking lot across from the Bing costs \$16 to park there. RIP OFF !! They can forget all the building,who needs it just make more parking.



[Erin J.](#) from [Five Mile Prairie](#) · 5h ago

I think it's very worth it. I also appreciate them letting the public vote on it. These buildings will be there for YEARS if not forever. I would like to have a say in what our downtown - the hub of our city - looks like.



[Sam W.](#) from [Cliff Cannon](#) · 2h ago

I find it interesting this is being brought up now. There seemed to be no issue allowing the Davenport Grand to be built, effectively obstructing the views of the park from the south. Granted, it does throw its shade onto the INB and not the park. However, as nice as it is, it is a bit of an eyesore in its location. I love the prospect for increased urban development. Our downtown is a great place. I just find the interest in this now as suspicious. I'm pretty positive that if it was Walt Worthy building high rise condos along the

park, it would be rubber stamped with out hesitation.

Phyllis T.I am writing to oppose the change of building code that would allow building on the two parking lots along Spokane Falls Blvd. Let's protect our park, if developers want to build on that property, I don't think it is too much to ask to modify the buildings to meet current code. Phyllis Thayer 2512 W. Courtland Ave Spokane WA 99205 phyl2mail@gmail.com

Consuelo L.Well, you know what? All 3 offerings stink! Their HEIGHT (!!!), their styles, & their placement so close to the curb & street will make the Park dark...especially at the Red Wagon. WHY do we need to allow buildings of these proportions...??? Riverfront Park is an open treasure & as soon as you start shading it w/big buildings, you take away a great deal of the its charm, its invitation to approach it & its feeling of safety. I say NO, NO, NO...just go to Seattle & see how Tall buildings have ruined what was an open & comfortable city...no more!!!! Thank you Consuelo Larrabee larrabee414@comcast.net

Bob M.Spokane natives got along fine without tall buildings and we will miss the sunshine. Nobody likes to live in shadows. With tall buildings, you are just copying middle American Aztec pyramids and only half of them. Bad karma...



Jessica Fisher | City of Spokane | Public Information Assistant
509.625.6749 | jfisher@spokanecity.org | spokanecity.org



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From: Freibott, Kevin
Sent: Monday, February 12, 2018 1:34 PM
To: Martin, Abigail; Fisher, Jessica
Cc: Wittstruck, Melissa
Subject: RE: Storyboard and survey for building height on Spokane Falls Blvd.

Thanks, Jessica. I needed this. :o)

Kevin



Kevin Freibott | Assistant Planner | City of Spokane - Planning and Development Services
509.625-6184 | <mailto:kfreibott@spokanecity.org> | spokanecity.org | spokaneplanning.org



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From: Martin, Abigail
Sent: Monday, February 12, 2018 1:32 PM
To: Fisher, Jessica <jfisher@spokanecity.org>; Freibott, Kevin <kfreibott@spokanecity.org>

From: [Happy, Julie](#)
To: [Freibott, Kevin](#)
Subject: FW: Comment on City Asks Public for Input into Building Heights along Riverfront Park - City of Spokane, Washington
Date: Wednesday, February 14, 2018 9:11:57 AM

From: Disqus [mailto:notifications@disqus.net]
Sent: Tuesday, February 13, 2018 1:47 PM
To: Happy, Julie <jhappy@spokanecity.org>
Subject: Re: Comment on City Asks Public for Input into Building Heights along Riverfront Park - City of Spokane, Washington



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This comment is awaiting moderator approval.

[Kathryn Alexander](#)

GREAT ideas!!! Hope they are listening.....

4:46 p.m., Tuesday Feb. 13 | [Other comments by Kathryn Alexander](#)

Moderate this comment by email

Email address: ethicalimpact@gmail.com | IP address: 73.109.63.15

Reply to this email with "Delete", "Approve", or "Spam", or moderate from the [Disqus moderation panel](#).

Kathryn Alexander's comment is in reply to [mdriftmeyer](#):



All for it as long as the base ratio compensates for the height increase, and the designs aren't just cubic rectangles of primarily concrete ...

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From: [Happy, Julie](#)
To: [Freibott, Kevin](#)
Subject: FW: Comment on City Asks Public for Input into Building Heights along Riverfront Park - City of Spokane, Washington
Date: Wednesday, February 14, 2018 9:44:18 AM

From: Disqus [mailto:notifications@disqus.net]
Sent: Tuesday, February 13, 2018 1:45 PM
To: Happy, Julie <jhappy@spokanecity.org>
Subject: Re: Comment on City Asks Public for Input into Building Heights along Riverfront Park - City of Spokane, Washington



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This comment is awaiting moderator approval.

[Kathryn Alexander](#)

I am SO proud of the City for doing such an amazing job in explaining this to residents!!!! The graphics and video are brilliant. I really hope you get the amount of response you are looking for - even if you don't get the kind you want!

4:45 p.m., Tuesday Feb. 13 | [Other comments by Kathryn Alexander](#)

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From: [Happy, Julie](#)
To: [Freibott, Kevin](#)
Subject: FW: Comment on City Asks Public for Input into Building Heights along Riverfront Park - City of Spokane, Washington
Date: Wednesday, February 14, 2018 9:46:13 AM

From: Disqus [mailto:notifications@disqus.net]
Sent: Monday, February 12, 2018 5:36 PM
To: Happy, Julie <jhappy@spokanecity.org>
Subject: Re: Comment on City Asks Public for Input into Building Heights along Riverfront Park - City of Spokane, Washington



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A new comment was posted on [SpokaneCity](#)



This comment is awaiting moderator approval.

Su Meredith

this is worth reading thru. they have provided good models of the options, how they would appear from the street and the amount of shade they cast.

8:35 p.m., Monday Feb. 12 | [Other comments by Su Meredith](#)

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Email address: sumeredith@outlook.com | IP address: 98.225.30.204

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From: [Jessie Norris](#)
To: [Freibott, Kevin](#)
Cc: [Stratton, Karen](#); [Mumm, Candace](#)
Subject: Survey about change to downtown building height
Date: Thursday, February 15, 2018 9:27:21 PM

I was dismayed to read about the recommendation of the Plan Commission that there be a change to height requirements for buildings across from Riverfront Park, allowing areas of the park to be shadowed during some times of the day. I appreciate that the public is being given the chance to comment on the proposed changes - and yet something keeps coming back to me, a sentence from a plan for downtown that is not yet a decade old: "The Spokane community expressed a strong desire to maintain maximum exposure to sunlight in significant open public spaces, such as Riverfront Park, by promoting buildings designed to reduce shadows." That sentence seems clear and direct to me. The Spokane community expressed a strong desire **not** to have done exactly what the Plan Commission is now proposing to do. So I wonder why it is that the Spokane community is now being asked the question again, having made its desire clear less than ten years ago.

I'm not opposed to development per se, either downtown or elsewhere. Spokane has been one of the rare examples of a city that didn't see its downtown disappear, and I appreciate the efforts that have been made by numerous people over the years to keep downtown Spokane alive and vibrant. I'm delighted that those efforts are paying off, that there are more people living and working downtown, and that it's now a veritable hotbed of culture.

Having said that, however, I'm also aware that the City of Spokane hasn't always made the wisest decisions in terms of development - historic downtown buildings demolished to be replaced by surface parking lots is only one example. So before the decision is made to change the height requirements along Spokane Falls Boulevard, I would ask the City to remember some important history.

In the 1950s and '60s downtown Spokane was on its way to being a ghost town. Anchor tenants like Sears were leaving to move to the newly opened Northtown mall, and many storefronts were vacant. Far from being a source of pride and delight for the city, the Spokane River was inaccessible, bordered as it was by an unsightly railroad yard. Anyone who has lived in Spokane for any length of time knows what happened next. In the early 1970s, a group of visionary Spokane citizens, including King Cole, developed a plan to bring a world's fair to Spokane, doing away with the blighted rail yard and completely renovating that part of downtown. Thus was Riverfront Park born, a shining example of architect Daniel Burnham's injunction to "make no little plans."

The presence of the park is a large part of what has allowed downtown Spokane to flourish, as people move between the natural and built attractions of the park and the shopping and dining

attractions of downtown itself. How many cities can boast an unchanneled river running through their downtowns, adjacent to a scenic park with a gondola, a historic carousel, and an ice-skating ribbon, as well as quiet, meditative space? Forty years after Expo '74, the taxpaying citizens of Spokane have agreed to spend more than \$64 million to renovate and upgrade the park, to my mind a clear indicator of how much it continues to be loved. Given the incredible importance of Riverfront Park to the life of downtown Spokane, I can't understand why the Plan Commission would consider degrading it in any way. I was saddened when Walt Worthy was allowed to build the Grand Hotel looming over Spokane Falls Boulevard - whenever I drive past it, I feel trapped in a canyon for the brief time it takes to go by. I find it appalling to think that there might be more buildings lining that street, especially directly across from the park, that could have a similar effect.

I appreciate the plight of the property owners who feel the current height restrictions are unworkable. I would be willing to consider a different proposal, as long as it would not allow buildings along Spokane Falls Boulevard to impose on and tower over Riverfront Park, but I urge the City of Spokane to reject all of the options the Plan Commission is currently recommending for a change in building height.

Jessie Norris
2922 W. Dean Ave.
Spokane WA 99201

From: [Lydia Lavergne](#)
To: [Freibott, Kevin](#)
Subject: Re: proposed developments near Riverside Park
Date: Friday, February 16, 2018 11:33:44 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)

Kevin,

My interest is in street set-backs on the east and west side of these blocks that are going to be developed. I think that it is very important to maintain visibility of the park from Main, both for the pedestrian and for the motorist. If the park is not in sight, then it is out of our minds as well. I think also that generous set-backs on the east and west sides of the blocks encourage more pedestrian traffic into the park.

I'm planning to spend time taking some pictures and making something that demonstrates how important this is, but I need to know two things:

- 1) I need to know if this is a good use of time. If I put the time into it, will it be considered?
- 2) I need to know if it is even an option for the future of the east side of Howard. In other words, is the Atticus building going to be torn down?

I believe that a beautiful view of the park is important at the end of Howard especially, but also Stevens. I think that the developers' desire for towers could be a bargaining chip to get the beautiful views and the wide access (on Howard, Stevens, and the west side of Washington) that is needed to achieve four things:

- 1) keep the park present in people's minds;
- 2) draw in pedestrians and shoppers who are enjoying Main/downtown;
- 3) help us to take pride in the beauty of our city;
- 4) create a unified Main/Riverfront experience, rather than there being 2 separate experiences (Main vs. Riverfront) that are divided by a huge wall of buildings.

Will you please let me know if it would be useful to present my ideas with photos?

Thanks so much,
Lydia Lavergne

From: [Rose Fanger](#)
To: [Freibott, Kevin](#)
Subject: building height limits downtown
Date: Friday, February 16, 2018 1:55:19 PM

I am concerned that Spokane will be consumed by hordes of profit-above-everything developers and investors. I am also concerned that the city has no visual standards for what is built. Consider the Grand hotel, which is not grand, but big and dull. I personally like a lower height along the park - it feels open and breathable. And while I think you've already made up your minds to let the developers have their way, at least you could impose some artistic architectural requirements on them, and I don't mean some silly murals. I mean real architectural design. We have enough boxes of buildings. Spokane will be interesting to people if we keep our city beautiful.

Rose Fanger

From: [Rose Fanger](#)
To: [Freibott, Kevin](#)
Subject: city height limits along the park
Date: Friday, February 16, 2018 2:08:13 PM

I write to comment on the proposed height limits along Riverfront Park.

Personally, I like the low profile we currently have. It provides light, air and visual space. I am concerned that hordes of profit-above-everything developers and investors will turn downtown into ugliness. While I think you've probably already made up your minds to let developers have their way, at least you could impose some architectural standards to make their imposing structures more visually attractive. I don't think the city has any visual standards for new construction. Consider the Grand hotel. It is not grand. It is only big and dull. Please require better architectural design for new construction, and I don't mean silly murals. I mean beautiful design of buildings. We have enough boring boxes. Our city will continue to be beautiful only if you insist on design standards.

Rose Fanger

From: [Fisher, Jessica](#)
To: [Freibott, Kevin](#)
Cc: [Happy, Julie](#)
Subject: RE: Storyboard and survey for building height on Spokane Falls Blvd.
Date: Friday, February 16, 2018 3:14:06 PM
Attachments: [image050.png](#)
[image057.png](#)
[image058.png](#)
[image059.png](#)
[image061.png](#)
[image062.png](#)
[image063.png](#)
[image072.png](#)
[image076.png](#)
[image099.png](#)

Kevin,
I think your comment is appropriate and I will be using it! Thank you for your help.

Here are the latest comments from Nextdoor.



[Kathryn A.](#) from [Bemiss](#) · 3d ago

This is SO well done!!!! The information is VERY clear - PLEASE go and share your perspective!!!!



[Kim K.](#) from [Lindeke & Grandview](#) · 2d ago

Unless I missed something, we will not actually be voting on this issue. The city is only claiming they want public input via the survey.



[Greg E.](#) from [Rockwood](#) · 2d ago

Correct Kim. The survey is purely to get a read on the public feelings regarding potentially increasing building heights along Spokane Falls Blvd. This issue will be going through the city's Plan Commission and City Council in the coming months.

Edited 2d ago



[Elizabeth S.](#) from [Eagle Ridge](#) · 2d ago

Please keep the height restrictions the same around Riverfront park!!! If it were to change, please don't give those great views to hotels! Please give it to the local Spokane residents!



[Elizabeth S.](#) from [Eagle Ridge](#) · 2d ago

Maybe the picture on this post should be changed from the picture of the current building restriction to a picture of what the buildings could look like if the height restriction was changed...



[Ty P.](#) from [Qualchan Hills](#) · 2d ago

The new taller buildings may cast more shade on the nearly \$10 million dollar dysfunctional "Ice Ribbon". They may save money on the energy needed to keep the ice frozen.

How many of Spokane citizens benefit from that \$10 million dollar death trap?

Now they want to put a zip line over the river!

How about concentrating time and money on essential city services. Like potholes!



[Tina H.](#) from [South Indian Trail](#) · 2d ago

Also been thinking about this some more...but we are Spokane citizens....not Seattle, California or any other huge city... I like it as it is and ty Paula...being disabled myself I totally agree with you...



[Shaun S.](#) from [Eagle Ridge](#) · 18h ago

When I first saw the photo featured in this post, I thought, "That's not too bad. I'm glad the City is proposing buildings that taper away and don't look TOO huge."

But then I found out that that photo is not what is being proposed at all.

That photo shows our current height restriction!

How deceptive and misleading.



[Jessie N.](#) from [West Central](#) · 17h ago

I wanted to share with other folks on Nextdoor the email I just sent to Kevin Freibott from Planning and Development Services, who is asking for input from the public (I copied Karen Stratton and Candace Mumm on the email):

"I was dismayed to read about the recommendation of the Plan Commission that there be a change to height requirements for buildings across from Riverfront Park, allowing areas of the park to be shadowed during some times of the day. I appreciate that the public is being given the chance to comment on the proposed changes - and yet something keeps coming back to me, a sentence from a plan for downtown that is not yet a decade old: "The Spokane community expressed a strong desire to maintain maximum exposure to sunlight in significant open public spaces, such as Riverfront Park, by promoting buildings designed to reduce shadows." That sentence seems clear and direct to me. The Spokane community expressed a strong desire not to have done exactly what the Plan Commission is now proposing to do. So I wonder why it is that the Spokane community is now being asked the question again, having made its desire clear less than ten years ago.

I'm not opposed to development per se, either downtown or elsewhere. Spokane has been one of the rare examples of a city that didn't see its downtown disappear, and I appreciate the efforts that have been made by numerous people over the years to keep downtown Spokane alive and vibrant. I'm delighted that those efforts are paying off, that there are more people living and working downtown, and that it's now a veritable hotbed of culture.

Having said that, however, I'm also aware that the City of Spokane hasn't always made the wisest decisions in terms of development - historic downtown buildings demolished to be replaced by surface parking lots is only one example. So before the decision is made to change the height requirements along Spokane Falls Boulevard, I would ask the City to remember some important history.

In the 1950s and '60s downtown Spokane was on its way to being a ghost town. Anchor tenants like Sears were leaving to move to the newly opened Northtown mall, and many storefronts were vacant. Far from being a source of pride and delight for the city, the Spokane River was inaccessible, bordered as it was by an unsightly railroad yard. Anyone who has lived in Spokane for any length of time knows what happened next. In the early 1970s, a group of visionary Spokane citizens, including King Cole, developed a plan to bring a world's fair to Spokane, doing away with the blighted rail yard and completely renovating that part of downtown. Thus was Riverfront Park born, a shining example of architect Daniel Burnham's injunction to "make no little plans."

The presence of the park is a large part of what has allowed downtown Spokane to flourish, as people move between the natural and built attractions of the park and the shopping and dining attractions of downtown itself. How many cities can boast an unchanneled river running through their downtowns,

adjacent to a scenic park with a gondola, a historic carousel, and an ice-skating ribbon, as well as quiet, meditative space? Forty years after Expo '74, the taxpaying citizens of Spokane have agreed to spend more than \$64 million to renovate and upgrade the park, to my mind a clear indicator of how much it continues to be loved. Given the incredible importance of Riverfront Park to the life of downtown Spokane, I can't understand why the Plan Commission would consider degrading it in any way. I was saddened when Walt Worthy was allowed to build the Grand Hotel looming over Spokane Falls Boulevard - whenever I drive past it, I feel trapped in a canyon for the brief time it takes to go by. I find it appalling to think that there might be more buildings lining that street, especially directly across from the park, that could have a similar effect.

I appreciate the plight of the property owners who feel the current height restrictions are unworkable. I would be willing to consider a different proposal, as long as it would not allow buildings along Spokane Falls Boulevard to impose on and tower over Riverfront Park, but I urge the City of Spokane to reject all of the options the Plan Commission is currently recommending for a change in building height."



Jessica Fisher | City of Spokane | Public Information Assistant
509.625.6749 | jfisher@spokanecity.org | spokanecity.org



From: [Kaaren Bloom](#)
To: [Freibott, Kevin](#)
Subject: Building height change in DTC-100
Date: Saturday, February 17, 2018 7:59:45 AM

Hello Kevin,

I took the survey but wanted to send my more lengthy comment here:

I'm in favor of developing areas of downtown, especially on vacant lots which are eyesores and wasted space, especially on the property in question here. I like the 11000 sq ft option with 75 ft breaks between the towers, not only because it strikes a balance between the development and its impact on the park, but also because it presents an exciting and creative opportunity for builders/architects/developers. I am more in favor of a development that is designed well and takes the surrounding environment into account. This type of development demonstrates an understanding and consideration of its surroundings, rather than just an opportunity to maximize a profit.

I guess what I'm saying is that I'm in favor of increasing the building height with restrictions if that helps attract a more innovative, creative, and thoughtful design. I want more projects in Spokane that bring a smile to my face and builds upon my civic pride, and not just another massive institutional- feeling box-like structure with little to no character and no regard to its surroundings.

Thank you for the opportunity to weigh-in.

-Kaaren Goeller-Bloom

From: [Antonia DePasquale](#)
To: [Freibott, Kevin](#)
Subject: My Insight on Building Height :-)
Date: Monday, February 19, 2018 1:25:19 PM

Hi Kevin,

Great Survey, just took it! And thank you for coming to the Lands Use meeting this week, my 1st meeting. I told the group, I could tell you really listen. So, I do not seem to mind the 18,750 number, it seems to match the Historical Context of Spokane the most. What I absolutely do not want are skinny towers they do not match our city at all! Would look great in Taiwan, but not in a Historical NW city. Other Concerns are as follows:

- 1) Building Materials, Kevin, Classic Brick Only please! These Primary colored Aquarium looking buildings (new Catholic Charities and Parts of Kendall Yards) are not appropriate for Spokane, due to our Historical Context & Our Nature, super awkward. We are big donors to Catholic Charities and I let them know my dismay ;-(.
- 2) I do not want buildings looking like the Opportunity Sites rendering. I think you were trying to show placement, I hope so anyway?
- 3) At these sites or the street adjacent, we must plant Evergreens, it is who we are, lets embrace it. We are not the Polouse, no more ornamental grass, looks horrible for 9 months out of the year and now that there will be more shade, EVERGREENS ONLY, they do have to be huge, dwarfs are fine. Bend is similar, forest to desert environment. Their Planning groups have embraced their Evergreens big time, looks great over there.

I hope you were not taken back by comments about the New Grand, my group of friends (25-45 demographic) overall opinion is it needs something. Either a tile mosaic on the front or some Livescape (picture attached).

PS-We have way too many surface parking lots, The Diamond Enterprise or Family should sell many of their lots to City of Spokane or City of Spokane, please give them incentives to sell. There about 75 lots downtown. Their Parking Lots are what is stopping Downtown Spokane from thriving. We need mixed socio-economic Condo's, Retail and parking Structures and Police Presence if we want our City to be Amazing!!

Thank You,
Toni

From: [Aaron](#)
To: [Freibott, Kevin](#)
Subject: Riverfront
Date: Wednesday, February 21, 2018 9:32:14 AM

Hello Kevin,

The following email was recently shared on the neighborhood forum [nextdoor.com](#). I agree w/ the sentiment of this well written letter and just wanted to add my feedback to the pool. Thank you very much.

Aaron Hodges
Spokane resident since '72.

"I was dismayed to read about the recommendation of the Plan Commission that there be a change to height requirements for buildings across from Riverfront Park, allowing areas of the park to be shadowed during some times of the day. I appreciate that the public is being given the chance to comment on the proposed changes - and yet something keeps coming back to me, a sentence from a plan for downtown that is not yet a decade old: "The Spokane community expressed a strong desire to maintain maximum exposure to sunlight in significant open public spaces, such as Riverfront Park, by promoting buildings designed to reduce shadows." That sentence seems clear and direct to me. The Spokane community expressed a strong desire not to have done exactly what the Plan Commission is now proposing to do. So I wonder why it is that the Spokane community is now being asked the question again, having made its desire clear less than ten years ago. I'm not opposed to development per se, either downtown or elsewhere. Spokane has been one of the rare examples of a city that didn't see its downtown disappear, and I appreciate the efforts that have been made by numerous people over the years to keep downtown Spokane alive and vibrant. I'm delighted that those efforts are paying off, that there are more people living and working downtown, and that it's now a veritable hotbed of culture. Having said that, however, I'm also aware that the City of Spokane hasn't always made the wisest decisions in terms of development - historic downtown buildings demolished to be replaced by surface parking lots is only one example. So before the decision is made to change the height requirements along Spokane Falls Boulevard, I would ask the City to remember some important history. In the 1950s and '60s downtown Spokane was on its way to being a ghost town. Anchor tenants like Sears were leaving to move to the newly opened Northtown mall, and many storefronts were vacant. Far from being a source of pride and delight for the city, the Spokane River was inaccessible, bordered as it was by an unsightly railroad yard. Anyone

who has lived in Spokane for any length of time knows what happened next. In the early 1970s, a group of visionary Spokane citizens, including King Cole, developed a plan to bring a world's fair to Spokane, doing away with the blighted rail yard and completely renovating that part of downtown. Thus was Riverfront Park born, a shining example of architect Daniel Burnham's injunction to "make no little plans." The presence of the park is a large part of what has allowed downtown Spokane to flourish, as people move between the natural and built attractions of the park and the shopping and dining attractions of downtown itself. How many cities can boast an unchanneled river running through their downtowns, adjacent to a scenic park with a gondola, a historic carousel, and an ice-skating ribbon, as well as quiet, meditative space? Forty years after Expo '74, the taxpaying citizens of Spokane have agreed to spend more than \$64 million to renovate and upgrade the park, to my mind a clear indicator of how much it continues to be loved. Given the incredible importance of Riverfront Park to the life of downtown Spokane, I can't understand why the Plan Commission would consider degrading it in any way. I was saddened when Walt Worthy was allowed to build the Grand Hotel looming over Spokane Falls Boulevard - whenever I drive past it, I feel trapped in a canyon for the brief time it takes to go by. I find it appalling to think that there might be more buildings lining that street, especially directly across from the park, that could have a similar effect. I appreciate the plight of the property owners who feel the current height restrictions are unworkable. I would be willing to consider a different proposal, as long as it would not allow buildings along Spokane Falls Boulevard to impose on and tower over Riverfront Park, but I urge the City of Spokane to reject all of the options the Plan Commission is currently recommending for a change in building height."

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 [My Amazon Store](#) |  [My eBay Store](#)

"Things turn out best for those who make the best of the way things turn out." -Art Linkletter

EXHIBIT D
PUBLIC COMMENTS RECEIVED (NOT INCLUDING SURVEY)

From: [Fisher, Jessica](#)
To: [Freibott, Kevin](#)
Subject: RE: Storyboard and survey for building height on Spokane Falls Blvd.
Date: Friday, February 23, 2018 9:39:45 AM
Attachments: [image006.png](#)
[image007.png](#)
[image008.png](#)
[image054.png](#)
[image055.png](#)
[image056.png](#)
[image059.png](#)
[image073.png](#)
[image077.png](#)
[image100.png](#)

Kevin,
We have one more comment from Nextdoor.

[Chris A.](#) from [Garland](#) · 21h ago

Don't take our sunshine away.

[Thank](#)

Also, here is a link to another Spokesman Opinion piece,
<http://www.spokesman.com/stories/2018/feb/22/throwing-shade/>.



Jessica Fisher | City of Spokane | Public Information Assistant
509.625.6749 | jfisher@spokanecity.org | spokanecity.org





February 27, 2018

To: Plan Commission

From: Mark Richard, Downtown Spokane Partnership

Re: Proposed Amendments to Building Height Requirements in DTC-100

Commissioner Dellwo and fellow Plan Commissioners,

Having reviewed Kevin Freibott's report on the City's survey site, I thought it was important to reiterate the basis of the request for reconsideration of the current building height standards in DTC-100 and provide a few other points:

- Quite a few respondents asked "Why are new standards being proposed?" The Downtown Spokane Partnership (DSP)'s response to this question is that the current standards themselves have impeded development, as you may have seen in the letter from David Peterson dated January 26, 2017. Of the dozen Downtown Opportunity Sites detailed in the Downtown Plan Update, these two are among the few that have not seen any development activity since the Update was completed. In requesting consideration for these standards, we are requesting flexibility in support of a development market that requires flexibility. In our estimation, to not provide for the greatest range of options for development on these sites would be to "make the perfect the enemy of the good", and fundamentally favor surface parking lots over buildings – again, at two of the last few remaining Downtown Opportunity Sites that have not seen development since 2009.
- Numerous comments were made regarding the (perceived) loss of parking at these sites, or the problem of parking access in downtown. With the Parking Study Update getting underway and with it consideration of approaches to development of structured parking that up to this point have not been on the table, we see this as another type of flexibility that will help make development happen in the downtown core. The downtown business community also finds the current off-street parking market quite challenging and the DSP has presented this as a critical priority for the near term to the Council and Administration. Given the fairly lengthy timelines involved in large-scale development and with an openness to bringing solutions to the growing challenge of a lack of structured parking (which is one sign of a growing, vital downtown), we believe that development at these sites will proceed commensurately with parking garage development as well.
- It would be myopic to restrict the market from providing development products for the purpose of not shading the very southern edge of a newly revitalized 100 acre Riverfront Park, when considerably more of that part of the park is now devoted to attractions including the Ribbon, the Carousel's new housing, the promenade and the Rotary Fountain, all which have led to an increase in hardscape over grass and other greenery. Plus, summer shadowing is so limited that it is negligible. Spring and fall see somewhat increased shadowing and while these buildings would cast a larger shadow in winter, the park is already massively shadowed in winter by existing buildings – which is an advantage for and one of the key reasons why Park planners selected the location for the ice ribbon; to help extend the skating season as is the case today.
- The core of the region's urban center is a place where height and density should be sought after because, if not the downtown core, then where will it occur? One of the characteristics of a great

downtown is juxtaposition; people from all walks of life engaged a wide variety of activities, in the midst of buildings new and old, large and small. This juxtaposition is heightened even further when large buildings meet beautiful open spaces. We believe that should reduced restrictions open the way to great urban development, the people of Spokane will come to see this as well, just as the people of Chicago have embraced the big, bold development that immediately neighbors Millennium and Grant Park and the people of NYC have embraced the big, bold development juxtaposed against Central Park and Bryant Park.



Bryant Park, New York City



Millennium Park, Chicago

Although staff will present draft ordinance language that would result in the smallest option for increased height and mass, we continue to recommend the standard allowing floor plates of up to 18,750sf. This floor plate size provides for equitable distribution of the resulting buildings between the property owners – who, notably, have owned these parcels for far longer than the existence of the 2009 standard. Selecting the smallest possible floor plate size arbitrarily restricts the size needed to build an economically viable building, and buildings which are not economically viable, do not get built. To quote the 263rd comment from the survey: "Development of these parcels should be a high priority for our city. We need fewer downtown parking lots, especially next to the best attraction in the city."

Thank you for your time.

A handwritten signature in black ink, appearing to read "Mark Richard".

Mark Richard
Downtown Spokane Partnership President

cc:

Mayor David Condon
Council President Ben Stuckart and Members of Council
Susan Horton, Downtown Spokane Partnership Board Chair
David Peterson, Goodale & Barbieri
Spencer Sowl, Spokane Chapter Building Owners and Managers Association
Cheryl Stewart, Inland Northwest Chapter Associated General Contractors
Todd Mielke, Greater Spokane Incorporated

From: [Andrew Rolwes](#)
To: [Freibott, Kevin](#); [Kinder, Dawn](#)
Cc: [Downtown Mark Richard](#); [David Peterson](#)
Subject: Documents for Plan Commission
Date: Wednesday, March 14, 2018 7:00:30 PM
Attachments: [image003.png](#)
[DSP Position Paper - Urban Development on SFBldv.pdf](#)
[DTC-100 and Comp Plan.pdf](#)

Hello Kevin and Dawn,

Could you please forward the attached documents to Commissioner Dellwo and members of the Plan Commission? I appreciate the Commissioner's time in reviewing these documents.

Thank you,
-Andrew



**DOWNTOWN SPOKANE PARTNERSHIP
BUSINESS IMPROVEMENT DISTRICT**

ANDREW ROLWES

Public Policy & Parking Manager

Phone | 509.456.0580 ex 109

Fax | 509.747.3127

10 N Post Street, #400 | Spokane, WA 99201

downtownspokane.org

March 14, 2018

To: Plan Commissioners and Members of Council

From: Andrew Rolwes, Downtown Spokane Partnership

RE: Downtown Spokane Partnership Position Paper - Achieving downtown-defining urban development on Spokane Falls Boulevard

Commissioner Dellwo and Commissioners, and Council President Stuckart and Members of Council,



In the last Downtown Plan Update (implemented in 2009) height restrictions were placed on property along Spokane Falls Boulevard between Washington and Monroe for the purpose of preserving sunlight and prevent massing on the southern edge of Riverfront Park. This was based on the assertion that large buildings and the shadows they produce would be detrimental to downtown's crown jewel, Riverfront Park. The owners have not been able to make development under these restrictions work and while neighboring property became a major downtown hospitality development, these lots are a part of the one-third of land-use devoted to surface parking

(see map, above) in downtown. The Downtown Spokane Partnership and the owners of the properties, especially the two surface lots adjoining Washington, through their representative have requested a removal or lessening of those restrictions because they have already precluded development of the two most prominent of our surface parking lots in downtown. The following is provided to make the case that removal of the restrictions, leading to development of those surface lots, would further our region's growth and contribute major value to Riverfront Park.

The key components to this policy are:

1. Building shadows:

Opponents to the increased allowances for development cite shadows as the major reason to restrict development on these surface lots. While building mass is also major related factor in precluding development, it is shadows that are most often mentioned in responses to the City's survey on this policy. The problem with the shadowing argument is two-fold: 1) shadow impacts from tall buildings are rather



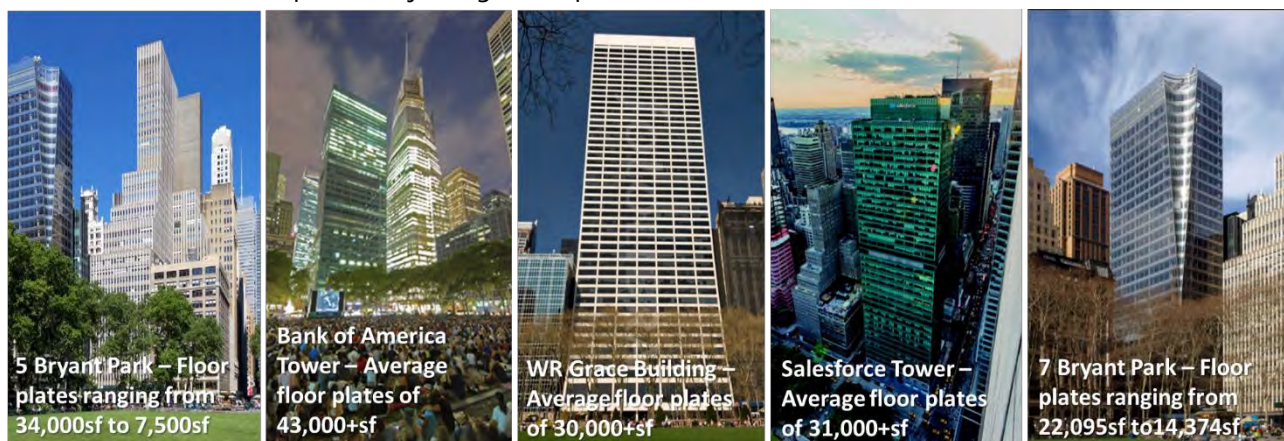
Existing shadows at noon on December 21st in Riverfront Park from current buildings (in gray) and from buildings built according to current restrictions (in purple): the southern edge of Riverfront Park would already be shadowed in winter if built according to current policy.

limited in the spring to fall time period, and in the Park's peak use months in summer, shadows from tall buildings on Spokane Falls barely make it across the street. 2) There would be increased shadowing from fall to spring, however, the southern edge of Riverfront Park is already heavily shadowed by existing buildings and would be completely shadowed by buildings built according to the current restrictions. New shadows from taller buildings (which again, only occur in winter) would fall mostly in the southern channel of the river: in effect, shadows are a moot point.



Buildings built to 200' on Spokane Falls Boulevard – area marked in red shows increase in shadows over what current policy allows: in winter, new shadows would fall mostly in the south channel of the River.

2. Dense urban development adjoining urban parks:

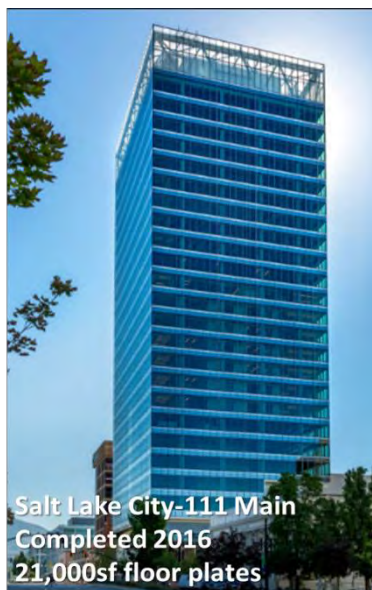


Urban parks across the US attract major development as noted in the 2014 Riverfront Park Master Plan. Far from having a detrimental impact on those parks (for example; Central and Bryant Parks in NYC – above photos provide floor plate data for buildings adjacent to Bryant Park- and Grant and Millennium Parks in Chicago), they have a powerful positive impact by placing large numbers of workers, visitors and residents right on their respective doorsteps. Those developments are a major source of vibrancy and dynamism and the architecture is often of a higher quality and design content than less visible buildings even short distances away from those parks. The buildings themselves become a part of the experience of those parks.

3. Loss of Development: Of the thirteen Opportunity Sites listed in the 2009 Downtown Plan Update, there were a total of four that have not seen any change: two of those sites are the two surface lots along Spokane Falls Boulevard. All the rest have seen major investment, development, and completely reconfigured buildings. While these immensely positive trends have unfolded elsewhere, these surface lots have remained as they have been for the past nine years because of the arbitrary restrictions on building height and mass. It is time to try something new for these locations and provide the policy basis for what could be the most outstanding urban development in the region, and possibly the first new mixed-use (non-hospitality) high-rise development in downtown since 1983 when the Wells-Fargo building was completed.

4. Floor plates and rents: The City's survey raised the question of whether respondents wanted to regulate reduced restrictions by building mass and were offered a choice of 11,000, 15,000, or 18,750sf floor plates. The smallest floor plate was preferred by a wide margin for the sole reason that it caused the least mass and shadowing. The missing context however is the critical role floor plates play in leading to a viable project: the taller a building the greater its expense, but those costs can be mitigated on a per square foot basis through larger floor plates.

Larger floor plates allow a greater number of tenants and residents to share in the costs that are common to all buildings no matter the size. These expenses include land and design costs and a wide array of building costs like construction labor, excavation, elevators, cladding, structural members, air handling systems and building operations costs after move-in. A larger floor plate means reduced rents per square foot, and a more viable project. Rents at new construction of the scale which could occur at the Spokane Falls Boulevard sites would almost certainly lead the downtown market but they can be brought back closer to economic reality if larger floor plates are allowed. It is also notable that businesses favor large floor plates on the basis of being able to consolidate their work on as few floors as possible, based on cost factors but also because it leads to greater efficiency by not having to move between floors. Finally, a larger floor plate may be more appealing to national tenants so that new construction on Spokane Falls Boulevard would bring new business to downtown, rather than draw existing businesses out of other downtown buildings.



5. Alignment with existing planning goals and objectives: Intensive development of downtown in general and these specific sites is called for in multiple planning documents. This is the general principle of Urban Growth Management and is articulated dozens of times in The City of Spokane's Comprehensive Plan (detailed in a separate document) and as already noted, in the Downtown Plan Update. Additionally, the 2014 [Riverfront Park Master Plan](#) described national trends in which urban parks were planned from the beginning to be catalysts for major private sector development. To quote a couple of the several comments on park-generated economic development in the Master Plan (p. 14); "Nationwide cities are

looking to their urban parks to create large-scale central spaces that bring people together, attract tourists and generate economic activity” and (p.22), “according to the City of Chicago, the recently completed \$490 million investment into Millennium Park is calculated to have had a 10-year impact of over \$5 billion related to increased tourism, hotel, restaurant, retail sales and new housing surrounding the park.... \$1.4b in the adjacent real estate market.” The Master Plan also raises the issue of safety and security in the Park in several locations, including this one on p.88: “While Riverfront Park is safe compared to national standards in urban parks, the Park does experience a substantial amount of vandalism on a daily basis. Also, many Park visitors feel unsafe walking through the Park after hours and after dark.” Mixed-use development of Opportunity Sites 2 and 3 would represent a fulfilment of the first and a solution to the second of these two issues described in the Park’s Master Plan.

6. Becoming a city: The decision to be made with this policy is whether we want to sustain suburban densities in our downtown where one-third of our land use is devoted to surface parking, or whether we want to build up. Is preventing a modest increase in wintertime shadowing in Riverfront Park so important that we would continue to keep the same policies which have given us the same results, or, would we instead want to see the kind of bold, iconic, downtown-defining architecture that graces other urban parks across the United States? Building on what have been for many, many years surface parking lots would be represented not just the physical expression of the architecture but at least as importantly, the people who would live, work and shop in them and the numerous benefits that go with their presence across from Riverfront Park. Fears that intensive development of Opportunity Sites 2 and 3 would result in a cavernous and darkening effect on the on southern edge of Riverfront Park are unfounded, not only because of the



Renderings commissioned by the Downtown Spokane Partnership to depict major new development on Spokane Falls Boulevard

design standards which would have to be followed, but also because Spokane Falls Boulevard is wide, the building lot lines on these locations are set back resulting in some of the widest sidewalks in downtown, and because from spring to fall shadows in these areas are quite minimal.

Time is of the essence as cities all over the western US are competing effectively for investment dollars in their downtown cores. Changing the policy to allow the market to determine what is built is of critical importance to downtown and the region so that our community can bring that growth right to the doorstep of our crown jewel, Riverfront Park. Your support for the least restrictive floor plates and

property uses can be a very important part of how Spokane achieves its growth objectives (and coinciding economic opportunity) as the true city it is on the verge of becoming.

Thank you for taking the time to review this document. Please contact Andrew Rolwes for additional information: arolwes@downtownspokane.net, 509.456.0580x109.



Reduced development restrictions in DTC-100 and alignment with City of Spokane's Comprehensive Plan

The request to reduce or eliminate development restrictions on Spokane Falls Boulevard in the DTC-100 zone aligns dramatically with a large number of the directives contained in the City's Comprehensive Plan. The following quotes taken from Chapters 3 and 7 of the Comprehensive Plan underscore the point that not only is it self-evident that downtown's land should be put to use to its greatest extent, but that the request to reduce or eliminate those restrictions has a strong policy basis in our Comprehensive Plan.

The Comprehensive Plan favors intensive use of downtown land in general, and mixed-uses in particular where residential *and* office are located in close proximity if not within the same buildings. Downtown's current mix of buildings are seeing an increase in creative re-uses for residential but it is in DTC-100 where urban development can be purpose-built to support the Comprehensive Plan's prioritization of mixed-uses in the downtown core.

Current restrictions have precluded development at the two surface lots on Spokane Falls Boulevard, and time is of the essence to act on positive economic trends currently bringing billions of dollars of investment into downtowns across the western US. Continued application of laws which have precluded development on these sites (Downtown Plan Opportunity Sites 2 and 3) would further suburban densities in our downtown core. We have had and will continue to have surface parking lots on the doorstep of Riverfront Park because of arbitrary restrictions on development prevent financially viable projects. They have precluded development contrary to the general good of Riverfront Park itself, and contrary to the following sections of Chapters 3 and 7 of the Comprehensive Plan:

Comprehensive Plan Chapter 3 – Land Use

1. P.3-5, Vision: "Growth will be managed to allow a mix of land uses that fit, support, and enhance Spokane's neighborhoods, protect the environment, and sustain the downtown area and broaden the economic base of the community."
2. P. 3-5, Values, Bullets 2, 3, and 5: "The things that are important to Spokane's future include: Controlling urban sprawl in order to protect outlying rural areas; Developing and maintaining convenient access and opportunities for shopping, services, and employment; Guaranteeing a variety of densities that support a mix of land uses;"
3. P. 3-6, Land Use Goals, LU 1-Citywide Land Use: "Goal: Offer a harmonious blend of opportunities for living, working, recreation, education, shopping, and cultural activities by protecting natural amenities, providing coordinated, efficient, and cost effective public facilities and utility services, carefully managing both residential and non-residential development and design, and proactively reinforcing downtown Spokane's role as a vibrant urban center. [emphasis added]"
4. P.3-8, Office Uses, LU 1.5: "*Direct new office uses to Centers and Corridors designated on the Land Use Plan Map.*

Discussion: "Office use of various types is an important component of a Center. Offices provide necessary services and employment opportunities for residents of a Center and the surrounding neighborhood. Office use in Centers may be in multi-story structures in the core area of the Center and transition to low-rise structures at the edge. [emphasis added]"

5. P.3-8, Downtown, LU 1.9: "*Develop city wide plans and strategies that are designed to ensure a viable, economically strong downtown area.*

Discussion: Downtown Spokane, designated as the Regional Center, is a top community priority. Its wellbeing influences the entire region via employment, revenue generation, and transit. It should be a thriving Regional Center with a diversity of activities and a mix of uses so that it is alive and vibrant night and day. The mix of uses must include residential (high, medium and low-income), office, entertainment, retail, and parking. It should be developed as a unique collection of businesses, neighborhoods and open spaces with a vision and a plan to which all stakeholders contribute. Major land use changes within the city should be evaluated to identify potential impacts on Downtown. [emphasis added]"

6. P.3-21, Regional Center: "Downtown Spokane is the Regional Center and is the primary economic, cultural and social center of the region. With the creation and development of the University District on the east end of Downtown, it is also a major academic hub with the collaboration of multiple institutions of higher education. Downtown contains the highest density and intensity of land use, and continues to be a targeted area for additional infill housing opportunities and neighborhood amenities to create a more livable experience. [emphasis added]"
7. P.3-39, Description of Land Use Designations: Office; "The Office designation usually indicates freestanding small office sites and larger sites with two or more buildings located along arterial streets or intersections or as a buffer adjacent to residential areas. Higher intensity office areas should be located around downtown Spokane. [emphasis added]"

Comprehensive Plan Chapter 7 - Economic Development

1. P.7-3: "Downtown Spokane is the preeminent office concentration in the region and a major employment center for financial and business services, hospitality facilities, retail activity, and education."
2. P.7-5, Vision: "Spokane will enjoy a quality of life for everyone that includes a diversified economic base that provides a livable wage, a healthy natural environment, and an economically vibrant downtown. Spokane's quality of life will be built on a partnership of diverse interests, including education, business, government, and neighborhoods. [emphasis added]"
3. P.7-5, Values, 2nd Bullet: "Developing a viable, economically strong downtown area;"
4. P. 7-9, Economic Development Strategy 3.1, Economic Growth: "*Stimulate economic growth by supporting the formation, retention, expansion, and recruitment of businesses.*

Discussion: Business start-up, retention, expansion, and recruitment activities foster economic growth. The city should explore and pursue opportunities to create an environment where new businesses can start and existing businesses can grow and develop.”

5. P.7-8, Economic Development Strategy 2.4: *“Support mixed-use development that brings employment, shopping, and residential activities into shared locations that stimulate opportunities for economic activity.”*
6. P. 7-9, Economic Development Strategy 3.2, Economic Diversity: *“Encourage economic diversity through a mix of small and large businesses that provide a healthy balance of goods-producing and service-producing jobs.”*

Discussion: Encourage a range of industry size and types to provide economic stability during economic shifts.”

7. P.7-11, Economic Development Strategy 3.10 Downtown Spokane: *“Promote downtown Spokane as the economic and cultural center of the region.”*
8. **Discussion:** Continue to support our economic partners in revitalizing downtown retail activity, expanding job opportunities in the public and private sectors, attracting recreational, arts, and entertainment and tourist businesses, and developing downtown housing.”
9. P.7-16, Economic Development Strategy 8.1: *“Quality of Life Protection Protect the natural and built environment as a primary quality of life feature that allows existing businesses to expand and that attracts new businesses, residents, and visitors.*
10. **Discussion:** Good schools, infrastructure and public services, high quality neighborhoods, an attractive community appearance, many natural areas, a variety of recreational opportunities, and clean air and water attract both businesses and residents. These benefits act as economic development tools and must be protected. [emphasis added]”

Thank you for taking the time to review this document and please contact Andrew Rolwes for additional information: arolwes@downtownspokane.net, 509.456.0580x109.

From: [Karen Grigaliunas](#)
To: [Freibott, Kevin](#)
Subject: Building heights
Date: Thursday, March 22, 2018 6:52:24 PM

Leave the heights alone! Spokane is a beautiful city. Don't take that away from us by turning Spokane into another Seattle where only the rich can leave! Poorer residence of the city that can't afford top floor condos would also like to see the sun while downtown.

From: [Anthony Gill](#)
To: [Freibott, Kevin](#)
Subject: Re: Second Plan Commission Workshop on Building Heights in DTC-100
Date: Monday, March 26, 2018 8:33:57 PM
Attachments: [image003.png](#)
[image002.png](#)
[image004.png](#)

Hey, Kevin!

I just wanted to say thank you for all of the community outreach that you're doing for this project. I appreciate the frequent opportunities to comment, get questions answered, and share thoughts. I know that public comment isn't always super fun, especially when there are a lot of heated emotions about a project, but you are doing a really great job.

No real comment—I just wanted to say thank you for your hard work!

Thanks,

Anthony Gill
(509) 954-3081

From: [chari.parker](#)
To: [Freibott, Kevin](#)
Subject: RE: Second Plan Commission Workshop on Building Heights in DTC-100
Date: Tuesday, March 27, 2018 9:53:06 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)

Kevin

I am an advocate for growth and expansion in urban areas. However, I am also an advocate for clean water, green space and access for all to these. Riverfront Park is not to be taken lightly. The access and beauty it provides for local citizens, tourists, events etc once undone cannot be recaptured. I would absolutely like to see the city tread lightly when changing the zoning and building codes. Do we really want to be the city who tainted this amazing space for the sake of a small piece of commerce? Our river is swimmable, the park full of sunshine and the flora able to flourish due to sunlight and proper care. All of these things work hand in hand to promote beauty not attainable in other cities. While growth is inevitable, we must protect what cannot protect itself i.e. sunlight and the flora. Please cast my voice for less building, less structure, less of what the city is proposing. Thanks!

Char Parker / agent
Integrity Insurance Solutions
WAHU Awards Chair
3913 N Post
Spokane WA 99205
Office: 509-489-6903
Fax: 509-489-3967

From: [eileen.martin](#)
To: [Freibott, Kevin](#)
Subject: building heights
Date: Tuesday, March 27, 2018 1:58:56 PM

Dear Kevin,

I was at the Park Board meetings last fall when the planning folks showed all of these various height proposals, asking the park board if "shade" was a problem for them. One of the board members jokingly said, "If it will put shade on the ice ribbon that would be a good thing." Wow. The various configurations ALL hurt some aspect of the quality of life for us park lovers, down-town walkers, shoppers etc.

PLEASE PLEASE PLEASE leave the height limits where they are. The developers that say it won't pencil out given the present requirements should take a look at all of the vacant buildings downtown. Do we really need more office buildings? retail? apartments too expensive for most of us to use?

Thanks for your time,, Eileen Martin, 1124 W. 10th, Spokane, 509-939-9108

From: [Anita Eccles](#)
To: [Freibott, Kevin](#)
Subject: RE: Notice of Hearing and SEPA Determination - Building Heights in DTC-100
Date: Friday, April 13, 2018 8:56:38 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)

Kevin,

Thank you for keeping us in the loop. I've been meaning to write and say my son and I attended the last meeting and truly appreciated your professional presentation.

One thing that hit me at that time: I wasn't sure the depictions of sky between the towers that was shown by the internet simulations truly accounted for the long dimension (perpendicular to the park) of the proposed towers. It's important that the view from the park keeps the bits of sky showing between the towers.

My other concern, which must be on many people's minds, is the amount of traffic that would be generated by so many more downtown residents and businesses concentrated near the park.

Anita



Summary Report (UPDATED)

Public Outreach Survey

BUILDING HEIGHTS IN DTC-100 ZONE

**Prepared by City of Spokane Planning & Development
April 18, 2018**

Project Manager: Kevin Freibott
(509) 625-6184
kfreibott@spokanecity.org

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Introduction

The following report summarizes the results of a public opinion survey issued by the City of Spokane Planning & Development Department in early 2018. Following a request by a representative of some property owners in the DTC-100 Zone, the City of Spokane undertook a study of the current building heights requirements in the zone and potential modifications to those requirements that could result in easing financial barriers to development in this zone. This study was prepared following four meetings by a working group of industry, government, and public representatives. The resulting [recommendation](#)¹ of that working group was to allow greater heights in exchange for limitations on use, a limit on the floorplate size of towers above 100 feet, and minimum distances between towers. Detailed results of that study can be found in the study itself and are not summarized here.

Following adoption by resolution of the final [Building Heights Study](#)¹, City staff was asked by the City Council to begin processing a code amendment consistent with the findings of the study. As part of that process, an online [Story Map](#)² was published and a survey was released, asking the public to comment on the various aspects of the proposed changes to City Code. The Story Map and survey were published on January 17, 2018. The survey is ongoing. However, for the uses of the Plan Commission at their April 25, 2018 hearing, the results were polled from January 17 to April 17. Those results are summarized in this report. A total of 841 surveys were received by April 17. However, nine of those surveys were invalidated due to the fact that they were empty. Thus, the following results concern 832 valid surveys.

Format and Questions

The survey was issued online only as a survey through www.surveymonkey.com. The City possesses a paid account that allows for greater control of content and analysis and, more importantly, protection from spamming or multiple votes by the same user. The entire survey was 19 questions³ long and took an average of six minutes to complete. The questions can be categorized as follows:

- Six (6) general demography questions (place of residence, neighborhood, use of downtown, etc.);
- Four (4) general questions about the topic at hand (the importance of development, agreement with Downtown Plan policy, etc.);
- Six (6) detailed questions about the topic at hand (preferred floor plate size, distance between towers, pedestal height, etc.);
- One (1) open-ended question asking for comments of any type; and
- Two (2) questions asking for contact information (name and email).

None of the questions required answers to any others and users could skip any questions they wished to. The survey itself did not require that the user view the entire Story Map, but it was strongly encouraged by the survey's embedded nature at the end of the Story Map and through language included in public

¹ <https://static.spokanecity.org/documents/projects/building-heights-on-spokane-falls-boulevard/building-heights-on-spokane-falls-boulevard-final-draft-report-oct-2017.pdf>

² <http://arcg.is/2BO3KNd>

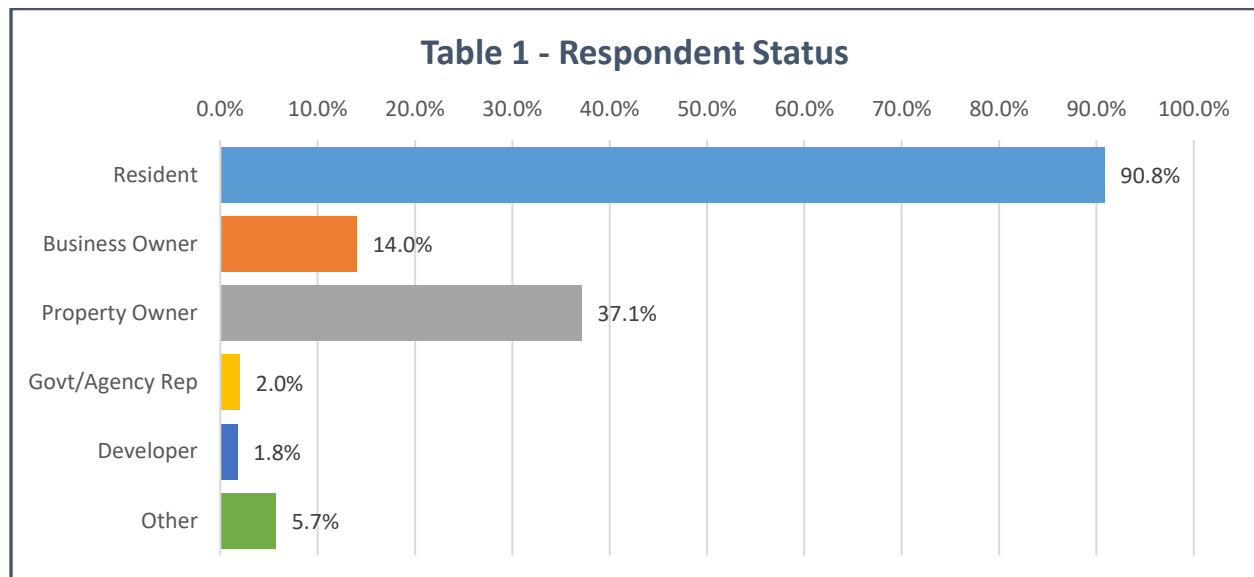
³ A complete copy of the survey is attached to this report as Appendix A.

outreach extoling the usefulness of the Story Map and a statement that the information contained within would help the public answer the survey.

Demography (Questions 1 through 6)

The primary demographic question asked in the survey was the status of the respondent. Each respondent was asked to self-report their status in society through general descriptors of their position or role. Respondents could answer with more than one response and an “other” field was provided for clarification of their answer or for respondents to include an answer that wasn’t on the list. Those “other” answers were used in some cases to correct the responses by the respondent where necessary. For example, one respondent did not check the “resident” box but did say in the “other” box that they lived in Spokane. As such, their answer was modified to include the “resident” checkbox. Any ambiguity was left unmodified in order to avoid bias on the part of the editor.

Table 1 shows the breakdown of respondents by status. Please note that respondents could give more than one answer to this question, thus some respondents fall into more than one category.



The largest percentage of respondents identified themselves as residents. The second largest percentage reported as property owners. However, as shown in **Table 1**, the City received responses from all six sectors of the population. The high percentage of residents who responded is commensurate with the City’s goal of including public opinion in the consideration process, not only industry and agency representatives. While members of the public were invited to the Building Heights Study working group meetings, no members of the general public attended the meetings, beyond neighborhood representatives directly invited to join the working group.

The second question asked respondents if they lived or worked downtown. This question was designed in order to ascertain if answers were being provided by those that would be most affected by changes in the built environment. This distinction was further refined by later questions (questions 5 and 6).

Table 2 at right provides a proportional breakdown of the answers to this question. The results were relatively evenly distributed, with the majority changing frequently throughout the response cycle. As such, it's safe to assume that the survey respondents were from largely equal proportions of the population when classified by this qualifier.

The third question asked within which Neighborhood Council boundary the respondent lived. Responses came in from every neighborhood in the City (as well as a few from residents just outside the City to the north and east). The largest responses came from the following neighborhoods:

- Manito/Cannon Hill (66 respondents)
- Cliff/Cannon (63 respondents)
- Lincoln Heights (46 respondents)
- Comstock (45 respondents)
- West Central (45 respondents)
- Rockwood (43 respondents)
- Emerson/Garfield (38 respondents)
- Southgate (36 respondents)

**Table 2 - Live/Work
Downtown**

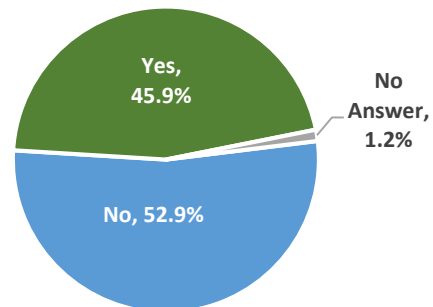


Figure 1 on the following page provides a map showing the responses by Neighborhood Council boundary, with the larger number of responses represented by darker green colors.

The next question asked the respondent to qualify how often they visit or use Riverfront Park, in order to clarify their familiarity with the park and its value to the community. **Table 3** below shows the count of each answer given by the respondents. Respondents were required to give only one answer in this case. The respondents represent a wide range of park users, with more than 73 percent of respondents reporting that they use the park at least a couple times a month.

Table 3 - Use of Riverfront Park

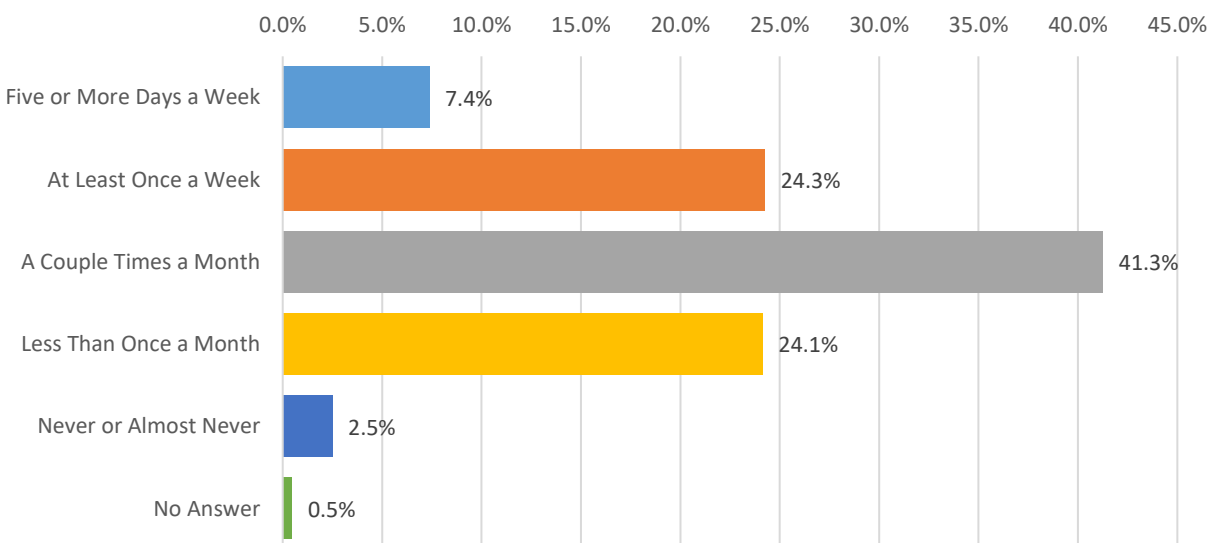
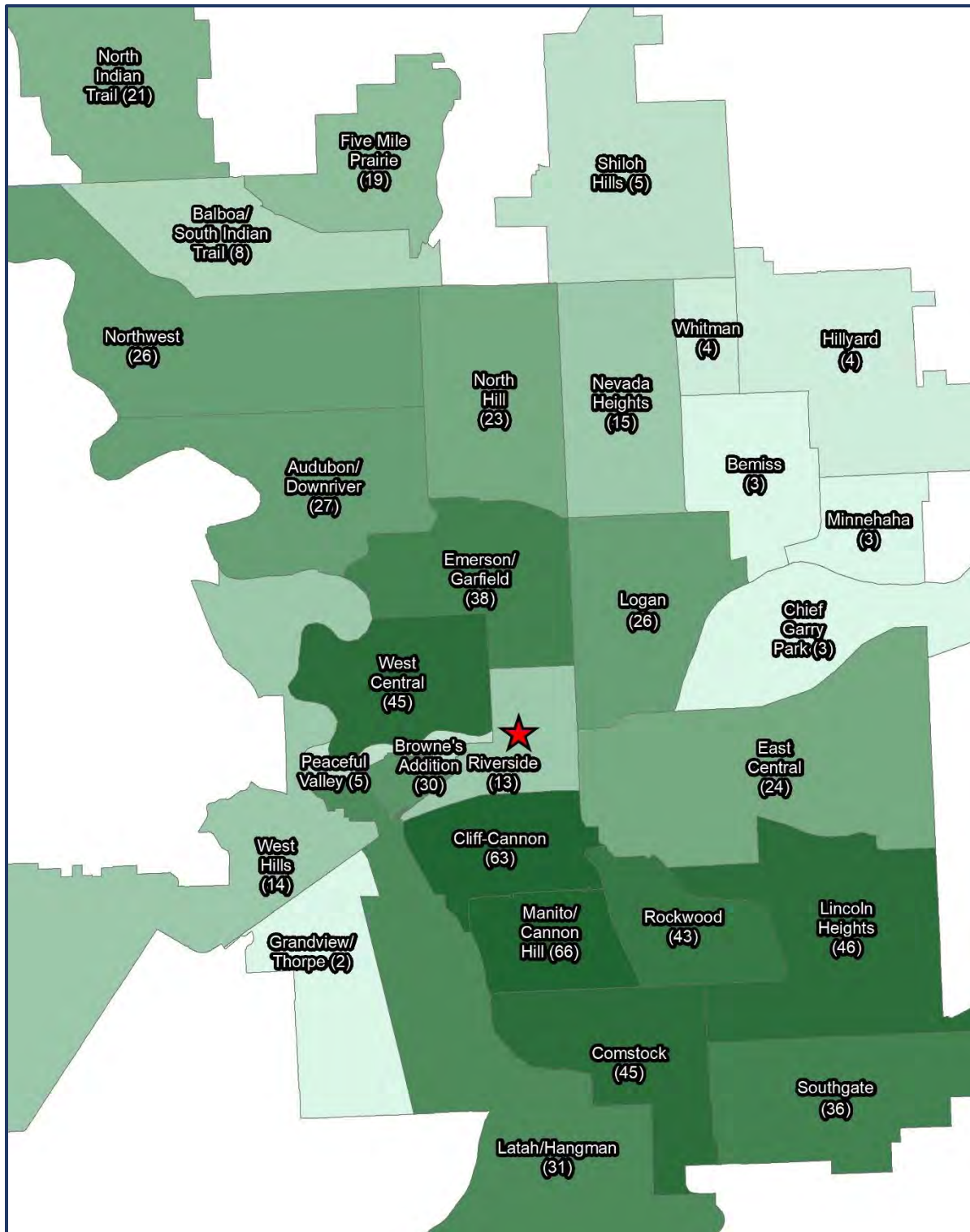


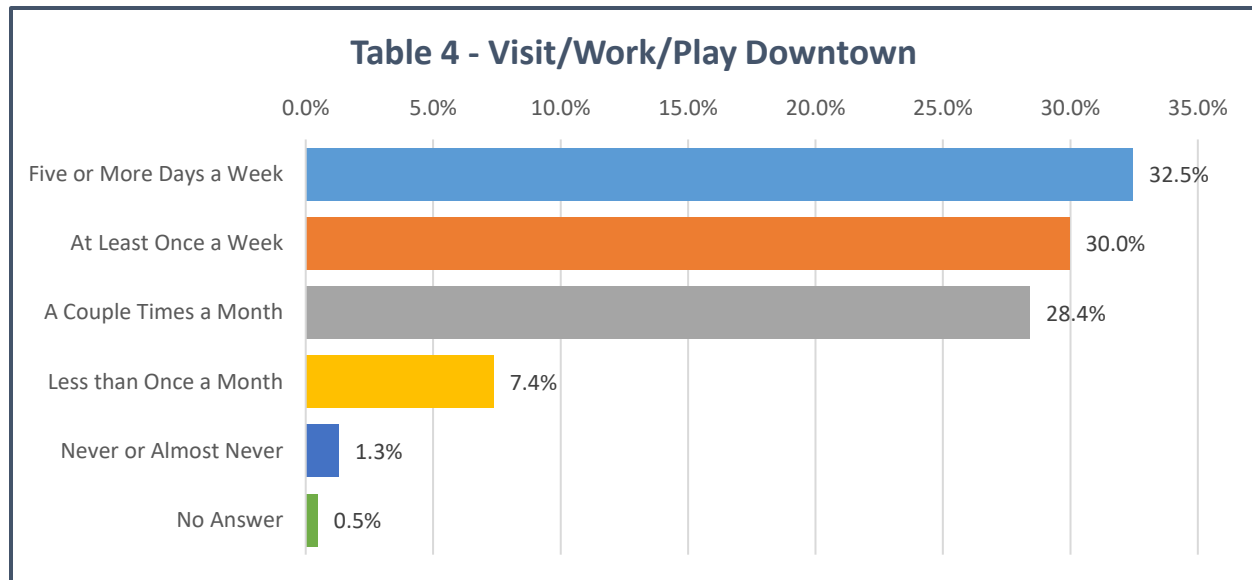
Figure 1 –Responses Received by Neighborhood



Source: City of Spokane, 2018

Notes: Darker green neighborhoods denote higher response rates. The number of surveys received from each neighborhood is shown in parentheses. The red star indicates the approximate location of the DTC-100 Zone.

A similar question was asked next, asking how often the respondent comes downtown to work, shop, or play. **Table 4** provides the range of possible answers and the number of respondents that answered each. As with the previous question, respondents were required to only give one answer.



When compared to **Table 3**, the results in **Table 4** are much more heavily weighted towards frequent users of downtown. Regardless, the combined results of these two questions point to high confidence in the expertise and personal knowledge of the respondents as they relate to the issue at hand.

Demography Summary

- Responses were received from all types of respondents, with the vast majority of responses received from residents.
- Responses were received from all neighborhoods, with the highest responses from the south hill and north of downtown.
- Respondents are relatively frequent users of the park and, even more frequently, they live, work, or play downtown.

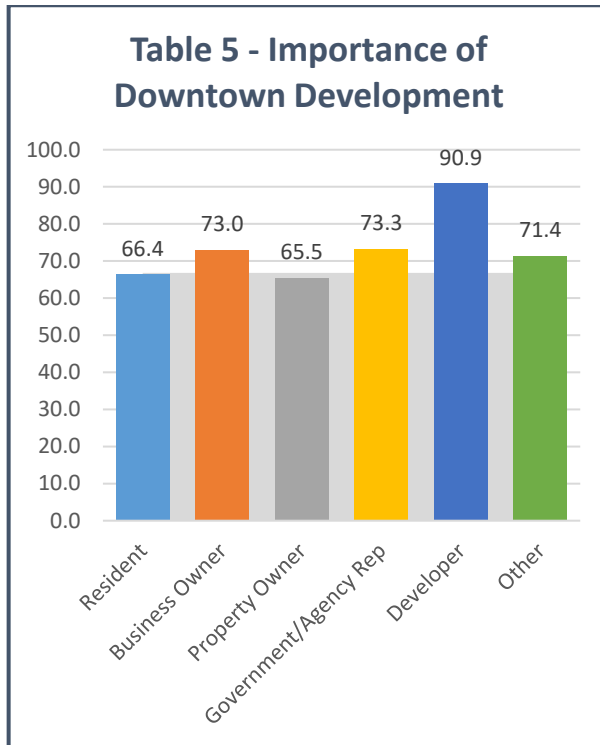
On-Topic, General (Questions 7 through 10)

In order to gauge general opinion of the topics related to the proposed amendments to the Unified Development Code, questions 7 through 10 asked the respondent to evaluate how much they agree with a set of statements. In each case they were asked to select a value between 0 and 100. The higher the number, the more they agree with the statement they are evaluating. The results shown are not percentages, rather a rating of the respondents' agreement.

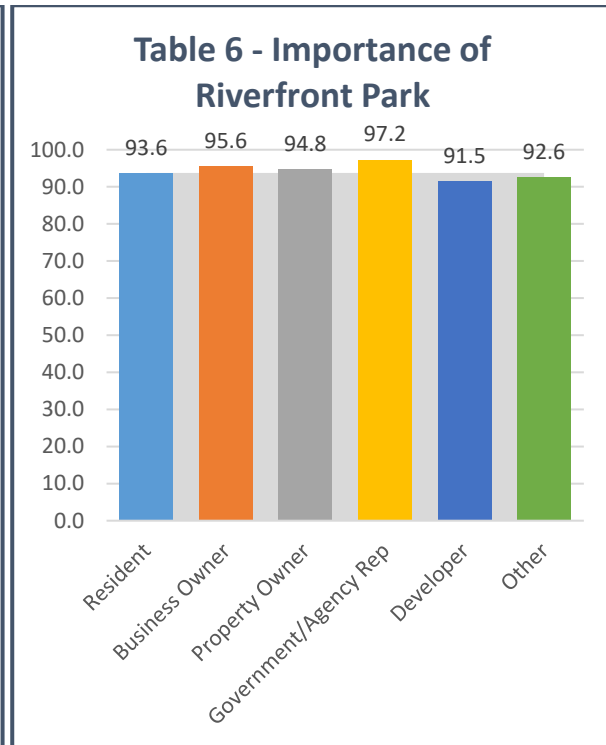
For each of the following tables (**Tables 5, 6, and 7**) the average response for each of the six possible statuses⁴ is given, as well as the overall average response. The overall average response is depicted in light grey. The first question asked the respondents to evaluate how important increased development

⁴ See Table 1 – Resident, Business Owner, Property Owner, Government/Agency Representative, Developer, and Other.

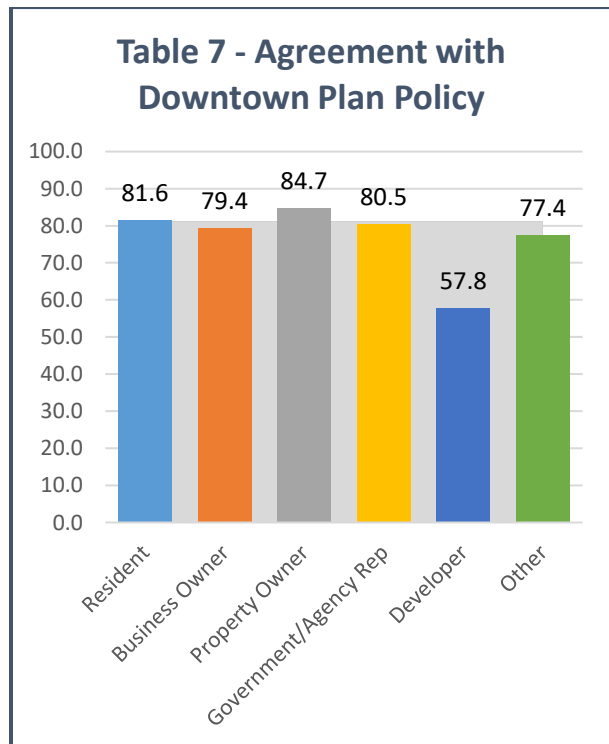
is to the downtown. **Table 5** provides a breakdown of their average answers. The second question asked how important the respondent felt Riverfront Park was to the City and Downtown. Responses are shown in **Table 6**.



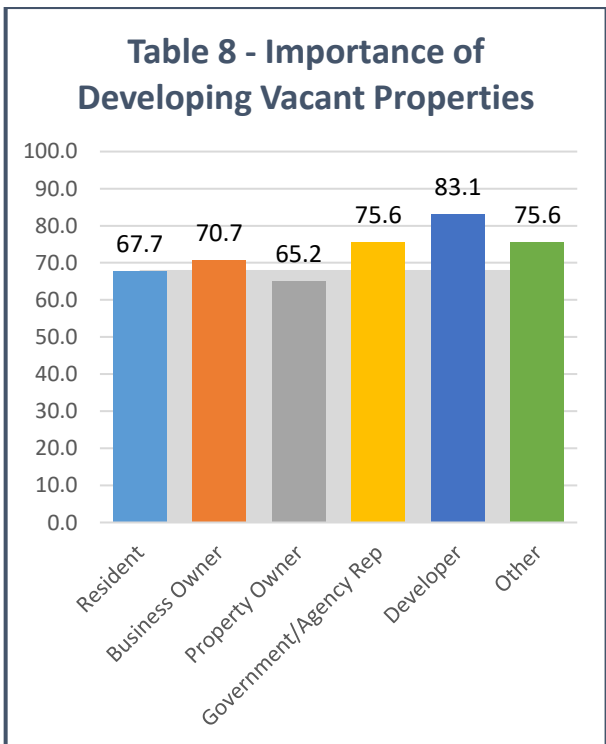
Average Answer by All Respondents: 66.8



Average Answer by All Respondents: 93.7



Average Answer by All Respondents: 81.2



Average Answer by All Respondents: 68.1

The third general question asked the respondent to evaluate how much they agree with the policy in the Downtown Plan which led to the current height restrictions in the Spokane Municipal Code. The results are shown in **Table 7** above. The specific policy statement they were asked to evaluate was:

"The Spokane community expressed a strong desire to maintain maximum exposure to sunlight in significant public open spaces, such as Riverfront Park, by promoting buildings designed to reduce shadows."

The last general question asked the respondent to evaluate their agreement with the concept that development of vacant lots and surface parking downtown is essential for a vibrant community. Their answers are shown in **Table 8** on the previous page.

General Topic Summary

Overall, the respondents indicated significant agreement with all four general concepts. Because of the extremely high number of responses by residents, the overall average answer largely corresponds with the residential answer. When all answers are considered, the answers indicate the following standard deviation⁵:

| | |
|--|-------------|
| Importance of Increased Development: | <u>28.7</u> |
| Importance of Riverfront Park: | <u>12.5</u> |
| Agreement with Downtown Plan Policy: | <u>29.1</u> |
| Importance of Developing Vacant Land: | <u>31.3</u> |

The answers overall show relatively low standard deviation, indicating some variability but general consensus in the answers provided. The most consensus among the various types of respondent regarded the importance of Riverfront Park – nearly all respondents strongly agreed that the park is key to the City.

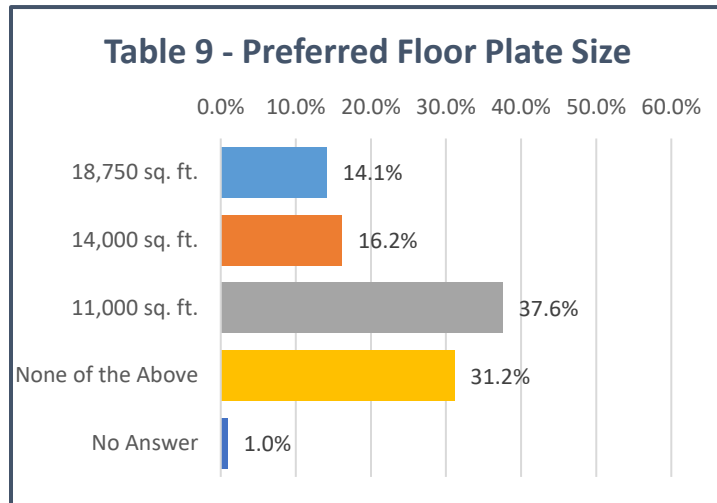
On-Topic, Specific (Questions 11 through 16)

Following the general topics, the survey continued into specific questions tailored to the information provided in the Story Map and pertinent to the key variables in any new policy proposal – namely the size of towers, separation between towers, base height, and use. Respondents were asked to select between the various options by both text description and photograph, utilizing the same simulated photographs included in the Story Map.

The first question regarded the floor-plate limitation in the towers. The three options discussed by the Working Group and Plan Commission were shown in simulation and the respondent was asked to choose among them, with an additional option for “none of the above.” **Table 9** on the following page shows the various numbers of each response received. As shown in that table, the greatest response by far was for the smallest floor plate of 11,000 square feet (37.6 percent of answers). The second greatest response was for “none of the above,” (31.2 percent).

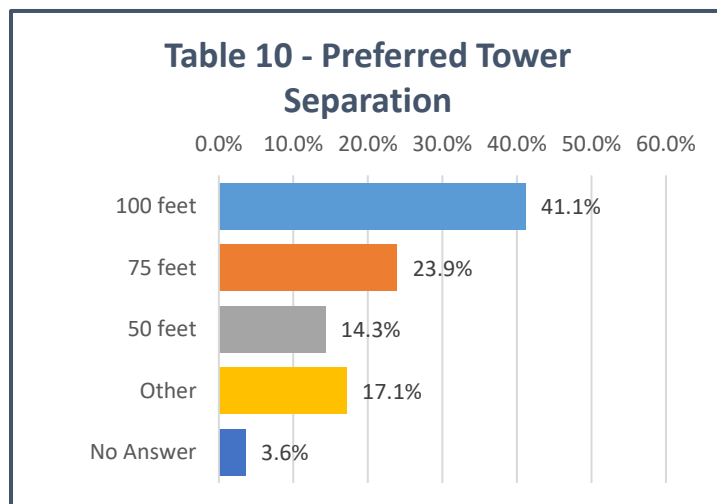
⁵ Standard deviation is a mathematical expression of how much the answers vary. Low standard deviation indicates agreement among the population. High deviation would indicate that there is great variation between the answers given by different respondents.

Respondents weren't asked to expand on the "none of the above" answer but some commented anyway on the open-ended question at the end of the survey. See that section at the end of this report for more information.

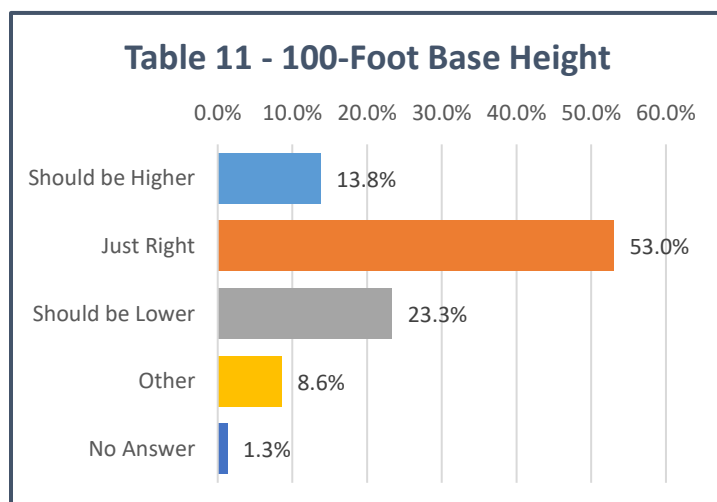


The next question asked what the respondent felt was an appropriate minimum distance between towers. As with the floor plate question, three distances were provided as well as an "other" category, informed by graphic simulations in the Story Map and shown again in the survey itself. The answers provided can be seen in **Table 10** at left.

As shown in the table, the greater separation distances received the greater response. Over 41 percent of respondents selected the 100-foot distance. Only 14.3 percent supported the recommendation of the Plan Commission and working group for a separation minimum of 50 feet.



Regarding **Table 10**, an answer of "other" prompted the respondent to give some indication of what they felt was an appropriate separation. Of the 128 "other" responses, a total of 95 said either "leave the code the way it is," "no towers at all above 100 feet," or some variation thereupon. A further 11 respondents asked for a greater separation than 100 feet. Only two comments said that it should be left to developers to determine the proper distance between towers. Another commenter pointed to visual impact being more a function of design than mass.



The next question discussed the 100-foot base height in the existing code, its history and reasoning, and asked for input on whether the respondent felt that height was too high, too short, or just right. The responses to that question are summarized in **Table 11**. When asked the

question, 53 percent of respondents felt the 100 foot pedestal height was justified. More responses were received for that answer than all the others combined. The second most common answer was to lower the height. Once again, the respondents were provided the opportunity to give a specific answer in the “other” field. These answers closely corresponded to the “other” answers given to the tower separation question.

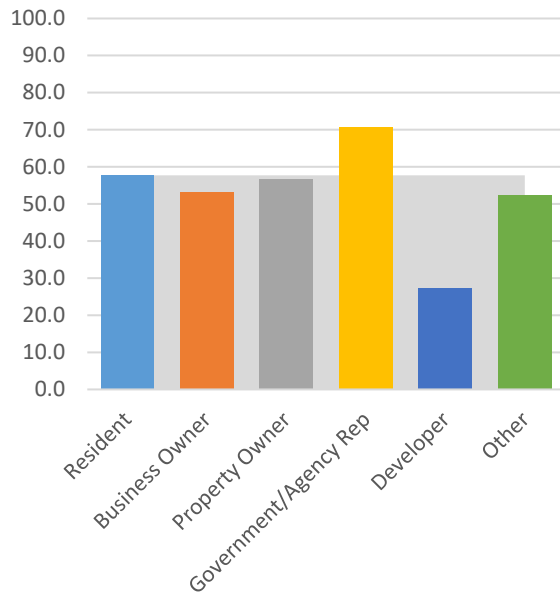
The next question asked respondents to evaluate how much they agree with the proposed limitation on use above 100 feet (residential and/or hotel only). **Table 12** gives the average response as well as the responses by each of the respondent statuses asked in Question 1 of the survey.

In contrast to the previous evaluation questions, agreement on this topic was significantly lower, averaging 57.7 out of 100 overall. Likewise, there was increased disagreement among the various respondent types, with a standard deviation of 35.

A follow up question was included, asking the respondent to provide their suggestion if they disagreed with the limitation of uses proposal. Nearly half of the respondents (46.5 percent) took the opportunity to provide written comment in this field. The three most common themes of these comments were advocating no limitation on use (18.5 percent), a prohibition of any structure above 100 feet in height (10.8 percent), and requests to keep the current policy (6.9 percent). A general breakdown of responses is provided in **Table 13** at right.

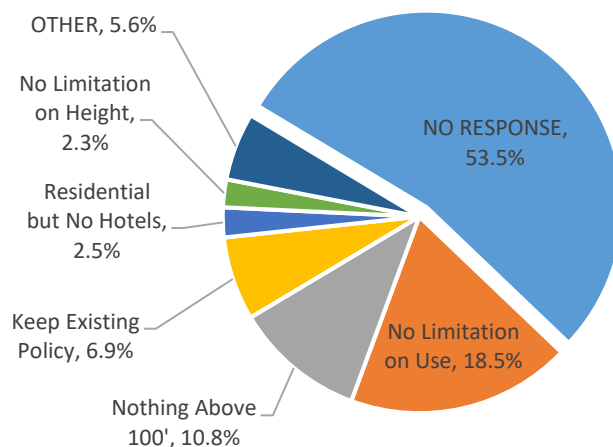
Among the “other” category of responses shown in **Table 13** suggestions were provided to include: a required proportion of hotel/residential versus office (e.g. 50/50); an allowance for a penthouse restaurant or public use; inclusion of public/community uses; and stated concerns that there is not enough parking downtown.

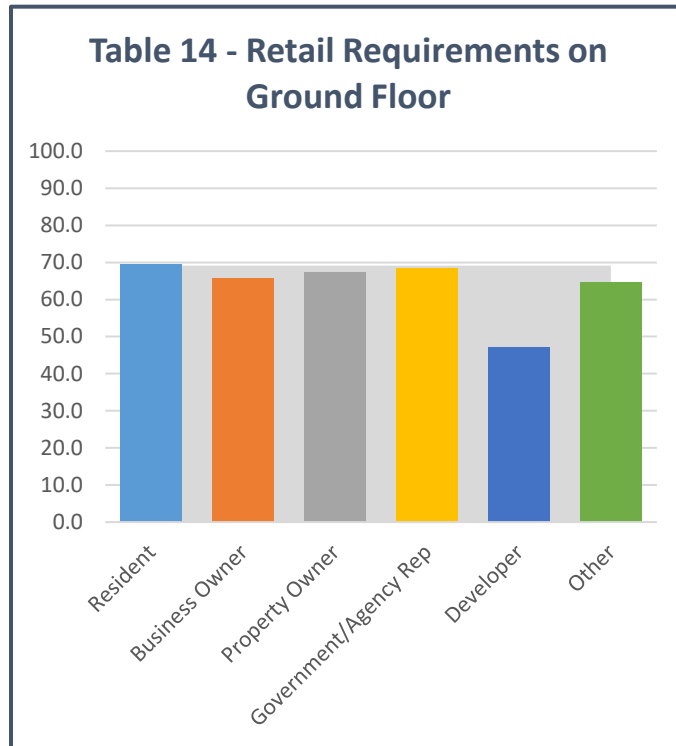
Table 12 - Agreement With Use Limitation in Towers



Average Answer by All Respondents: 57.7

Table 13 - Text Responses to Use Limitation Question





Average Answer by All Respondents: 69.1

The next question asked the respondent to evaluate between 0 and 100 how much they agreed with the proposed requirement that 50 percent of street frontage at the ground floor be retail use. **Table 14** provides the average answer given by each type of respondent. As with similar questions earlier in the survey, the overall average is shown in light grey.

Once again, while the responses were somewhat variable, the overall standard deviation in answers was generally low (29.3). The overall average among all groups indicated fairly strong agreement with this proposed requirement.

Specific Topic Summary

Of the various detailed questions, it's easy to make a few generalized conclusions about the proposal overall. There are essentially two overall divisions – those who appear accepting

to the proposed modification of height restrictions and those who are generally opposed to any changes. Among those who are accepting of the proposal, at least in part, a few general conclusions can be made:

- They are supportive of smaller tower floorplates, placed farther apart.
- The preferred floorplate maximum above 100 feet is 11,000 square feet.
- The preferred distance between towers is 100 feet, or in the case of written comments, even more.
- The pedestal height of 100 feet is generally acceptable.
- They generally show less support for the proposed use restriction in towers.

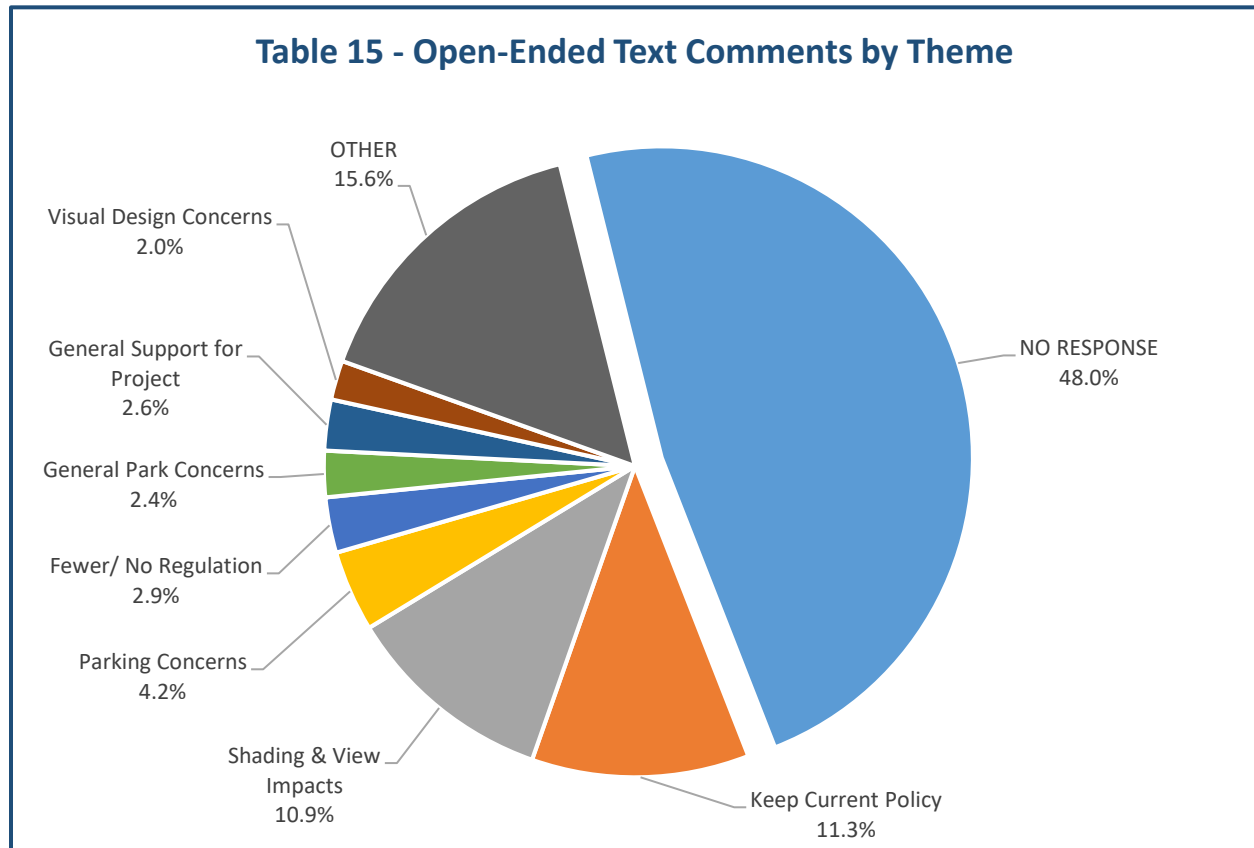
Among the second division of respondents, two camps are evident: (1) those who think the current regulations should remain and (2) those who feel even the current height limitations are too permissive. The two camps, combined, make a few common assertions:

- Additional visual impacts to the park, not only shading impacts, are abhorrent and should be avoided.
- The appropriate place for tall buildings is not next to the “crown jewel⁶” of the City of Spokane (Riverfront Park).

⁶ Source: Survey respondent comment.

Open-Ended Text Comments (Question 17)

The final substantive question in the survey asked respondents if there was anything more they wished to say on the topic. A total of 394 respondents provided written comments in approximately 34 general categories. All following percentages reflect a percent of the total number of surveys, not the total number of written comments. The most common themes expressed in comments are shown in **Table 15** below.



The two largest groups of comments concerned a call for no change to current regulations (11.3 percent of all surveys) and concerns about shading or views related to Riverfront Park (10.9 percent of all surveys). An additional 2.4 percent expressed concerns about impacts to the park beyond the question of views and shade (e.g. access to the park, parking, etc.). Conversely, 2.9 percent of respondents called for more permissive or entirely eliminated height maximums (or similar regulations).

It is important to note, but not directly pertinent to the current proposal, that parking impacts were a significant concern of commenters. 35 comments regarding the scarcity and/or affordability of public parking downtown were submitted, representing 4.2 percent of all surveys. As the City is currently undertaking a significant parking study downtown, these comments will be forwarded to the staff members responsible for that effort. They are not summarized further here.

All of the general comments received in this effort are listed, in no particular order, in **Appendix B**.

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Building Heights on Spokane Falls Boulevard

Lend your Voice! Tell us what you think!

This survey will provide important public feedback on proposed changes to the height requirements on Spokane Falls Boulevard adjacent to Riverfront Park. Please take the time to fill it out completely. An opportunity will be provided at the end for any additional comments you wish to provide.

1. Please tell us a little about yourself. Check all that apply. You are:

- ☐ A resident.
- ☐ A business owner.
- ☐ A property owner.
- ☐ A government/agency representative.
- ☐ A developer.
- ☐ Other (please specify)

2. Do you live or work downtown?

- ☐ Yes
- ☐ No

3. If you live in the City of Spokane, in which neighborhood do you live? If you don't know, go on to the next question.

4. If you don't know what Neighborhood you live in, please tell us the nearest intersection and we'll figure it out for you! *Feel free to skip this question if you'd rather not answer it.*

5. How often do you visit/use Riverfront Park?

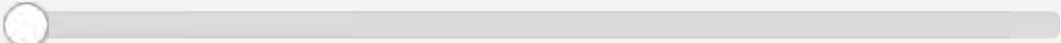
- ☐ Never or Almost Never
- ☐ Less Than Once a Month
- ☐ A Couple Times a Month
- ☐ At Least Once a Week
- ☐ Five or More Days a Week

6. How often do you come downtown to work/shop/play?

- ☐ Never or Almost Never
- ☐ Less Than Once a Month
- ☐ A Couple Times a Month
- ☐ At Least Once a Week
- ☐ Five or More Days a Week

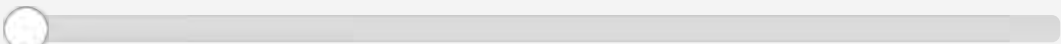
7. In your opinion, how important is increased development Downtown?

Not Very Important Somewhat Important Extremely Important

☐  ☐

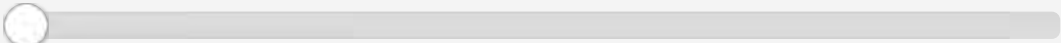
8. In your opinion, how important is Riverfront Park to the City and Downtown?

Not Very Important Somewhat Important Extremely Important

☐  ☐

9. How much do you agree with the following text from the Downtown Plan? **"The Spokane community expressed a strong desire to maintain maximum exposure to sunlight in significant public open spaces, such as Riverfront Park, by promoting buildings designed to reduce shadows."** In other words, do you agree that sunlight on the park is essential to the City?

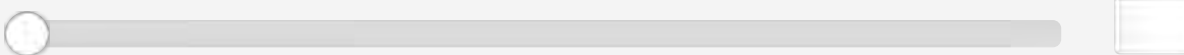
Disagree Neither Disagree Nor Agree Agree

☐  ☐

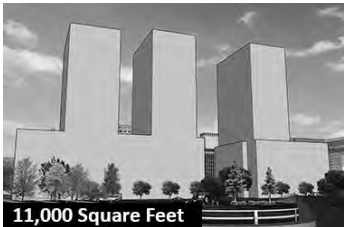
10. How much do you agree with the following: **"Development on vacant lots and surface parking lots downtown is essential for a growing, healthy city like Spokane."**

Neither Disagree Nor
Agree

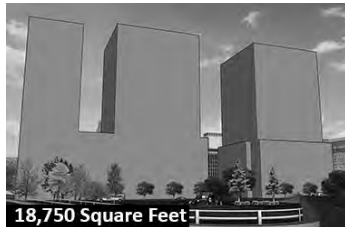
Disagree Agree

☐


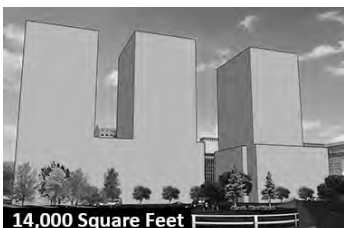
11. Of the three floor plate sizes shown in the simulations, which do you think is the best?

☐


11,000 Square Feet

☐


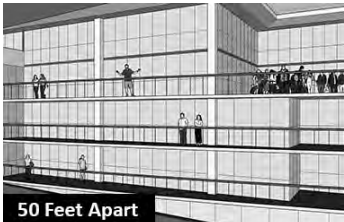
18,750 Square Feet

☐


14,000 Square Feet

☐ None of the above.

12. After viewing the simulations provided by the City, how far apart do you feel the towers should be?

☐


50 Feet Apart

☐


75 Feet Apart

☐


100 Feet Apart

☐ Other (please specify)

13. The base of the buildings in all the simulations are 100 feet tall, which is allowed within the current code and designed to conform to the 100 foot heights of similar buildings on the street -- namely the Old City Hall, the Wheatland Bank, and the Parking Garage at River Park Square. Do you agree with this base height?

- ☐ It Should Be Lower
- ☐ It's Just Right
- ☐ Is Should be Higher
- ☐ Other (please specify)

14. The City is considering limiting any uses above 100 feet in height to only residential and hotel uses. The main reason for this is to foster development that will activate the street and the adjacent park, all week long. Do you agree with this limitation?

Disagree Neither Disagree Nor Agree Agree

☐ ☐ ☐

15. If you disagree with the statement in Question 14, what do you think would be best instead?

16. The City is considering requiring that the ground floor of the building be at least 50 percent retail. Do you agree with this?

Disagree Neither Disagree Nor Agree Agree

☐ ☐ ☐

17. Is there anything else you would like to tell us? *(There is an email link below as well, if you'd like to write us a more lengthy response.)*

18. You are not required to give us your name or contact information. However, if you would like to give us your email address we will happily send you any additional information or notices issued as part of this project.

Name

Email Address

Thank you so much for taking the time to tell us what you think. If you have any questions or additional comments on the project, please feel free to contact the project manager, Kevin Freibott, at kfreibott@spokanecity.org or by phone at 509-625-6184.

Please make sure to click the "Submit" button below!

The following comments were provided in the final question of the Building Heights survey. Any spelling or grammatical errors are the author's and have been retained. Where the commenter provided their name, it has been included at right. An arbitrary number has been assigned to each comment in order to aid reference to individual comments. The number has no significance on the identity of the commenter or the actual text of the comment. Likewise, shading of rows is arbitrary and is provided to increase legibility. The following comments are provided in random order.

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
|-------|--|---------------------|
| 1 | Development in the city of Spokane is a very heartfelt and extremely important thing to me personally, and I discuss it on a daily basis with numerous individuals. This is my favorite city in the world that I have been to, and I am honored to be able to be a citizen of Spokane. Spokane used to be an example setting post modern city, that every other city in the state (exception of Cheney, WA) looked up to and learned from. Expo '74 was a mortal wound to this city's future and proud heritage. We must reverse the curse and restore meaning to the city of Spokane. | Caelan |
| 2 | Government should not be designing buildings. | Dave Black |
| 3 | These developments may be in shoreline jurisdiction. Ensure compliance with the shoreline management act. It should be made more clear why the PC decided on the largest optional size thresholds, rather than taking smaller steps to address the perceived issues developers had. | |
| 4 | shade is not a significant issue in fall and winter - spring and summer though it would be nice to have as much light on the part as possible | |
| 5 | To have Planning Staff and The 7th Floor occupants say, "Developers say, if we don't change the existing code, it won't pencil out" Is code for, "I could make more money if you would just change the code to what we like." | |
| 6 | we cannot sustain the current regulation requiring retail minumums given the shift in the retail economy. the market should drive this or you will end up with failed businesses and more empty store front that de activates downtown sidewalks and streets and the park | |
| 7 | I believe it is important to the vitality of the downtown that building restrictions be limited and open lots be developed. | Steven Wulf |
| 8 | It doesn't seem fair to pit the Downtown and the Park against each other. Less than 50 years ago Riverfront was a rail yard. The only reason we have the park is so that it could be developed in an urban center for Expo. It's an urban park, and should be enjoyed as such. It's not Pitch and Bowl, it's not Manito. People enjoy Riverfront BECAUSE it's a part of the downtown, because it's adjacent to a thriving core, with shops, and restaurants, and emerging business. We should let them grow together. | Elisabeth Hooker |
| 9 | The development of these lots would be EXTREMELY beneficial to our downtown; by creating new, attractive and dynamic residential, retail, etc opportunities. As well as adding some welcome depth to downtown Spokane's skyline. | |
| 10 | We should prioritize developing these lots and downtown in general, that would be highly beneficial to the growth of the city, and downtown is it core | |
| 11 | Mixed use development would be beneficial to the downtown, but there should not be a mandate on the amount of retail. | |
| 12 | Buildings should keep in character with the historic nature of downtown, unlike the Grand Hotel | Joe |
| 13 | I do think that development in the downtown core is important, but given that Riverfront Park is our "jewel" highlighting the spectacular river that runs through our city, I do think that it should be a sunny and clear area. | |
| 14 | Having open spaces downtown is important. Overbuilding too quickly could lead to serious problems when the economy changes. Would like to see development of the sports arena on north side of the river and more rehab done to existing buildings downtown without adding huge structures that won't fill up. Retail has changed in the US and our downtown needs to be careful about developing too much too fast. | |
| 15 | I'm more than pleased to see the city working on riding itself of empty flat lots around downtown and fully support the idea of building up, not out. | CeCe Byrnes |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
|-------|--|---------------------|
| 16 | Economic development is critical to Spokane. More residential options are critical to Spokane. Do everything you can to get the city out of the way to allow new development. | |
| 17 | City planners believed that sunshine in the park was key to encouraging development in that central area. Now that it has been proved correct it is more important to preserve it than before. There is ample space to develop that will not shade the park. I hear visitors say "Wow, my city doesn't have a space like this!"; I am more proud of this than I would be of any tall building they could make. | Alex Barclay |
| 18 | Stop trying to turn Spokane into Seattle! You are destroying the beauty of the city. | Karen Grigaliunas |
| 19 | I have lived in Spokane all my life along with three other generations of my family. we advertise Spokane's river and its beauty yet we are taking away from the river each time we build around it. When I walk on Summit Drive and through Kendall yards and I look across the river I see apartments and houses being built, they have ruined the view when people go to the park downtown. They see buildings lined up by the river. We do not need new buildings built there | Marcia Kiehn |
| 20 | A bland vs visually interesting exterior has a much larger effect on my enjoyment of the space/view than the height. | |
| 21 | My concern is the potential increase in traffic downtown. I travel through to get to and from work every day and some days it can take 15-20 minutes just to get from the off ramp to the library. With more/larger buildings, I envision many more people in these buildings that will in turn flood the streets with that many more people/cars. I worry that if it's too crowded and parking becomes more of an issue I will be deterred from shopping or spending time there. I recognize the benefit to growth, however, I would like to know that it benefits the community more than it benefits the developers. | |
| 22 | These rules were implemented for a reason. There is an abundance of undeveloped and underdeveloped lots and property in the downtown core. By leaving these lots with the current regulations it at least provides some welcoming entrance to downtown from the north without just hitting a wall of generic buildings. Please do not alter the current regulations. | |
| 23 | Yeah. I like shade. I don't want skin cancer. I would prefer more shade. Also, I think the larger building envelope on the right from the 18k plan with the towers of the 14k plan. The 18k left hand towers look off centered and dumb. On the other hand, I feel like the shadows are a much larger deal for the right hand building because of where the shadows go during the day. Who cares if the shadows go over Washington street? But if they go over the plaza thing. That's a bigger deal. I would prefer it if the current plan remained from Washington street to city ball and the normal downtown plan expanded along the south side of river from from Washington to Division. | |
| 24 | The retail space available in downtown NOW is empty. | Brenda McCracken |
| 25 | During hot summer month activities, (hoopfest, bloomsday, pig out in the park etc.) it would be nice to have more shade downtown. | Jacob Aspenleiter |
| 26 | To maximize the health of the park and the city, not to mention those using the park, I believe it's crucial for Riverfront Park to receive as many daylight hours of sunshine as possible. | Colleen Daniel |
| 27 | Props for making this survey about building configuration and not shading. I would agree with the statement that park shading from April to September is essentially negligible. I strongly agree on the premise that park frontage property be developed and not hindered by regulations that currently are essentially arbitrary. | |
| 28 | We must not overshadow the park with tall buildings. We love NYC but can't wait to come home to see the green grass and get away from the concrete dark streets and high rises. We live in a beautiful part of the country and don't need to make it stark and dark.Wake Up Spokane!!!!!!!!!!!!!! We need the light!! | |
| 29 | I do not find the Davenport Grand Hotel to be attractive to the overall skyline of downtown. I would hope our older buildings such as the French Legion and Paulsen Buildings be fully utilized and visible from all directions. | Nita Alexander |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 30 | I implore you to protect the park. Please maintain the current restrictions. There are countless existing buildings to redevelop. Focus on them rather than encouraging massive structures. | Robin Schram |
| 31 | The Railroads once blocked sight of the river until Expo '74 made the area into a beautiful park. Why obliterate the river again and diminish scenic views? Buildings too tall look like a fortress. Let's not let greed and block-like structures spoil the aesthetics of Spokane. We've lost much of its charm due to destruction of beautiful edifices and new reconstruction that is an eyesore. Sky-high Cookie Cutter buildings do nothing to add to our special city by the river. | Caryl Briscoe - Michas |
| 32 | Please let all the sunshine through to the park, if we need shade, -plant some trees. Parks should be natural and beautiful, and the towers cheapen the heart of our city, benefiting few while taking from all. | |
| 33 | Please retain the current restrictions. Riverfront Park is a gem, and any development near it should only enhance the park. If current restrictions are not conducive to building, the space around the park is more valuable. We don't need to be that desperate for development. | |
| 34 | There is a great deal of unused space in current buildings. Incent development in existing space. Why build more space in an area that is hugely vacant? | Jon Bowermaster |
| 35 | This online explanation and simulation is impressive! Your group did an excellent job with this - keep up the good work!! | Paul Levernier |
| 36 | I realize that our parking is less expensive than most big cities but I was a long time teacher and I hear from so many families who choose Northtown or Valley Mall because of parking costs and the eliminated lot to build the new hotel makes it even more expensive for young families who are our future. I also think the park is a huge draw to families who will certainly spend money for food and drink if not clothing, books, gifts, etc. We need to care about light in the park and find a way to protect that I think above some developers needs. | Jan Praxel |
| 37 | I really love Spokane and believe that we could use some growth but making wise decisions about what that growth looks like is important. It's hard to say what would be best for all so I am giving perspective from one of many voices in Spokane. | Deborah Guenther |
| 38 | Spend time and money on creating jobs. | |
| 39 | I'm worried about the increase of a shooting/terror incidents with such easy access to crowds and events at the Park. | Autumn Estes |
| 40 | Riverfront Park is the jewel of the city. As a transplant, it's what sold me on Spokane. To limit views and sunlight would be highly detrimental. | |
| 41 | No increase in "shadow" coverage for future development. | peter grossman |
| 42 | I grew up in Chicago. If you walk most of those downtown streets, there is no sun except at high noon. It's awful. The shadows there, however, do not fall on Millennial Park because Michigan ave is so wide. My husband and I were happy to pay for Riverfront Park improvements but lining Spokane Falls Blvd with high rises - that would make us think twice about voting for the next bond proposal. Also, there is a newish open parking lot downtown that is nicely landscaped around the edges. If I remember correctly the Historic Preservation people opposed the building tear down at that site. Well, I love that lot - it has made the surrounding area so bright. Such a good feeling -it's like a smile. I know there are those that want to develop all the surface lots in the downtown area, but I disagree. Please keep the sunlight in our downtown! | Gina Schrock |
| 43 | I think the height should be limited. I don't want super tall buildings in that area. Limit height and allow the larger amount of square feet in the towers. | Gretchen McDevitt |
| 44 | Riverfront Park is Spokane's jewel. Please keep the current zoning. Do not allow unlimited height that could shadow even the north bank; this is not "a spark". The wall like border to the park is not "something that all of Spokane would be proud of". Please keep the current zoning. | |
| 45 | City Council needs to do the job they were hired to do and listen to their legal counsel and follow their advice, otherwise why do we have a legal counsel. | Marian Vonada |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 46 | The size of the Grand Hotel totally changed the feel and skyline of downtown. It does not seem to fit in with the rest of the area. | |
| 47 | My main concern is the Aesthetic nature of the Buildings, lets just keep it Classic Brick Only! These modern looks and skinny towers are awkward for the Historical nature of Spokane and our Natural Landscape. And they quickly date themselves, I have heard many people say some of Kendall Yards looks like what Seattle attempted to do in 2007, Primary Colors and Aquarium looking, and the citizens rejected it. | Antonia DePasquale-Sharkey |
| 48 | While I believe in the rights of the property owner/developer, I feel code/ordinance is to protect the good of the whole(majority). This seems to be only one issue with regards to downtown/immediate surrounding. Comprehensive long term planning/master plan for the entire 'core' would suite the citizens, stakeholders, and visitors better. | Scott McGann |
| 49 | Parking downtown is already a huge pain, which is why many residents avoid going there. Building on the parking lots will make it worse. | |
| 50 | Stop regulating so much. A little is necessary but govt. tends to use regulation to reward campaign donors and punish political opponents. | |
| 51 | sent an email | Kaaren Goeller-Bloom |
| 52 | The study 'Social Life of Small Urban Spaces' conducted by William Whyte regarding what makes public spaces inviting and engaging is worth referencing. One finding in particular is that access to sun MUST be protected. Also, consider the common complaints of current day New Yorkers that their city is becoming a city of shadows. Spokane is a long way from that of course, but please take the long view. All in all, if done correctly this can be a very good thing for Spokane as long as the street experience isn't forgotten due to development opportunities. | Cody Rathbun |
| 53 | While I personally like the idea of requiring 50% retail on the ground floor of the proposed developments, the reality is there are fewer retail stores being developed due to the likes of Amazon and other digital means of shopping. This is causing a lot of vacant store fronts that does little to activate a street. I would consider reducing the amount of required retail areas on ground floors. | Steven Meek |
| 54 | There's an implicit assumption in this survey that the building restriction will be changed, so this seems to be a predetermined outcome. | Greg Gordon |
| 55 | I think it needs to be 100% retail shop and restaurants again NO BANKS!!!! These need to be places that are open all different hours and are accessible to the common public. Hotels that have vale in front of the main pedestrian entrance on the main street should not be allowed. Activated and inviting main entrances MUST face the street, I know there are design and code regulations around this but look at the south side of Davenport Hotel they got away with having nothing activating on the street level that faces Main Street creating a GIANT dead zone for a whole downtown block, that is unacceptable interpretation of why those codes and design standards were created. | Jackie Caro |
| 56 | I would definitely like to see more high-density residential development downtown, especially in blocks containing surface lots such as the one east of the Bank of America Tower, and the 2 surface lots south and east of the Paulsen Building. Along with the lots along Spokane Falls Blvd, these 3 underused surface lots if redeveloped for high-density, could also have the potential to transform and shape Spokane's skyline. | Andrew Waddilove |
| 57 | This is prime downtown property that should benefit all citizens, not just developers. The downtown plan was written based upon what the people of Spokane wanted and I don't see how that has changed. Keep the sun in the park and along the whole street. There is no reason to make changes or allow huge/tall buildings on this street, there are other locations they can build. | Jennifer |
| 58 | There are positive uses that don't need retail. Also some locations where retail will not succeed and you end up with a white elephant that detracts from the building. | Al Payne |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 59 | Please do not change these restrictions, They were implemented for a reason and serve our city well. There is no shortage of paved lots in the downtown core that can be developed to these specifications but keeping the open feeling of Riverfront Park and the entrance to downtown from the north is important. | |
| 60 | I think considerations such as full-city transportation plans should be considered when thinking about increasing population density downtown. Also, please look at interesting developments like Paseo Colorado in Pasadena, CA and the 3rd Street Promenade in Santa Monica for development ideas. | |
| 61 | I work on the top floor of the Auntie's Bookstore building. These buildings as proposed will entirely block our view of Riverfront Park. It will be like putting up a solid wall to anywhere south of the park. If you drive towards downtown on Division from the north, you see the huge mass that is the Davenport Grand. This proposal would continue that building mass and block out the entire view of downtown Spokane. Please do not approval this proposal, it is bad for Spokane!!! | Terri McRae |
| 62 | Spokane is unique for having the advantages of both a big city and small town. Other cities I've visited- such as Seattle, Minneapolis, and Los Angeles - make me feel trapped and closed in. I don't want Spokane to give up our beauty and uniqueness in the name of progress. | Krystal Weeks |
| 63 | I don't see the point of the extensive and costly renovations to Riverfront Park that are already underway if the city is going to immediately detract from the open space, sunlight, and city views and thus the attractiveness of the park! It doesn't make sense. I think the CURRENT building heights restrictions are too high. The simulations clearly show that adding tall buildings immediately ADJACENT to the park substantially change the feel of the park. It feels very boxed-in and the buildings take center stage away from the park itself. There are other areas of downtown that can be used to maximize business and economic development. Keep the open, sunny feeling of Riverfront Park. More is not always better. Let's keep it real. | |
| 64 | Keep the code as it is. Excellent demonstration of the issue. Thanks for asking. | |
| 65 | I do not want the regulations changed. | John bakee |
| 66 | Please do not waste important time with these tower ideas, these East Berlin-style buildings. (All that's missing is the Berlin Wall!) The space should be developed--I agree wholeheartedly--but it should be achieved by keeping in mind human scale, historical reflection, and aesthetic values. People will still make money out of this development, but only if it's somewhere people really want to go. I haven't once stepped into the Grand Hotel because it's so damned ugly. Others who have gone confirmed my impression, and they told me not to waste my time--or my money. The proposed soul-killing towers are more of the same, if not worse. There is a wonderful opportunity here for something really fabulous. Please do not throw that opportunity away by throwing out the original codes. | Carlene Adamson |
| 67 | Please maintain sunlight in Riverfront park, it's a jewel of a park. I'd rather see downtown developed in other parks. | |
| 68 | If there must be a building here, keep it small. Don't block out the sun. Developers knew the rules when they bought the land. | Matthew J Kee |
| 69 | keep the code as is. | Richard Powell |
| 70 | There is nothing in the Constitution that guarantees speculative developers the maximum profit on their properties at a substantial social cost. Fifty foot base height with step backs above that would be compatible with neighboring buildings. | Eric C Johnson |
| 71 | Again, I would like the height restrictions to stay the same. And please no hotels if the code gets changed! | Liz Smith |
| 72 | I think the long range plan thoughtfully created and approved by citizens should be followed. Developers should be required to add to the beauty of historic buildings, not build boxes that resemble the county/city jail. | Anna Mae Hogan |

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| 73 | Spokane has always pumped the brakes on growth, yet complains that there is a disparity of income, jobs, tax allocation, etc., etc., etc. with the Seattle area. Did Spokane really think it had a chance to woo Amazon's new headquarters here? Is Spokane "International" airport really international when the only direct flights (of any consequence) are to Seattle or Portland? In order to attract business, Spokane must be business friendly. | Brian Sheldon |
| 74 | All of these proposals, even the current code, create a canyon on Spokane Falls Blvd. The Grand Hotel ruined the views into Downtown & the Spokane River from the South Hill and North Hill. What kind of view of the new UD Bridge would be available from Downtown? This is short term thinking and selling of not only those lots, but the beauty and sunlight around Riverfront Park. | |
| 75 | tall buildings so close to Riverfront make it less desirable to go downtown | James |
| 76 | I think it is important to keep sunlight coming into the downtown area (I feel it promotes people coming into the area) along with avoidance of wind tunnels | |
| 77 | I understand the financial considerations, but once built it's DONE. I think the park is too important to risk! | |
| 78 | I like the idea of new development downtown. However, we need to make sure that there is still sufficient parking options, so any new building that is constructed should have a sizable parking garage. | |
| 79 | Eliminating precious downtown parking would be problematic. In fact, Diamond systematically gouges residents in this area. | Sam Weber |
| 80 | If Spokane wants to be a vibrant city and attract a younger generation (which it needs to do to survive) It is going to have to increase development. Fill in all those horrendous parking lots and vacant lots and build build build the downtown core. stop sprawl. build up, its the way of the future. | Kevin Brannaman |
| 81 | I would like to see the ordinance make the ground floor level of any new building pedestrian friendly. No huge swathes of facade that overwhelm at street level. Also ability to get through those areas, perhaps as "public plazas" with art, landscaping, seating required. I just don't want new development in this area to be monoliths with only private space around. By the way, I am an ex-planner and I love your presentation here. | |
| 82 | No light rail, no bicycle paths! | |
| 83 | Thank you for the opportunity to have input on this. I love how our downtown is growing. It's still classy with more to do. I would like to see more shopping opportunities, I would like to see residential done right so that it doesn't get tired and have people move out leaving empty buildings in the future. | erin jennings |
| 84 | Financiers want the code on building setbacks facing Riverfront Park repealed to allow construction that would block sunlight from the park. The existing rule is a compromise between market values and social values. If the city council throws out the protection, it will join the national trend of de-regulation, unleashing development near the park. More big empty buildings. "The sky's the limit!" Over decades, the proliferation of big buildings has walled off much of downtown from the Spokane River. Our senses have forgotten its nearness. Promoters claim that tall buildings "generate a spark". I say they generate a chill by increasing the hours of shade and cold in public space. Let the park work as designed, with deciduous trees shading in summer and welcoming the winter sun. We must question old assumptions: That development is good, even when it means private profit usurping the public good. That surface parking lots are bad. If they are to be the only surviving open space downtown in this era of "density", so be it. Parking and restaurants complement people's use of the park. High rises don't. Don't yield to market profiteers the treasure generated by our public investment in open air and green space. Express your concern to the city council.. Let us resist unregulated capitalism's dark, cold reign. | Morton Alexander |

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| 85 | I believe River Park to be vital to the future of our city. Codes were put in place to protect and preserve our park. They should not be compromised. There are many other parking lots and run down buildings in need of renovation/development within a very short distance...that will not cast a shadow over our park! | |
| 86 | I am opposed to changing the current code. I am very much in favor of an "open air" environment around Riverfront Park, which this change will impede. You would do well to not undervalue the existing "feel" of Riverfront with the existing height limitations. | Dennis P Flynn |
| 87 | Don't deceive the public and show the shadows with the buildings in different times of years and not just May otherwise I feel this is a biased survey to help developers proposals. | |
| 88 | Please do not change the current height restrictions. Riverfront Park and the river are the core attractions that draw visitors and potential new residents to the City. There is ample space for development in the downtown area. It is not worth losing the open space feel around Riverfront Park to change the height and setback requirements in this small portion of downtown. | Virginia Darrell |
| 89 | Riverfront Park and the Spokane River are the jewel of downtown. Anything that diminishes that, such as shadows, would make downtown less desirable for residents. I say this as someone who hopes to downsize by moving downtown. I will not move downtown, however, if the park is less pleasant, especially during winter months when sunshine is so important to mental health. | Miriam Berkman |
| 90 | Wow what an opportunity to give our city something new, beautiful, and life-giving! Please, please, please do not authorize development until the developers submit architectural designs which honor the architectural roots of Spokane's finest structures, and add beauty to this most valuable part of Spokane! In other words, you have one shot at this. Please don't saddle your citizens with uninspired, and uninspiring buildings. And, there should of course be a commensurate investment in original sculptural and other permanent artwork on and around the property. Tall buildings are never better than open space. These MUST NOT be token projects! Please don't be afraid to THINK AND DREAM BIG and require developers to invest in the quality of life of their community so it hurts at least a little! The City is doing some WONDERFUL work for our citizens. Kendall Yards, the skate ribbon, the lower waterfront park are fantastic achievements. Please keep going, and go BIGGER! Spokane is a wonderful, beautiful city with so much to offer. This is an opportunity to make a statement of confidence in everything this fine city has to offer! We can do it! Otherwise, developments like this, and the developers who create them, are a net negative, a drain on resources and they're part of the problem, like the Davenport Grand Hotel and Davenport Hotel Tower projects which are brutally obtrusive, even offensive in their laziness and mediocrity - this was an example of thinking "small" because they didn't think Spokane was big enough, sophisticated enough, or worth any bold thinking. "It's just Spokane. Let's keep it realistic." Ugh. Please think of ways to make this project an act of love for this city. Not just a transaction for developers. Thank you! | Rocky Hessler |
| 91 | Very impressed with this presentation and thoughtful consideration of the alternatives. The charm of downtown is the variety of architecture and the relatable human scale. Large towers would not add to the ambiance and special charm of downtown Spokane and Riverfront Park. We also want to be careful not to overbuild retail that could leave a lot of empty space in challenging economic times. | Glenn and Lori Williams |
| 92 | Again, who are these people coming into Spokane and tearing it all apart? What are they doing to this beautiful city? This city cold have been a quaint, interesting place to visit. Instead they have made it a discombobulated mess. Those of us who have been here for many years at appalled by removal of our iconic buildings. Money spent here could have been better used in an other direction, in many, many cases. | |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 93 | The Plan Commission needs to reconsider: 18,000 sq ft is grotesque not just for the park but for the cityscape. Even the middle route is too much building UP on the Blvd. Make it people friendly! Keep 11,000 | Carol Ellis |
| 94 | I do not like any of the new plans. They will not only cast a shadow across the park, they will also make the area near the park feel less open and more claustrophobic. I am also not convinced by the developers' argument that we need much greater density and that we need to develop the parking lots. One of the great things about Spokane is its accessible downtown--you can actually park there. Taking away parking while adding density will work against that, and I'm not convinced that is actually in the best interests of Spokane residents. | Amy Teel |
| 95 | If you put those buildings in you will ruin downtown. | Michele Smith |
| 96 | Leave existing restrictions in place. | Kelly Lordan |
| 97 | In general, I'd love to see surface parking lots downtown redeveloped. I strongly feel the 18,750 sq ft option is too blocky for this location; it would obscure light and sight lines too much. I'd rather see taller towers with more slender profiles on this site. Also, please prevent developers from creating tower bases that present a solid flat wall all the way to the sidewalk. Any permit should stipulate that base profile be softened with setbacks and opening that ease the transition between public open space and private commercial enclosure. I feel this is especially important for this location, since it's adjacent to Riverfront Park. I'd strongly recommend looking to Toronto's Guidelines at https://www.toronto.ca/legdocs/mmis/2013/pg/bgrd/backgroundfile-57177.pdf | Grant Holloway |
| 98 | Don't do it. Your initial statement says property owners/investors find it "onerous" to not increase the building height. I find it onerous if you do. Investors/developers have too much control over what is being built in our city. | Rita Conner |
| 99 | If vacant parking lots are converted to new buildings, ample parking should be incorporated in to the new building design. | Craig Bjorklund |
| 100 | The public spoke on this topic years ago and there is no reason to change these rules. The property owners are claiming 'excessive' regulation but want to impinge on the surrounding area. They wish to take from the public for their own profit and there is no benefit to the public. The park has made those properties vastly more valuable for nearly all likely uses. There is no need to go further. There is no right to a profit. Businesses have the right to try to earn profits. Claiming any regulation is excessive is placing ones judgement and profit above the public's deliberative process. Similarly property rights are not all encompassing. Development is not always good and not always well done. Proper design would not detract from the park it would augment it and THAT is whats best for the city. | |
| 101 | Current regulations allow some development without impacting Riverfront Park - the park is more important than high-rise buildings. | Ken & Kay Savitz |
| 102 | What is the nature of the hotel/apartment needs downtown? If trying for higher end apartments/condos then the 100 foot space between towers makes more sense. | Shirley Dicus |
| 103 | I would need further information to be able answer questions 14 and 16 | |
| 104 | There are other properties downtown that will have not effect on making the park a cold shadowy zone. Build eyesores there. Buildup of skyline across from the park will benefit a few developers and no one else. | Kevin Miller |
| 105 | Please concentrate on the serious parking problems,a major reason why mot people and myself will not go downtown. Around the Fox there is no parking that is not private. For disabled persons such as myself I can not walk very far and parking to go to an event at the Fox is, there is none because it is all private lots you can not park in. Do something about that problem. Parking is the main reason I will not go downtown. | |
| 106 | I believe that optimizing for letting sunlight through the street is best, there is already a lot of shade in that area from the existing buildings. | Dan Wilson |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 107 | With the substantial amount of vacant and/or seemingly abandoned buildings throughout the downtown corridor, I (as both resident and business owner) am extremely confused why that issue isn't being addressed (or if it is, why it isn't in the public eye). As a life long Spokaneite, my concern is that there are countless vacant buildings or areas that could be developed first (the most obvious being the skywalk/crescent court), as opposed to just making more buildings. Obviously, as the city continues to grow at the rate we are at, there will eventually be a need to identify more development opportunities. However, in the meantime, why not rehab and redevelop existing structures to utilize the square footage that has already been developed instead of further cluttering our beautiful cityscape. | Billy Jones |
| 108 | Keep shadows off of the park! Don't ruin our greatest asset, enjoyed by thousands every year, just to appeal to a handful of developers or a handful of retailers or a few hundred residents. This space belongs to all of us. | Lee Powers |
| 109 | In regards to Question 14, I would prefer to see more space allocated to residential uses than to hotel uses. Residents living in the downtown area are the people who will make the downtown area alive and vibrant during both weekdays and weekends. Hotels are housing for transients (that is NOT a pejorative but describes who uses hotels), individuals who do not care if there are grocery stores, delis, libraries or other amenities in the downtown area that will make living there an attractive and viable option. And thank you for making it possible to have input to this process...nicely done!! | John Ludders |
| 110 | How did the city let WW get away with building the Grand Hotel with no street level retail? That block facing Main is an underutilized, empty hallway in a prime shopping location. there was a chance to extend/connect the Main Ave shopping experience and was sadly missed. Street Level Retail makes a city what it is. It's the faceforward personality of a neighborhood and must not be overlooked. | |
| 111 | Like question 16, shouldn't there be a % requirement for public art for each building? | Shannon Zaranski |
| 112 | I don't like the idea of building additional tall buildings downtown, particularly next to the park. There are a number of buildings that aren't completely occupied or otherwise not in use - why not renovate them and attract anchor stores and restaurants (like the city did with Apple)? | Chris Barton |
| 113 | The open spaces and parking is needed downtown! We should not build anymore large structures there. | |
| 114 | Please affirm the current stepped regulations. | jack vines |
| 115 | Very concerned ... there is no going back to shapeless, sunfilled park once building are there. I am all for progress and development just not around park. These apartments and condos would only be within pricing of higher income people yet would negatively impact a park that is there for all to enjoy. Everyone pays taxes. Thank you. | |
| 116 | I think sunlight is especially important in the park in winter. On hot summer days shade is welcome, but not at the expense of sun exposure (and snow melt) in cold weather. | John Davies |
| 117 | Parking is already too limited downtown for vehicles over 6'6" eliminating these open parking lots will further reduce availability and prevent people from coming "downtown". Additionally, adding even more shade around the park will make it dark and dreary. Remember Spokane's slogan "Near nature, near perfect"...higher building downtown does not give a "natural" or "perfect" effect. | |
| 118 | Has a study or research of shading in the park been done for the Winter months? The rendering is only for May 1st which is 6 weeks away from the Summer Solstice. How about the location of the ice ribbon and carousel during the winter? | Heather Schelling |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 119 | The park is suffering enough. The trees have been decimated, the grass is being turned to pavement and now you are suggesting shading it too. What happened to our nice field of grass? If you want people to come to the park (non-downtown dwellers), don't get rid of the close surface parking lots. Are you crazy? People need to park a car, not buy a condo. You are making it too expensive to enjoy Riverfront Park. Low to medium wage people will stop coming. Leave the "no-shade" policy alone. Save the sun. Save the trees. Save the grass. Thank you. | |
| 120 | Lumping hotels and residences together is questionable - residents need and will patronize "daily living" businesses - groceries, service businesses, etc. while hotel guests will patronize restaurants, cafes and different types of businesses. I hope there are goals of considering impact to residents vs. guests/visitors - as development in favor of one group may be unfavorable to the other. I am a downtown resident and want to be comfortable, safe and enriched living here. My current concerns are safety and cleanliness in Spokane's current state - these factors need addressing as a foundation for development. I see near-misses EVERY DAY - pedestrian, bicycle and auto - when walking to and from work. I see drug "transactions" nearly every day as well. I dodge groups of people congregating on the street (cigarettes, marijuana, skateboards, open containers, drugs) nearly every day. I hope for sustainable mindful development but also great weight and necessary resources and planning to fundamental essentials of safety and sanitation. | Karin Engstrom |
| 121 | Retail would be great if it can be supported. Have any unbiased research reports been completed on what could be supported (this goes for all property types really)? Empty retail space is a sight for sore eyes and depressing. | |
| 122 | Let the developer do his job. City should stay out of it as much as possible | |
| 123 | When I voted for the levy for Riverfront Park improvements it was with the expectation that the park would be protected from the impact of commercial development, at least to the extent it is now. I believe most people had the same priority and that our intention was not to provide a more valuable environment for intensive commercial development. Now that the city got their money the rules are changing in order to favor business interests over citizens. The city is acting in bad faith with this proposal. | Matt Shelley |
| 124 | I'd like to see more underground parking rather than above. | |
| 125 | Driving into Spokane is refreshingly varied in building heights compared to other cities which have an oppressingly tall feel. Buildings should be graduated in height particularly at the edge of parks to not overwhelm the parks but also to invite people into downtown not cut them off from it. Is it about making money for the developers or keeping Spokane a pleasing unique city as it develops? Our legacy has always been the parks! When did we think literally overshadowing them is the way we want our town to grow. RF park is jewel with a lot of money just put into it. Please think of ways to frame it and feature it vs wall it in and overshadow it. | |
| 126 | Just let them build what they want. Get over it! It's good for the city. | |
| 127 | Please do shade our park. If you need a sample of unintended consequences look at Central Park in NY City & not all of the building towers that shade the Park are used. | Melissa Madsen |
| 128 | Our family looks forward to events at the Riverfront park, and shopping/eating out/movies at the Square regularly in that area of the downtown. Lack of sunlight along the park would be a detriment to it's attractiveness to tourists. After last winter, I can't imagine more shade in that area, which would result in prolonging icy streets and snow. If that happens, count me out in visiting during the Winters! | |
| 129 | You can't just get rid of the parking. Basement parking should be required on all new buildings. | |
| 130 | Please still allow developers to follow the old standard (with steps and more sq ft) if they would like. | Dana Brimmer |
| 131 | Please don't allow any more ugly behemoths like Davenport Grand! | Johanna Yegge |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 132 | Development on vacant lots is important but current parking is scant and maintains the current parking lots is very important! | |
| 133 | I saw one drawing that showed consecutive building floors stair-stepped; however, I did not see that as one of the options above. The look of that building was more appealing and did not negatively block the sun or - from what I could tell from the drawing - the ability to see some of the Park as people approached downtown. | Marti Breneman |
| 134 | City needs to fix/improve existing problems such as crumbling infrastructure, crime, homelessness first | |
| 135 | I would prefer to see upgrade to existing buildings or new buildings to replace old ones RATHER than fill the current parking lots with buildings. Parking in Spokane is easy--if it gets harder from less lots, I won't visit as often. | |
| 136 | Public spaces are for all of us. Casting them in winter shadows is a taking from all of us for the benefit of a few developers. | |
| 137 | Question 10 is really misleading. "Development" doesn't have to mean buildings, concrete structures etc but that is implied here. The lots could be garden spaces, bike parking lots, co-op stores, or a market like Philadelphia's Reading Terminal etc. Of course a developed and vibrant downtown is beneficial for the city, but packing it with sky-scraper hotels and/or apartment buildings etc is not the type of development that creates a unique and vibrant downtown. I do not think code should be modified from current, because more shadows on the park make it cold and un-usable for more of the year, as well, giant buildings right at the edge of the park block viewing into the vibrancy of downtown that should draw people from the park into the city. The renderings of the max sizes are really garish and ugly, and most likely some company will build as big and they possibly could. Keep it low but potentially allow an exception for exceptional proposals -- like a sky restaurant etc, not for a boiler plate apartment building.. | Deb Ritter |
| 138 | what considerations has the city taken into account for large events such as hoopfest and blooms day? Also I encourage you to keep the Park at the top of the list for in planning. There are many people who spend time in downtown simply because of the park and I'd hate to see this gem negativity effected. | |
| 139 | The City needs to promote a sunny atmosphere at the park. Shadows, especially in winter, will promote more hazardous conditions because ice won't melt as fast in shade. Shade will cast gloominess over large portions of the park. The towering buildings will loom over the park, decreasing the feeling of roominess and being out in nature. | Anita Lewis |
| 140 | The city of Spokane seems to be determined to make our city ugly. Kendall yards, the new building for recently homeless, the hideous new building hiding our beautiful carousel, the runners in the park statues, the designs are awful and depressing. Not sure if we want to go there for anything anymore. Blocking out more sunlight would probably be the last straw. Pig-out isn't that great. | |
| 141 | As much as we like to see the Downtown develop, it is important to keep the River "free-flowing" not turning it into channel-looking river by building too close and too high around its banks. It is a heart of this city and its ecological needs have to be taken into consideration. | Dubravka Martincic |
| 142 | Riverfront Park remains a jewel of beauty that sets Spokane apart. Please, no shade. No more ugly giant fancy hotels or ritzy apartments that make developers rich and our skyline cluttered. | |
| 143 | One more thing to consider: the view from top of the hill south of the downtown area. I've heard comments from several people (I'm included) about how the Grand Hotel ruined the sight line. So I'd hate to see buildings taller than that. Also, an emphasis on adding parking would be great. | Julie deBurgos |
| 144 | if you build retail on the first floor . Please provide adjacent parking tower for visitors | |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 145 | too many residential bldgs. means a lot of congestion; too many hotels means the core of the city is for tourists, but not residents. The charm of the downtown is accessibility, and the lovely park, centennial trail, and river, and not feeling hemmed in by huge tall buildings. Space is beautiful. Kendall Yard was great until they recently began to build too many apartments -too congested. Don't lose Spokane's character and wonderful architecture with crowded steel and glass buildings shading the park. | |
| 146 | How about the Grand Hotel? A building with only one entrance for pedestrians and that is in a service drive filled with motorcar traffic. Where is the retail in ... or even the access to ... that monstrosity? | Wayne Kraft |
| 147 | I think the proposed development of Riverside is insane. Bike lanes and another transit station? What's wrong with the present bus station except you took the police out? | Susan Harms |
| 148 | I think the downtown area should be filled. It should be very high density. If the city of Spokane wants a vibrant city it should focus of residential and business buildings in the DT core. Forget all those open parking lots! Build. I am pro density pro urban life, | Andrew Whitver |
| 149 | Give them an inch, they will take a mile. Don't open up our park spaces to corporate development and shade. There is plenty of open spaces for building in the Spokane area, SAVE OUR PARKS | |
| 150 | I believe the standards you currently have in place are correctly designed to protect Riverfront Park. Please do not change them to any of the "new" suggested alternatives. They work for developers but not for the public wanting to use the park. | Kent C. Aggers |
| 151 | There needs to be enough parking for residents and visitors if you are going to take away parking lots. There is already a hard time finding parking, so it makes me not go downtown if it is raining or really cold. Also, it is difficult to figure out the rules/usage of parking meters and parking decks. They all are different, can there be a simpler system or centralization so we only have to remember how to use one system? | |
| 152 | We need more tables and chairs in park near river to sit and have coffee or lunch. Not pick nick benches but round tables with chairs. Also it would be nice to have dining along the river with cocktails. It's hard enough to see the river without actually crossing it. It is to beautiful to have hidden by tall buildings. | Kathleen Low |
| 153 | It seems as though some developers or land owners already have plans for this area and will most likely get their way. I'm not entirely opposed to development downtown; I think it's generally a good thing. However, I don't want to lose the character and charm of downtown Spokane (we don't want to be like a NYC or Chic, etc.). Eating up park space in that area, due to the over sized carousel building an ice ribbon, is already changing the feel and character of that area (more buildings and less park space). Spokane is not Seattle. Some historic buildings in Seattle have been completely enveloped by huge buildings. Also, the parking availability, which keeps many from going downtown, will be greatly diminished. | |
| 154 | The graphics used in this survey and in the Review do not show the huge shadow that these buildings south of park will cast in winter. Shade isn't a problem in summer, it can even be an asset. Winter shadows foster icy sidewalks. On a sunny day between Oct and March who would want to walk in the shadow of a building? | Pat Keegan |
| 155 | I think sunlight in the park is critical, but I don't feel like the shadows in the simulation are too extreme. | Anthony Carollo |
| 156 | We need more shopping. While Anthropologie, Free People, and Urban Outfitters have added to the shopping culture downtown, more recognizable brands would add to the growth of the shopping economy. We receive a lot of shoppers from out of town because we are closer than Seattle. Let's dig into that. | |
| 157 | I feel our Riverfront Park should maintain to the largest extent possible the most available direct sunlight to it. I feel it is extremely important to the health, well being, and experiences of visitors there. | |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 158 | We are being VERY shortsighted here. Spokane does not have a Central Square / City Plaza. The Bennet Block and the lot to the east of Stevens are PRIME parcels to develop a Town Square for the city of Spokane. Stevens could easily be realigned to allow for a larger space that would accomodate hardscape areas for gathering, celebrations, important events, etc. The plaza would act as a transition from the downtown core to Riverfront Park. This needs to be further explored before Spokane loses an opportunity permanently. | Grant Keller |
| 159 | Have you taken in traffic congestion, additional heat radiance and wind tunnel effects of this, why is this being considered when the owners of the property already knew of the restrictions when they bought the properties? | |
| 160 | Please don't throw shade on our park. Many other areas of downtown that can and should be developed | Errika |
| 161 | No towers shading the park | |
| 162 | The obvious. Parking. Look at the businesses that rely on those extra parks around both lots. | |
| 163 | We are not Seattle. Riverfront park is the prize Jewel of Spokane and you want to ruin it by putting crappy, ugly high-rises around it. Are you all getting a kick back from this latest scheme? Go lower and put in a year round market not ugly high-rises. | |
| 164 | I agree that buildings over 100 feet should be hotels or residential. However I am totally against building towers of any kind in the locations referenced in this study. Any building in these locations should be limited to 100 feet or shorter. | Deborah Lowery |
| 165 | There are many buildings that could be refurbished. While growth is necessary it should not be at the expense of open, sun filled spaces. | Julie Enyeart |
| 166 | I am concerned about parking. As it is there is not enough downtown especially when there are events. More development on surface lots will reduce parking without the addition of more. | |
| 167 | Your simulations and site made it easy to understand the ideas. Nice work. A model to be emulated. | Dan Kolbet |
| 168 | The most recent residential projects in the downtown core are focusing on rental, but we need condo projects for sale. Ownership brings pride and long term investment DT that rentals just can't achieve. We need to think long term not short term. | Gene Brake |
| 169 | Some shade provides relief from hoop fest sun or other activities. The park has lost of available sun overall. | |
| 170 | Don't shade our park. And no more high rise building with ac units sticking out, please | Erik Nelson |
| 171 | Please include ample parking as well as public transport in these plans. Also consider connecting to existing skywalk system. | Alex Cassano |
| 172 | Preserve the park and limit height s of new construction. Allow taller towers elsewhere that doesn't adversely affect the crown jewel of Spokane. | Chris Eichorst |
| 173 | I don't necessarily see a problem with the parking lots by the park. They help us keep a small-city feel, and they broaden the airy feel of that area of town. I think towers would be better in other parts of the city. | |
| 174 | Build or preserve historic downtown with a first priority being on quality of life for the average citizen, who will be that person on the street, in the parks, etc. | Brent |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 175 | I think it might be good if the side of the building facing the park were to be a bit on the decorative side for those using the park to enjoy. It might help some of the anxiety I have seen from some people of the taller buildings. The main complaint I saw was lack of sun, but when i was watching the simulated shadows, it didnt seem they went that far into the park. I used to work in the park at the bistro (which is rebuilt) next to the carrousel and there were countless times I would have liked a bit more shade in the area. Even later as a patron, shade is nice. My biggest concern would be the block of view of the sky, but could be content if the building were very pleasant to look at. As an aspiring architect, I love buildings, but I also love nature. What about a living wall (ideas easily found by googling living wall) on the side that faced the park? I have seen similar things in other places and they are quite fascinating. I look forward to seeing what the city comes up with for that area. Thank you for allowing public input. | Ashley |
| 176 | In the Sample Development Comparison shown I liked that the Vox building had a shorter base, which to me allowed that open feeling while making the height of the other buildings more acceptable. Comparing this with the other plans there was a huge difference in the feeling of open space while still allowing more building space. Any building built should have to follow a height restriction, whether or not they are residential or hotel. | |
| 177 | An open, sunny park is an essential core asset. It can only be ruined once. Property owners have been aware of this limitation for a very long time. We'll see if the money wins again. | J. Craig Sweat |
| 178 | Why is there such a push to develop only higher end retail spaces & only want to house the affluent! Are you planning on creating an area of people of a certain economic status & the rest can just leave? | |
| 179 | Thank you for the thoughtful approach and excellent simulations. | Andrea Hall |
| 180 | My primary concern is: Street Level Presence - larger buildings can easily feel like impersonal monoliths. Having attractive, friendly, open and accessible street-level occupants can make or break a new development. (believe me: I left Ballard because they couldn't figure that out) | Emily Himmelright |
| 181 | Keep the step back: only affects north strip; allows balconies facing the park; towers can go south of it; allows maximum sun in park. | Charlotte Lamp |
| 182 | Shade will keep the sidewalks in the park icy much longer making walking less enjoyable and much more dangerous. | |
| 183 | Hate the Grand Hotel. Eyesore that blocks views. Don't do more big buildings. | |
| 184 | Keep Downtown Spokane a fun, safe, and beautiful destination for our families and neighbors. | Kerrie Miles |
| 185 | Please do not increase the height limitations. The expression "cast a shadow" means something negative. Why are you considering casting a greater shadow on Riverfront Park? This is our downtown crown jewel, why block off the light from the sky with buildings. Be more creative! The citizens approved a \$64 million revitalization of the park. These proposed building heights do not fit with that revitalization. | Jenifer Priest |
| 186 | I already think that the Davenport Grand has taken over the feeling of being in a park. The sidewalks and entry to the Convention Center and INB seem darker and more closed off due to the blockage of sunlight. I would hate to see this continue down the block. I think it would be more of detracting than an asset. | |
| 187 | Spokane is a city and needs to begin developing like a city to encourage growth and adequate access to housing; however, the city needs to consider how to balance growth in a way that does not exasperate problems of poverty. Because so many resources were taken away from the homeless community and advocates this year, I do have grave concerns about how this project will affect our city's homeless. | |
| 188 | Spokane needs better leadership. Period. | Laura D Bracken |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 189 | Riverfront Park is a priceless gem and NOTHING should be constructed to lessen its beauty and enjoyment. Shadows will take away its warmth and leave fewer picnic spots. Please don't harm the park. Do we really need tall buildings? Seattle we are not nor do we wish to be. | |
| 190 | I really want to thank you folks at City Council for letting the community have input, and I hope that preserving our rich Spokane character is preserved! | Patty Garegnani |
| 191 | Grow! Keep Growing! | Branden Tripon |
| 192 | There are many vacant or store fronts and buildings in downtown. Why not give an indent I've to upgrading and reusing ? | Liz Bowermaster |
| 193 | please do not stifle development. while the protecting the park should be important, we need tax dollars to do that. the only way we can get more tax dollars is by encouraging business development. I'd love to see one building to be exclusively luxury condos/apartments, but don't mandate it, just provide a tax abatement if they the developer does make it exclusively luxury condos/apartments | Eric |
| 194 | The shadow simulation in both January and July would be instructive and more so than just in May. | |
| 195 | Not only should height be considered but Tennant and public parking. Total occupancy of the downtown apartment areas should be considered before allowing new condos to be built. The same goes for hotels. | Virginia Baxter |
| 196 | The reason people want to move here is because it is a livable city. Let's make sure that we think about that as we grow and RESIST the development that would jeopardize our quality of life. | Heidi Gann |
| 197 | I think there should be a requirement for a larger percentage of green space around new buildings. I also think there should be a requirement that if a parking lot is being build over, public parking needs to be built into or under the new structure. | |
| 198 | My main concern is who will use this space and where will we park? If Riverfront Park is shaded, it will become less attractive. There are few restaurants in the park and none along the river. This limits use. Retail use implies time limited use. Parking downtown is horrible: expensive, limited availability and a deterrent to citizens visiting the city core. | |
| 199 | The buildings that have a view of the park now will loose their view. That would be very sad for all of us that love the view. | |
| 200 | I am horrified that the City would even consider bowing to developer pressure to shade the Riverfront park with tower buildings. Just so wrong. | |
| 201 | I agree with the proposal for the maximum floor plate as long as other considerations are adequately addressed. 1. The nature of the first floor development the most important consideration in this discussion. Activation of the ground floor level space is more important than restrictions on the use of the upper floor space. The Davenport Grand is a case in point. The very limited pedestrian access on that entire block has created a poor streetscape and a deterrent to an active environment. It would be a shame if the same streetscape defines the borders of our most precious asset -- Riverfront Park. 2. The potential increased density of the 18,750 option is a good thing as long as the second-order effects such as the need for parking and alternative access to the downtown core are addressed. Replacing surface level parking lots with new buildings that contain ground floor parking garages, on arguably the most scenic block-faces of our downtown, would be a tragedy. I would like to understand how overall parking and transit strategy will support this increased density. This holistic parking/transit strategy is important not only to this development, but also for overall growth in the downtown core and the north bank. | Steve Blaska |
| 202 | see me coordinating email | John |
| 203 | The Grand Hotel is an eyesore that cuts off downtown from the river. The last thing Spokane needs is two more blocks of that. This city is not so desperate for development that it needs to come at any price. | |
| 204 | I think buildings should be allowed much higher | Phillip Mazurik |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 205 | Please attract more family friendly activities to DT. Such as Dave and Busters, Top Golf, Rain Forest Cafe, etc. Connect more of the building with sky walks to give the seniors a place to walk during the winter and spend money. | |
| 206 | Leave the codes the weay they are | |
| 207 | The parks are what convinced us to move to Spokane almost 30 years ago. The Grand Hotel was a big disappointment architecturally. It does nothing to improve the park or Convention Center. Please don't surround the park with more uninteresting tall building that block the sun and ruin the natural beauty of Spokane. | Janlw |
| 208 | Because downtown Spokane is situated in a river valley, the view towards the South Hill from the park and also from the South Hill towards the park would not be improved by skyscrapers. Regulations should be aimed at increasing green space downtown, or should require new construction to be completed in such a way as to allow light to shine through the structure (e.g. using non-tinted glass in upper stories.) Thank you! | Angela Lehman |
| 209 | Build out not up. There is no reason to cram so much into downtown. It will just make those who live further out less likely to go there. Look at the mall. Several stores have closed due to lack of business. Why make it worse. | |
| 210 | I am a millennial, so i know my opinion might not mean as much to the city council as older property holders in the city. However, as a millennial, i can tell the city council first hand that what attracts me to any city is the scope and magnitude of the downtown. If Spokane improves and builds up its downtown, the city will no doubt see growth, especially with the young demographic, which will also help the city overall. I believe these height restrictions should be lifted, and developers be allowed to build more buildings in our fair city. A better downtown means a better, more productive city! | Jordan Wolfson |
| 211 | I would like to know why the city feels it is necessary to box the people out of the river area and park ? Right now there is an openness around the park that is rapidly being closed off. It reminds me of the Chicago river that is lined by towers and streets, concrete. With the building of the convention center and that Condo by the Flour Mill you have allowed people to be barred from the rivers' edge except if they can walk or bike to certain areas. Those of us who are less mobile cannot access the river bank. I don't want this city to be solid concrete and a place that keeps many people away from places where they can enjoy the out doors. Views in and of the city are important too. They are being cut off to many people. | Ms K Riley |
| 212 | The buildings along the park should be lower in height to allow for sun and allow for a conformity with the older buildings they would stand along. There is enough areas in the downtown area that can and need to be developed for retail, hotels and residential areas. | Jennifer Ingerson |
| 213 | Spokane core needs higher high rise buildings. | David |
| 214 | The park and the river are only an asset to downtown to the extent that they are visible and easily available to people. Having a wall of high rise barriers to the river is counterproductive. There should be no towers. There is no need for development higher than the buildings that are already along the river. | |
| 215 | Prefer current rule | |
| 216 | Do not approve anything beyond half the height of the Grand Hotel. It suffocates the park and is ugly as hell. | |
| 217 | I believe maintaining the maximum sunlight possible in Riverfront Park is more important than developers making a bigger profit. The park is a jewel for the city. It is a major draw for both residents and tourists and would be a travesty if it were to become more shaded than it is. Once you build a building too tall you can't go back. There are other more appropriate surface lots still available downtown for taller buildings, just as long as they aren't right next to the park. | |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 218 | The code should be amended to preserve open space adjacent to the river and the park from the massive structures allowed in the amendment. It is not about shadows in the park. It's about the mass of building structures that would dominate the physical space of the area. That sense of open space belongs to the citizens. Do not sell it open space to developers. Buyers knew the restrictions when they purchased the property. They can make their money farther back in the downtown core. | Suzanne Tresko |
| 219 | Mixed use downtown will keep the city alive. It will help revive the vitality of Spokane, and encourage people to live, work and play there. It will make it much safer and more attractive to residents and visitors alike. However, we need reasonably priced and ample parking. If there's an event downtown now, I'm reluctant to go. Parking is expensive, hard to find, and sometimes it's unsafe to get to the venue from the parking area, even in the daylight. | Patty Stewart |
| 220 | Really stupid fucking idea. | |
| 221 | Please stop getting rid of the parking lots. There's not enough parking in the proposed area, especially during events. I also think the buildings being as tall as the simulations looks awful & looks too crowded. | Alice Davies |
| 222 | Riverfront park is the center of the city and shouldn't be blocked with big buildings. There is plenty of space downtown for skyscrapers not next to the park | |
| 223 | The idea of development, without any sense of what might be the types of development, leaves me a bit perplexed. There are some stores that are beneficial. There are some growing businesses that would be beneficial. And there others that I just have zero interest in supporting. But Riverfront Park is HUD, in one of the things I always show to people who come to town. Nobody cares about another big city. But they do care about a city that prizes it's outdoor space and quality of life. I'm also still super mad about the cost of the garage at the mall, so if the development in any way is corrupt and causes taxpayers increased harm, then I really don't want it. | |
| 224 | I would like to see more patio style restaurants along the river. I think the current convention center was a mistake. Unless, it was more open for public seating and enjoying the river. | |
| 225 | In light of the Las Vegas shooting, safety in allowing hotel?living space looking down on the open park should be considered. | |
| 226 | Riverfront Park is unique. Don't jeopardize its 'openess' by creating an urban jungle of building all around the park. There are plenty of other sites, old buildings which can be utilized before taking away more downtown parking. | |
| 227 | Once these buildings are up, they won't come back down. It is imperative that we make wise decisions now based on future growth and development. The city of Spokane needs to greatly value its parks and green spaces that are constantly getting chipped away at. This park is one of the major beautiful areas in downtown Spokane - let's keep it that way. The park alone is a draw for residents and tourists, and if the park diminishes in quality then people will no longer go there and frequent the shops. We need to protect our park! | |
| 228 | Goodale and Barbieri have been enriching themselves at Spokane's expense for over half a century. Please do not be led by their pressure. Make the city vibrant by ignoring Seattle highrise "wanna-be's," providing free short-term parking subsidized by businesses who want customers to come downtown, and getting the scary street people out of the center of our treasured city. It's VERY SIMPLE, people!! | |
| 229 | Bad idea to allow these tall buildings. 4,5,6 stories is enough. | |
| 230 | I'm very grateful for the simulations, but they show the sun at almost summer maximum. The shadows will lengthen in almost all of the rest of the year. Please limit the size, height, etc to maximize sunlight on the part most of the year. | Martin Wells |
| 231 | In addition to apartments or hotel, office space (think administration purpose) would be nice too. | |
| 232 | Spokane would benefit from more shopping, restaurants and modern bars. People like the city views so build it up and add modern things to do. If you add more residential units, you need to add more things to do. | |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 233 | Consideration should be given to ensure housing units are available to the entire spectrum of residents, children, young people, seniors, people with disabilities, focus on price ranges affordable to median income families, and also have options for low and high income people. | Jefferson Coulter |
| 234 | River front park is huge. Are we really going to limit the amount of buildings we put across the street because it will create shade in 10% of the park? Look at Central Park in New York. There are huge buildings surrounding them and it is still a beautiful park. And in mid August when it is 100degrees that shade might be nice | |
| 235 | For business and traffic, putting too much into a small area creates greater strain on roads for commuting, parking headaches, and then worsening air quality. Spreading the building into more outlying areas would help in all the above. | |
| 236 | I think the exterior architecture designs should be required to resemble the other old buildings in Spokane with some ornate design elements to beautify Spokane and prevent the construction of plain boxes and to complement the beautiful park. | Rebecca |
| 237 | Additional retail downtown is always a good thing as long as there is adequate and affordable parking available. I agree that development downtown should foster increased activity for residential as well as commercial and business use, adding a lively and vibrant atmosphere to our city. However, it needs to be done with great care and consideration not to take away the allure of the park and enjoying the outdoors in the sun. Spokane has less than 6 months of warm sunny weather and having huge buildings that cast bigger shadows over the central downtown attraction of our city can ultimately keep people away. As far as building residential, 100 feet apart is optimal for increasing privacy and decreasing sound and noise. For question number 11, I chose what appeared to be the smallest set of towers because the shadow simulation appeared to show less sunlight covering the park during the day. Hopefully I viewed it correctly. | Donna Ledbetter |
| 238 | This plan should be shelved forever and the couple landholders be made to work within zoning that adds zero shade to the park. The taking of a public asset for private gain should be resisted at all levels of city government. We are not obligated to appease these so called stakeholders for their bottom lines. If there is not a no vote, then these working groups are staged fiddlers who masquerade in the public and parks interest. Enough of this already and build up on lots away from the park. | |
| 239 | Parking must be included in these buildings. I regularly use these flat top lots and you are taking away much needed downtown parking, especially for tall vehicles that don't fit in garages! | |
| 240 | The shadow simulations show the situation in May. Most of the year will be shadier. And colder. If we were shown shadows during the winter, more people would not like these ideas. The designs should do everything possible to maintain sunlight and the view of distant slivers of sky. Perhaps 75-100 ft. apart all the way to the ground, with more room for peds. The problem already with hanging out downtown is that it's cold for people to just be there on the streets between the tall buildings. Not enough setbacks from the street. It's not made for strolling and hanging out. Part of that's our climate, but part is the street design. Personally, if buildings go up in this location at all I think it will be a real shame. There are plenty of less-obtrusive places to house people and stores. | Anita Eccles |
| 241 | Spokane would do well to preserve historic structures, keep buildings to a moderate height, and avoid high rise construction. -consider how appealing and human scaled the old city of Paris is like. If you want high rise development, go to Seattle and see what has happened there - it has become an overcrowded, expensive, traffic choked high rise city. The only people benefitting from that are land developers and a city hungry for increased tax revenue. Don't fall victim to temptation and take this first innocent steps that will lead the same direction that Seattle went. | Grant Spearman |
| 242 | I think we should keep the current code in place. | Daniel Sells |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 243 | Design aesthetics are extremely important for these spaces due to view from park. Example: Davenport Grand is to much like a concrete wall. Variety of building appearance will help city look fresh and innovative. | R. Ricco |
| 244 | I'd like to see a focus family- and animal-friendly spaces that encourage socialization. I think the spaces should be kept fairly open to encourage community events that bring us together and could also be used to potentially attract events. | |
| 245 | Do not allow any shade to be cast across Riverfront Park by increasing building height. There are plenty of other places for higher development downtown that are further back from the park that allow greater height of buildings. I want to see a thriving downtown area, but with that the City needs more cheap & free parking available and a decent public transport system that includes light rail. | |
| 246 | I think the current code should be kept in place. | Christina Woytalewicz |
| 247 | Retail such as amenities to downtown residents perhaps. Retail is suffering how much more stores we need? | Stella Debarros |
| 248 | If a project will increase traffic flow and additional wear on existing roadways, require the developer to bring the infrastructure to the necessary standards, in a timely manner, before issuing a certificate of occupancy. I have watch too many of these Limited Partnerships and LLC's disappear and the taxpayer is left holding the expense. | |
| 249 | vertical limitations will limit the ability to develop for the future, so the more flexibility given the more likely the city is to see development take place on these vacant lots. Strongly support | Neil Muller |
| 250 | I think it's more important how the ground floor uses functionally interact with the street and sidewalk adjacent rather than the City dictate what the use should be (eg retail). | |
| 251 | One of your questions is if Riverfront Park is vital to the City and Downtown. I believe that those are two separate questions and it would have been nice to present different viewpoints for those. | Stacey Selcho |
| 252 | Retail provides nice activation of the street, but I get concerned about requiring 100% retail. Maybe consider 50% retail as an alternative. | Dana Harbaugh |
| 253 | Let the free market dictate the use of this prime property. The City should just get out of the way. | |
| 254 | Downtown is starting to gain more residential density on many levels of socioeconomic scales. Downtown growth should be fostered to allow for significant growth downtown and the additional height along Spokane Falls Blvd. would help foster that development. | John Eckert |
| 255 | Increasing development in surface parking lots is extremely important to me. One of the biggest tragedies of Spokane's development over the last 70 years has been the loss of historic buildings to parking lots. I think the amount of historic buildings we still have downtown makes us unique as a city and is something that has kept me living in Spokane and working downtown. While we can't bring back many of those lost buildings, redeveloping those parking lots to increase density downtown will improve the city's economy and make it a more enticing place to live. Also I'd like to add that looking at other cities' urban parks as a reference to sunlight might be needed. I think the *idea* of having shadows puts people off, but in person they don't have as much of an impact. It also might help benefit the ice ribbon staying cold in the late winter! | |
| 256 | I hope that any development downtown includes mixed income residential development. Don't take away from the park just so rich people can live downtown. Aside from the shadows, these buildings just don't look good (the Davenport Grand is a great example of an ugly and tall building that blocks the skyline). | |
| 257 | After opening up the downtown area for Expo 74, it would be a mistake to allow tall buildings to once again obstruct visual access to the area. Not only are the shadows offensive, the view from the view from the north side is an ugly "wall". | Loretta Fenrich |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 258 | When you're developing downtown, I would like to see the closed and abandoned businesses put to use. I would also like more resources for the homeless people down there so that they aren't just standing around in the park. | |
| 259 | I don't think a concrete downtown is the best for Spokane. It takes away from the beauty of the City. | |
| 260 | I think that the original plan to keep sunlight in the park should be stuck to. I am all for continuing to develop our city and love everything that has been happening, but adding these ginormous buildings right next to our beautiful park and blocking the Spokane city skyline that we know and love seems extreme. You'd be cutting off a great view of Spokane that we see from the park with these huge towers, plus taking away sunlight. These buildings in another part of town would be amazing, but right next to our park should not be the place. I think we need to protect these lots and develop them in smarter ways, that still keeps Spokane's charm for those of us who already love it the way it is. | Lauren Schubring |
| 261 | For question #11, why did you not give me the option to say that I preferred the simulation that showed the buildings that comply with the current code? That was actually the footprint I preferred. Thank you for soliciting my opinion! | Victoria Van Inwegen |
| 262 | We don't need to become Seattle. It will ruin our air, land and water. Try working on the inner city neighborhoods. Ash and Maple are a major corridors and an embarrassment to the city. Clean up the inner city ghettos. | Lori Raney |
| 263 | Maintaining the open spaces and sunlight in the downtown area is extremely important to a healthy and vibrant Downtown area. Over developing this area would destroy the beauty that is Spokane. | Colleen McCalip |
| 264 | Aren't "brick and mortar" retail stores struggling and slowly dying? I wonder if the 50% retail figure is too high. More flexibility might be needed. | Ben Taylor |
| 265 | Keeping the jewel of Riverfront Park free from shadows, over commercialization, etc. should be the top priority! Developers who are lucky enough to build on that property will be able to deal with those parameters...they are just being greedy! Thanks for the chance to leave input. I hope it's not just for show. | Dawn Holladay |
| 266 | This increase in height request continually gets put back on the table. I was a Plan Commissioner for 10 years and we reviewed this more than once. The Comprehensive Plan is clear about not allowing shadowing of any part of Riverfront Park. Developer's interest in making more money should not trump the Comprehensive Plan nor compromise our most important downtown asset. Not ever. | Karen Byrd |
| 267 | Although the base of buildings should be retail, most brick and mortar stores are closing. What other options are available to create a lively downtown where people actually walk around. I think the homeless situation needs to be addressed if you are looking to increase residential population. | |
| 268 | 18,750 sq ft is too big! 14,000 would be okay but I honestly think 11,000 is best for the park and best for Spokane. | Haili |
| 269 | We stand by the runners every year for the StPatrick's Day Parade because it is in the sun. All areas of the park should be in the sun year round and never should be in shade because of tall buildings. These developers need to get real and work within the current codes. | |
| 270 | I wonder if we are being held hostage by developers who claim they won't/can't develop our wonderful city unless we give up our ideals. I wonder what the onerous hardship actually is? It sounds like we won't get any "development" without plunging the "gem" of the city into darkness. You show three tower options and then pick the biggest/closest one. Do we really have options? A vibrant downtown is desirable and hopefully we can have beauty and livability included in the development plans. Thank you for the survey. | |
| 271 | Quit restricting river view/access to the wealthy | |
| 272 | Let's build this city! | Greg Marks |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 273 | I do agree with having an emphasis on developing high density residential. If we also can promote affordable high density commercial development as well and encourage companies to put their corporate offices here in downtown Spokane, we may see greater vitalization with professionals who wish to work and live downtown. | Randy McGlenn II |
| 274 | I feel strongly that increasing the shadows in the Park is a mistake. As development increases, Riverfront Park will become more and more important to positive mental health of the residents of those proposed new buildings. Besides preserving sunlight, the tall buildings looming overhead will feel oppressive. The original statement in the Downtown Plan is correct. Short term profits for a few will diminish the intrinsic value of the park to the entire community. Thank you for the opportunity to comment on this. | |
| 275 | I like this approach baseplate sizing restrictions as a compromise between the need to encourage residential downtown development and maintaining the integrity of the park. I like the smallest building sqft because it does the best job of keeping the park free of shade encroachment. The largest just feel too imposing in the simulations. Thabksyou for creating this website. It is very informative and helps me understand the the impact of the proposals. | Meredith Gilstrap |
| 276 | I would like to see the city continue to develop the downtown area while maintaining as much of the green spaces as possible. Parks are a vital part of a city and effort should be taken to ensure they remain usable and as natural as possible. I do think that some amount of shading is acceptable, but it should be as "porous" as possible to minimize the impact. I also think all new or renovated buildings should be strictly mixed use with a strong preference for residential. Having more housing in or near downtown will bring more business and be beneficial to city revenue. Having the ground floor be predominantly retail/restaurants is also important as they impact the city's character. Lifeless office space on the ground has a negative impact on the city. | |
| 277 | Our current downtown is a jewel! There is an airy quality and you can see. I would strongly urge you to limit anymore building along the river, focus expansion and development further north and south. These areas are falling to ruin and there are existing buildings that can be rescued and renovated | Katie Droter |
| 278 | I think for housing, the size/height of Apartments/condos in Kendall Yards would be much less of an eyesore. What an awful obstruction to the view of downtown as you head south for even more ugly high rises to go up. The Davenport Grand was bad enough, this simulation demonstrates the aesthetic issues with allowing more towers right on the park, but also the functional problems of shadows and reduced sun exposure on our lovely (and newly remodeled, very expensive) RFP. | |
| 279 | Downtown needs to be developed without sacrificing the beautiful park, or parking. Spokane does not have the public transportation to support no parking. | |
| 280 | the park has been at increased risk of being "walled in" for some time now with past and present developments. That's unacceptable. The park is the gem of the city and should be treated that way for all. Builders are getting their way and monopolizing the river gorge vistas and denying those same views to the public. That has to stop before the entire downtown gorge area is totally walled off from public use and viewing. | |
| 281 | Your simulation video was in May. I would like to see the same simulation in late August when the shadow are longer and the sun is lower. Also how will this effect the ice build up in the winter on the road.? | Jim McLefresh |
| 282 | If you want people to live downtown you need to first address their needs safety, parking, close to grocery markets and after 5pm activities. It's not safe after 8. Parking is limited after 8. The only grocery are mostly booze joints and not safe to go to otherwise closest is brown addition or fresh market. Downtown is virtually dead after 8 except the bars and then it becomes unsafe. | |
| 283 | The current code should not be changed. The Grand looks pretty bad and we don't need a couple more of those next door. | |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 284 | Our park is so special. Limit the size of the buildings surrounding it. It is the heart of our city. | Mary Hughes |
| 285 | This was very informative and well-presented. Kudos to the person or people who put it together. I think affordable, mixed residential development downtown is really important to the growth of the city. | |
| 286 | Reading between the lines, it sounds like the goal is to build apartments and hotel towers with premium park/river views. However, it would be nice to place more of an emphasis on the entire Spokane community. Not just those that would be visiting or living in the towers. With all of the other available places downtown to build towering buildings, why can't we develop those spaces...and when there are no more available to develop, then turn our attention back to these areas along Spokane Falls Blvd? Just a thought. I love development, and I love the park. I don't think we need to disrupt the experience at the park (especially since we are paying to redevelop it). Thank you for seriously considering this feedback. | |
| 287 | I am curious about wintertime shadows into Riverfront Park and the impact that would have on snow and ice. As a pedestrian I am acutely aware of the impact that building shadows have on sidewalk conditions and am concerned that taller buildings would make it even more difficult to enjoy the park in the winter. | |
| 288 | I strongly agree with the proposal to prioritize retail at street level, assuming that that also includes restaurants. Shops and restaurants encourage a vibrant streetscape with lots of activity. This is much less true of offices. | |
| 289 | I hate what the Davenport Grand looks like and resent the way it blocks the view. I would not be in favor of anything that affects the sunlight of the park | |
| 290 | People are going to complain, but it's important to remember that those complainers are typically jobless losers with zero interest in economic development. They're probably also too stupid to read the entire proposal or understand what it actually means. Build as big as you can while keeping as much sunlight hitting the park and everything will be all good. | |
| 291 | I've had 3 out of town visitors in the last year and all commented on how nice the downtown is becoming and how beautiful the park is. | David Noonan |
| 292 | Keep up the great work - this is awesome! | |
| 293 | The cost of parking coupled with the limited access to anything is making downtown harder to enjoy. We are dumping money into budgets that cannot be followed leaving more need for money and less ability to enjoy our beautiful city at a cost that everyone can enjoy. | |
| 294 | It's imperative to prevent shadows on Riverfront Park--including in winter. The impact of shadows in winter would be significantly greater than your simulation of May 1 shadows. If large building blocks are allowed, like the Davenport Grand, only taller, the park will be in shadow all winter long. Based on your simulations, it looks like some of the largest built or planned buildings would be no smaller than the 11,000 sf floor plate currently allowed. Why change? The first 10 floors will have 450,000 sf already. If developers want to build the Empire State Building, there are plenty of empty blocks not adjacent to the park. | Chris Kelly |
| 295 | If the buildings built were stair-stepped like in the first rendering, that would provide a great opportunity to have terrace outdoor patio restaurants overlooking the Park on the lower levels, and for condos/apartments/hotel rooms on upper levels as well. | |
| 296 | Ground floor being open to public and inviting is critical to success of downtown.... | |
| 297 | I do not like this project, the money deserves to go elsewhere. For example, education. | |
| 298 | Concentrate retail to create a critical mass | |
| 299 | While I agree that sunshine and minimizing shadows in Riverfront Park is desirable, I don't feel that any of these proposals significantly impacts sunlight in the park. It only affects a small amount of the southern edge of the park. | |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 300 | Living downtown there is a lack of affordable parking options, there already aren't enough all day meters dedicated to residential parking permits in the Riverside neighborhood. I agree with getting rid of surface lots, but where are all these new residents supposed to park? Will these towers contain underground parking garages? While it would be great if we had everything we needed downtown so that a car wasn't necessary, Spokane is still so sprawling that a car is almost necessary. | Cole Kelly |
| 301 | PRESERVE THE PARK! With grass and trees. Quit trying to pave the whole thing. Save the sun. Limit the tower shading. You want people to have a picnic, read a book and play with their kids or are you just worried about making money? | |
| 302 | The time I spend in Riverfront Park and downtown varies by season. The better the weather, the more I'm there. The choices you provided didn't allow me to reflect that. | David Troyke |
| 303 | It is vital that affordable housing be available downtown. We have an urgent need for housing in view of the expanding homeless population in our city. | Donna |
| 304 | I think that huge, monolithic buildings directly across the street from Riverfront Park are a terrible idea. River Park Square, the INB Center and the Davenport Grand already cut visual space between the South and North Hills and the heart of our city: the river and Riverfront Park. Huge, tall, monolithic buildings on the little open space that is left on Spokane Falls Blvd would choke the visual breathing space between existing downtown buildings and the park and lose the feeling that the park and river flow naturally into/from downtown. It would feel like the park and river were cut off from the rest of the city by big walls. One of the things we love about our view from the North Hill into downtown is the visual open space between the river, park and downtown buildings. You can really appreciate how pretty our downtown is and how it is not built up like Seattle or other large cities because of that view. The wall of buildings on the north side of the park completely cuts off the visual openness of the park and river which is bad enough. Doing the same thing on the south side would be like enlarging your nose so no one could see your beautiful eyes. One of the pleasures of visiting Riverfront Park is looking south into downtown to admire the different architectural styles and appreciate how our downtown is not all ugly, modern high-rises. Huge monolithic buildings in the last open spaces on Spokane Falls Blvd would destroy that attractive southern view from the park. Finally, making these last open spaces into expensive residential and pricey hotel properties will mean that average Spokanites will no longer have visual access to our river and beautiful park. It's already bad enough that River Park Square literally turns its back on the park and the INB Center blocks the view of the park from downtown but this plan will also mean that only rich residents and hotel visitors would be able to enjoy a parkfront view from their giant towers. If anything, building heights should be reduced in the last open space on Spokane Falls Blvd. Riverfront Park is the jewel of our city and it should not be cut off from the community by walls of buildings. | |
| 305 | Retail at River Park Square is important and should not be interfered with, however the downtown area has plenty of room for decisive growth financially without changing that building. | |
| 306 | I think it's a false equation that someone who believes strongly that improved and vibrant development downtown requires tall buildings along the park. The developers who own those lots do not HAVE to put tall buildings on them. There are many creative uses for those spaces that won't cloak our best asset in darkness for parts of the day. I think it would be a shame to limit any sunshine in Riverfront Park. There are so many empty lots in downtown Spokane, and it seems like towers and such are more appropriate in the core, not bordering our crown jewel. | Anne Walter |
| 307 | You have already ruined Riverfront Park. You might as well allow huge buildings which will shade the new horrible buildings and concrete which has taken over a huge portion of the park. You took away the green. I hate the ugly killer ice ribbon and the hideous carousel building which is completely lacking in charm, class, beauty. I would go downtown more but you've destroyed the soul of the park. Stop wasting our money and destroying places full of memories. | |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 308 | Pro growth and development think big | David Ohman |
| 309 | The idea that building height restrictions are hindering development is absolutely unreal. If the city is exploring encouraging development of residential space by increasing restrictions by a story or two without impacting sunlight to the park, that would be acceptable. Riverfront park is a precious resource, one that must be safeguarded for the future. We absolutely MUST NOT mortgage our future and history on the promise of cheap development now. | |
| 310 | Development of these parcels should be a high priority for our city. We need fewer downtown parking lots, especially next to the best attraction in the city. | Brian Donovan |
| 311 | The pedestrian walkway behind the Davenport is awful. Have you ever had to walk in front of all those windows while there is a conference happening there? It's very awkward. | |
| 312 | While shade and visual appeal are important, two concerns that I don't feel were addressed are parking and demand. First, where are the residents, shoppers, and workers going to park on a regular basis? Currently, those areas are parking lots. Garages (both above and below ground) are good, however, they can also cause significant traffic slowdowns during events and commutes, plus they are generally more expensive. Second, is there really that great of a demand for upscale downtown living in this specific location? With the current homeless population that congregates in the park on a regular basis, will people really want to live there as opposed to the north side of the park/river in areas such as Kendall Yards? | Danielle Geisler |
| 313 | Thanks for the opportunity to chime in! | Jane Robinson |
| 314 | The park is one of our greatest assets and should be protected above urban development. | |
| 315 | As I said before, I feel that the city of Spokane needs to encourage more large businesses to move to Spokane, and I don't feel that adding more residential units and hotel space is the best way to do that. However, I could be wrong since I am not an economist. | Kevin Carey |
| 316 | I love Spokane, I love the Park. It is time to grow. Look at Central Park in NY. A sanctuary of a park in the middle of the biggest city in our nation. Let Spokane be the "Manhattan" of the Inland Empire! | Joshua Martin |
| 317 | While downtown development is extremely important is should not be allowed to compromise the quality of the urban environment and the park. Ultimately the quality of the downtown urban environment will determine the long term health of downtown. | Jeffrey Warner |
| 318 | Large buildings will block sunlight and city views | Christine O'Malley |
| 319 | Spokane needs development like this to compete with other cities undergoing downtown renewal, so do whatever it takes to make it happen. | |
| 320 | Don't make the buildings too big. Spokane is nice because the building are still small. | |
| 321 | The simulations are great for showing a spring day, but what happens when the sun is lower in the fall and winter? | |
| 322 | Great work on the presentation material | Robert Brock |
| 323 | You need to hire local residents if you're going to do this.you gave zero info about the safety of buildings.or if any tax money would be used | |
| 324 | the simulation was very helpful, thank you | karen ssebanakitta |
| 325 | Avoid buildings that become walls on Spokane Falls Boulevard such as the Davenport Grand Hotel. Encourage designs that include views north by existing structures in downtown Spokane. | Lynn Mandyke |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 326 | Whatever is ultimately built must be *tasteful* above all else. Not another Soviet Bloc-style Grand Hotel. Not more Anytown, USA McHousing like in Kendall Yards. These are buildings that will surround perhaps the most iconic feature of downtown Spokane for possibly centuries, so they must make a lasting and unique contribution to the skyline that defines Spokane. Part of this means holding developers—yes, even if it's Walt Worthy—to code and ensuring that Spokane doesn't get sold short in pursuit of development for development's sake. Listen to the Design Review Board and consider making their recommendations binding. | Eric Iannelli |
| 327 | Building height code is there for a reason. Please respect the people's wishes for a sunny riverfront park and tell developers to live within their constraints. | Christopher W. Kuperstein |
| 328 | Given that Spokane summers tend to be, on average, quite warm, I think people might not realize how welcome some shade might be on the south side of Riverfront Park, especially at midday. To that end, a taller building allowance could provide such relief from the heat, and satisfy the need of a developer to maximize the square footage of their building. | William Nye |
| 329 | In reference to #16 above; Downtown parking is still an issue and as long as there are parking fees and meters everywhere, the retail stores downtown will not flourish. | |
| 330 | Spokane needs business to grow. Buildings that can draw in business and entice a growing job market can bring an increase in taxes, paying jobs, opportunities, and overall a better state to the Spokane economic diversity. Downtown is beautiful to a point but look how long it took to get riverfront park remodeled. Even then, there have been issues with not enough money for the proposed plans for riverfront park... if we want to continue to update the downtown area the city needs more taxes to come in. To get more taxes we need more businesses. To get those businesses downtown, the city needs to sacrifice some skylines to entice larger businesses. What I would like to see is for city regulations on buildings become less constructive but to also become more creative. In other words if we have the capacity to start creating a modern city with taller buildings in downtown Spokane why not utilise new technology/ideas and showcase it to the world! Buildings with Tesla made solar panels or electric rental car locations throughout downtown and so on. I want to see innovations explored and used in downtown Spokane like it was in 1974 during the Expo. | Chris Trechter |
| 331 | The additional height just does not compliment the downtown! | |
| 332 | the ground floor requirements should be more like 75% - 90% retail. The Davenport Grand is not only an eyesore, but its lack of retail frontage hasn't negatively impacted walkability and livability along that stretch (compared with the old surface lot) but it hasn't helped either. The Grand block remains a conceptual impediment to getting people to walk from the west end of downtown to the east. | Luke Baumgarten |
| 333 | Balconies for residential portions should be on the east and west sides of towers so each residence can have a portion of daylight in the morning or at night. | |
| 334 | This is great information! The intended result of getting the surface lots developed into the newest, most dynamic and urban development in the downtown core would be a major boost for downtown and continue its building momentum to create a active, vibrant - - and truly urban - - downtown. | Andrew Rolwes |
| 335 | I would like to see more the parking lots developed, but towers take away the feel of nature. | |
| 336 | I am all for growth. I am not for the destruction and ruin of the charm and beauty of downtown. Find the middle people. Restore what's there and improve The Falls Blvd. We do not have to decimate beauty in order to grow a city. There is enough ugly in this world to go around - keep downtown beautiful. | char parker |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 337 | Do not change existing code. Sunlight is already difficult to find in Spokane, especially in the winter months. Riverfront Park has a lot of shade already, and I am 100% opposed to any additional shade. Developers have plenty of other opportunities for developing surface parking lots. I completely disagree with the assertion that our current building codes disincentivize development. The DSP does not care about the Spokane public, only rich developers and rich people looking to purchase from those developers. We The People want our park and sunlight preserved, PERIOD. Our city is a beautiful testament to the Olmsted brothers' vision, and I vehemently oppose anything that will threaten their legacy. Parks and public space are more important than money. | Suzanne Saunders |
| 338 | I just don't agree we should build huge view blocking buildings. I like the small town look we have going on. But we still are able to have retail and business here. The old and the new are really lovely together. You would probable want to tear down all the brick original buildings. And only leave the builings named historic. Well they could all be named historic in my eyes. | |
| 339 | The majority of the ground floor should be retail. | David Buescher |
| 340 | To question number 16. It should be 100% retail and/or mixed use space encouraging gathering spots/placemaking, with strong, city-led initiatives that encourage and foster local businesses to fill these retail spots, not chain stores or large corporations. To question #7. I believe increased development in the downtown core is vitally important, but should be first focused on existing buildings and infrastructure that is currently underutilized and/or sitting empty. I also believe this development should be done with smart growth and people oriented practices as the underlying lynchpin for all development moving forward. To question #10, I agree with this statement, depending on the type of development being proposed. Again, development bent towards people and passersby. And development that activates, creates vibrancy and allows for citizens to connect with each other and the built and natural environment in meaningful ways is key. | |
| 341 | Please research how not to become a monstrous downtown like Austin. Futuristic nightmare. | |
| 342 | I walk through Riverfront park on a regular basis and have worked there in the past. Anyone who has spent time in the park knows that there are more than enough sunny areas of the park to hang out in, many of which are not shown in the simulation video (which was great by the way). A video that showed the whole park instead of the just the south side would display this. There is relentless sun all day in central meadow, clocktower meadow and the lilac bowl as well as the howard street bridge to name just a few areas. From May to September patrons are often seeking shade to cope with our hot dry summers. I don't feel that the shadows are significant enough for concern. Creating affordable spaces for downtown Spokane residents (i.e. not Seattle prices) is crucial and exciting for this growing city. Parking lots are eyesores and wasted space and adequate underground parking is the best option followed by garage parking. Density creates an exciting energy and helps create demand for businesses and community events. I look forward to seeing Spokane's lifeless parking lots come to life! Thank you for creating this survey. | |
| 343 | Riverfront Park is described by many organizations as the Crown Jewel of the city. We need to protect our valuable limited resources and disregard the greed-driven wants of developers. | Lance Hart |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 344 | I've wondered if there has been talk of any ordinances to require use of certain building materials for any towers - specifically, I believe it should be required (or at least strongly encouraged) to have a certain percentage of the building's exterior to be glass. If you look at both commercial and residential towers in cities like Seattle & Portland, the architecture & design fall in line with a modern & growing city much more, in my opinion, than buildings which have a pre-fab concrete or brick majority exterior (which tend to be what gets built around here). I think to move Spokane forward there ought to be a focus on the design & materials used for new development which can enhance the skyline & become new positive landmarks. Doing so should enhance the feel of the city, in a wonderful & meaningful way which in turn creates more interest & growth to the area. | Erik Dordal |
| 345 | 1) North side windows should be maximized for the view. 2) Can't imagine liking an apartment or hotel room looking directly across at another building < 100 ft away. | |
| 346 | For question 16, I think the amount of retail required should be higher. Perhaps as high as 75 percent. | Mark Simonds |
| 347 | First, I consider the existing code to be best, preferring relative skyline uniformity for egalitarian character, aesthetic grandeur and use longevity/flexibility. If change is demanded, know that proposals for towers will almost certainly include extensive parking, and we MUST avoid creating clones of the Davenport Grand, i.e., extruded, small-plate volumes atop poorly decorated parking garages. If a revised code is unavoidable, I'd insist upon closer to 80% active frontage (retail) on all sides of ground floor and extensive architectural design guidelines. | |
| 348 | Limit the affect of shade reduction on the park. Big looming buildings will not enhance it's appeal. Ensure that on street ground level retail is part of any deal. | |
| 349 | The park is a huge asset to the community, and any project that will negatively affect it would not be worth the economic gain for a small number of individuals. | |
| 350 | not sure about the retail 50% rule, as retail currently struggles downtown and this could impede growth | Sally Lodato |
| 351 | I do not think that tall buildings should block the sunlight to Riverfront Park, especially in winter. I fear than more buildings like the Grand Hotel (a monstrosity! how could that design have been approved?!) might be built. | |
| 352 | Increasing the population density downtown will lead to increased traffic, which might impact hwy 90 and certainly impact traffic on downtown surface streets. Spokane has a nice homey feel; I would personally hate to see it turn into a large city like San Francisco or New York. If that were to happen, we would likely see the problems that come with a large city: homelessness, drug use and crime. We already have too much of these problems. I'd like to see more done to reduce these issues before we consider increasing our population. | David |
| 353 | Spokane is not Seattle! Please do not start building tall buildings downtown. The current height of buildings downtown is tall enough. We have so many beautiful old buildings downtown that are vacant (for example: all the spaces on First Avenue between Wall and Stevens near the Ridpath)!! Why doesn't the city encourage developers to refurbish and occupy buildings like those. There are so many unused spaces in downtown that could be renovated, rather than left shuttered and dark. That would bring life to the **entire** downtown and not just near the park and river. The small town feel is what makes Spokane unique. Again, this is not Seattle and the leaders in City Hall need to realize that "building up" isn't always best. Keep Spokane's charm, keep buildings low. Reinvigorate forgotten parts of downtown, rather than encourage new and unnecessary construction! | |
| 354 | Quit Californicating Spokane! Raise taxes, improve infrastructure. Stop building! | Chris Dallman |
| 355 | Keep the current regulations. Developers will just have to find a way, like we all do. | Mr. Brian Sen Ching |
| 356 | On an annual basis, less than 50% of the days in Spokane are sunny. Therefore, I do not agree with any heights that would cause shadows in the Park. | |
| 357 | i don't want to look like cenarl park next you want to build over the river | |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 358 | It would be nice to have more interesting architecture than the Grand Hotel, and more considerate design. The Grand fails in that it blocks massive amounts of light to the Opera House/INB Arts center, making most of the south east facing glass pointless. It would be nice to have more thought out reviews of projects that go into these parking lots that better compliment the architecture of downtown. | Cody R S |
| 359 | Spokane use to be wonderful before the corrupt developers took control of our city | |
| 360 | I like the family environment Spokane offers. I would like to see that stay the theme of Spokane. | |
| 361 | I am concerned not only about shadows on the park but about creation of wind tunnels and interference from the buildings with signal reception., | Marian Hennings |
| 362 | I feel towers should not be allowed and the 100' building height should be kept. | |
| 363 | Tall buildings would be dreadful to the feeling when IN the park. Stupid idea!!!! Go with the citizen's wishes!!!! | Consuelo Larrabee |
| 364 | I have to say I'm somewhat uncomfortable with the Plan Commission voting to recommend the most developer-friendly option. In reference to the amount of retail on the ground floor, it should be significantly more than 50% of the frontage. The Davenport Grand is a perfect case study of this—and it never should have been allowed. If necessary, one option would be to split up the type of ground floor usage categories into street-activating (i.e. cafes, restaurants, coffeeshops, boutique retail) and non-street activating (i.e. bank branches, offices, event centers, hotel or residential lobbies). In general, I think at least 50% of the frontage should be street-activating retail. Not things like bank branches or offices which aren't typically big pedestrian destinations. As such, the retail frontage percentage could probably be higher than 50% to account for the difference between those two retail use cases. | Anthony Gill |
| 365 | Spokane has this unique, beautiful park. Protect it. We don't get a second chance to protect it. | David Zundel |
| 366 | I appreciate the care and thoughtfulness of this presentation---Thank you! I think the Davenport Grand is a monstrous "shoe box" and we deserve better design in the downtown, especially after the investment we have made in Riverfront Park. | Mary Ann Murphy |
| 367 | I hope I've been getting my message across prior to this. I do not support adding additional buildings to downtown Spokane. I am especially against any buildings being added to the perimeter of Riverfront Park. Talking about requiring living space above 100 feet is ... well, it's ridiculous. You've already destroyed the view and decreased the potential for the rest of the citizenry to be able to access the park. We have a huge problem with parking in this city. Virtually everyone I know refuses to go downtown because of the parking situation already. Contaminate our beautiful landscape and we'll want to head downtown even less. | |
| 368 | Thank you for all the work you all do for the city of Spokane. I was born and raised here and now work for the city. I am excited that after so long of feeling stagnant that this city is on a big upswing. Please continue to work for development and progress so that we can be the best city possible. Urban density and a thriving downtown core are essential to a strong city and the citizens ability to thrive. Build them high and dense and make our skyline something really beautiful. Thanks again! | Shaun Monaghan |
| 369 | Let the private developers use their creativity to develop the unutilized property to a higher and better use, but keep in mind the need for adequate parking. | |
| 370 | We moved here from a congested city in another state. Please keep Spokane less urban with trees and parks. | |
| 371 | You need to take the overall design of the city core into consideration along with the park shading. Lining the park with tall buildings is like putting a fence around it. View lanes from the core need to be preserved. | David Lill |
| 372 | I agree with the statement that emphasizes the importance of sunlight on the park. It's cool much of the year. The sunlight in the park makes it feel like a park and encourages use. The citizens of Spokane voted for the bond with the understanding that It would improve usage and encourage visiting the park. The height restriction and sunlight must be maintained. | David Lucas |

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| 373 | As downtown residents who live directly across from the area you are addressing, we are vehemently opposed to increasing height limits on the buildings bordering the park. As I mentioned, the park is feeling less and less like a park and more like an extension of downtown already. Riverfront Park is the jewel of Spokane: there are very few cities that have such a feature in their downtown core. Please - let us keep it as a park and not shade it and encroach upon it until it becomes just another part of the concrete jungle! The city keeps trying to entice people to live downtown, but the changes being made make it less and less appealing. We have lived here for 4.5 years, and with the construction of The Grand Hotel and the changes in the park, it has become significantly less appealing in a short amount of time. We need more green space, not more concrete! | Nancy Enz Lill |
| 374 | I think it would be better to renevatate and use existing buildings that are currently standing vacant instead of trying to build more. | |
| 375 | Just more cover up of graffiti... Thanks | Peggy |
| 376 | I hope that developers realize that a healthy city involves people of all income levels. We would love to live directly Downtown (even closer than we already are) but our family only makes about \$70,000 per year (combined). Everything being built is top floor luxury condos or else rentals. We want to own! We want to own Downtown! Please consider making lower floors in future developments non-luxury! We don't all need (or want) granite counters, steam showers, and a rooftop gym! We want to be able to walk to amenities and take the bus instead of driving. We want to live in a bustling neighborhood. We want to contribute to Downtown's growth. You shouldn't have to be rich to be a good citizen. | Amy Chenail |
| 377 | Need more reasons to get people down town | |
| 378 | I know it's easy to look at past decisions that have been made and say "Well we should reevaluate this." But let's not forget the wisdom of the people who established those rules knowing that they would be challenged in the future, and let's not shrink back and allow development to "take over" what cannot be replaced. If this decision is changed it will forever have an impact on the Spokane City skyline and I can't help but think what we might be giving up hastily for Economic Development which is inevitable. | Dan Kendzierski |
| 379 | I think in addition to avoiding shadows over Riverfront Park, the other major issue I see is a disruption to the skyline of Spokane. The Davenport Grand has become somewhat of an eyesore to many views of downtown Spokane, and I believe any new large construction in that area should be incorporated into the landscape and architecture already present downtown. | Mercedes Leahy |
| 380 | Riverfront Park is awesome and allowing sunlight in the park is very important. But the city also needs to foster development downtown. People don't want to visit/move to a city that's boring and unchanging. If people see cranes in downtown Spokane, they'll think, wow, this is a growing town, there must be something exciting going on here. New buildings are a sign of increased activity and thriving life. Just the visual of a crane in the downtown skyline will spark that image in visitors' minds. Also, the city needs to encourage unique architecture. While we're all glad Walt Worthy built the Davenport Tower and Grand, those two buildings are DISMALLY designed for aesthetics. They are boxy, boring, uninventive, unimaginative, and quite frankly, very ugly. Spokane needs a special/unique building in its skyline. Look at Mobile, Alabama as an example. Or Des Moines, Iowa. Both cities are about Spokane's size and have very distinct skyscrapers. Spokane lacks that. We need a prominent building that people can see and immediately recognize it's Spokane. Obviously, the city can't really control what private developers do with their design. But maybe the city can incentivize more creative architecture? Not crazy/wacky, just something more creative than a big ugly rectangle. | |
| 381 | Prioritize the citizens and public space users over developers. I don't come downtown to hang out in buildings. I come downtown to be outside and enjoy the park. So does everyone who come to visit me. That park is the best thing going for this city. | Sara Hansen |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 382 | New building should not dominate our skyline like the new davenport tower. We should emphasize our historic architecture and any new construction and any new buildings should blend in with those and not box the park skyline in. | Ann Wick |
| 383 | Developing the vacant lots along Spokane Falls Blvd. should be a priority for DSP and the city. More retail and residential options are always beneficial, but I would disagree with adding more hotel/convention space. | Jeremiah Johnson |
| 384 | There are PLENTY of poorly developed and undeveloped spaces in and around downtown. Stop building new structures that add nothing but cause parking problems and increased nuisances. Riverfront Park is the jewel of Spokane-it is literally the essence of the city. It's the Central Park-known for maintaining its beauty and timelessness in the midst of an urban environment. | |
| 385 | The shade model seems to be when the sun is the highest in the sky in the summer. I would like to see what the shading model looks like for early spring or late fall. We just invested 70 million dollars to upgrade and fix our beautiful Park that the entire city uses and enjoys. And now the city wants to make a change to the code that could impact the amount of sun and the warmth the park receives year round just to appease the developer of two empty lots so he can try to build a bigger building and make his profit at the expense of the people and community of Spokane? This height restriction code applies only to the nearest block to the park; why would we even bother changing it? Build taller buildings on the north side of the park, or further south in the core of the city. Stay away from our park. | Reuben Greer |
| 386 | I would argue that the ground floor of the building should be 90% retail (or some other type of "third place" for people to gather), with only service & parking access points permitted on the ground floor. 50% is clearly not enough...examples of this would be The Davenport Grand Hotel, The Historic Davenport, and Bank of America Building Parking Garage...these three buildings have about 50% "retail", but yet it feels like 3 whole sides of the building are dead street fronts (and consist of parking garages, service entries, and inward facing retail w/o front doors). Also, the code revision should disallow any parking garage to face Spokane Falls Boulevard, otherwise I can already anticipate that the building form will consist of ground floor "retail", 7-10 floors of parking on top, and then the residential/hotel on top of that podium...which does nothing to activate the street front with city life. Examples of how bad this "type" of development can be include the Denver Spire in Denver, CO and Parkhaus in Lincoln, NE. Sure, there's residential up top, but the 7-10 floors of parking between it and the ground-level retail plinth kind of puts a damper on any urban life from happening on the street below, which runs counter to the goals of the code revision. Lastly, I do have some reservations about the effects this proposed code revision will have on mid-fall, winter, and mid-spring shadows cast upon Riverfront Park, especially in light of the park's master plan and the amount of investment being poured into the park along Spokane Falls Boulevard to make it a "year-round" park. We wouldn't want the new carousel building, ice ribbon, Howard South Channel Bridge, and Rotary Fountain area to be in shadow from September to April. The video example on the website shows May 1 as the approximate limit for having 100% sunlight on the park's prominent features (such as the carousel and red wagon). Based on the Summer Solstice date, this "window of light" would only last from about May 1 through August 10, which not long enough. | Jason Wong |
| 387 | There are many other areas in the downtown core that are being developed or have future potential. The park is for everyone and should not be obstructed by shadows from buildings such as those proposed in this presentation. Let the shade be from trees! | Linda Moulton |
| 388 | Infrastructure, roads are not capable of this much growth. There will be a great impact on traffic. This must be considered along with parking. | |
| 389 | NO SHADOW ON THE WAGON! | |
| 390 | The more skyscrapers, the better. It will attract more development to core downtown. | vipul |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 391 | We do not need more hotel space downtown, and especially not around Riverfront Park. Including the convention center, a huge amount of Riverfront park is buffered by buildings that act as a barrier to residents, with little to offer citizens. More hotel space would only exacerbate the problem. The shadowing is also a major problem - the May 1st time is equivalent to mid-August, meaning lots of shaded area in prime late summer and fall park use hours. | Alan Chatham |
| 392 | It's upsetting to me that Spokane lacked the vision to keep the buildings that used to be in these vacant areas. But I think we need to put buildings back. Downtown areas should be dense even if that sacrifices sunlight. I just hope we get some good looking buildings. They will never be as cool as the old ones that are gone though. | Angela Merritt |
| 393 | Please do not mistake greed for more taxes for really wishing what is best over a ll for development near the park. | |
| 394 | Hopefully retail includes restaurant uses and not just storefronts like on the north side of main (River Park Square). | Will Maupin |
| 395 | Spokane needs high rises, and less wasteful surface parking. I love this plan and want these buildings to be built. I would also love for Spokane to be the first city in America with a cross laminated timber high rise, now that Kattera is locating in Spokane Valley, this would make all the sense in the world. | Mike McBride |
| 396 | Like how the city will develop without extensive sprawl | Neil Kinkel |
| 397 | "Near Nature" REQUIRES sunlight, as per the dead hostas underneath the parking ramp into the RPS parking garage. We are children of the Sun, let's keep it that way! The city of Spokane is going to Expand anyway, so even though the downtown is developing nicely, with pubs, shops, eateries, buses, let's not kill it with terrible over-crowding; GENTRIFICATION will kill our city, and threaten service jobs with high-profit enterprises that care nothing for our city. | H Higgins |
| 398 | Or, you could require it be 100% retail, with an exception only for entrances for parking and loading. Parking should be forbidden within 10 feet of grade (above or below). | |
| 399 | I was born and raised in Spokane. I know this city from street to street and would love to see more development. For a very long time spokane was lacking in developepment which stalled company's from moving in and creating more jobs! We are on track to help bring in more opportunity for work and attract more people to the downtown area. The more people live in downtown the more tax revenue we will get therefore making spokane cleaner and safer! Best Regards -Pavel | Pavel |
| 400 | I think having tall buildings is essential for the city and its attractiveness. I think it would be amazing to get a couple of buildings significantly taller than the ones we currently have for the overall improvement of the skyline and feel of the city. It would also seem more progressive. | |
| 401 | Thanks for your work on this. I really hope we can see these sites developed within a decade. They have so much potential to add vibrancy to downtown and to further activate Riverfront Park. | Kyle Madsen |
| 402 | Can't you put in more parking garages? | Jena Leddon |
| 403 | It would have been nice to show other times of the year for the shading simulation. I would like to see what the impact would be during a time like Pig Out in the Park. Overall, I agree with increasing the height limit and restricting use to residential. I don't like the idea of hotel being allowed, at least not for all of the volume about 100'. | |
| 404 | No additional skywalks, please. | Larry Cebula |
| 405 | The base and tower form for buildings is very ungainly and actually ugly. A higher base form like the buildings used as samples fit into the streetscape better. Amazon has limited the need for storefront retail and no one wants to walk by vacant retail space. Office use is fine. | Betsy Bradley |
| 406 | I think the 11,000 sf bldg is a good compromise. I like that the towers aren't massive and overwhelming, considering the context of the area. I do NOT like the other options presented. | |

| Ref # | "Is there anything else you would like to tell us?" | Name (Not Required) |
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| 407 | I totally disagree with these proposals the promote development that limits access and sunshine in downtown and the park. Your simulations are deceptive because they don't show the current status of this downtown area. Currently there are no buildings on these lots which are the access between downtown and the parks. There is not enough street parking available for the current use of these parking lots. Unless your intent is to force parking in the Parcade or the Riverfront Mall. Both facilities are often full especially during the holidays. Your simulation needs revision to give individuals that fill out this survey get the true picture, not the picture are currently showing them. | |
| 408 | Spokane needs some tall buildings to define its skyline. | |
| 409 | Retail is great if you can get it.....but a business/office space would be fine as well..... | Marian Evenson |
| 410 | So excited for downtown development! Spokane is on the rise, and I am all in favor of more opportunities that motivate residents to go and spend time in downtown. I think downtown Spokane should be the "go to" for anyone looking to shop or eat out. | allison wilson |
| 411 | The Grand Hotel is an architectural abomination. It is a carry-over from a post-modernist, dark time in design. How it was approved is a mystery. The other buildings shown in the massing exercise, however, seemed to be heading in the right direction! | Kendra Kurz |
| 412 | min. 75% retail requirement at ground level would be better. | Larry |
| 413 | Infill is important to the success of downtown. But it *must* be sensitive to Riverfront Park and the public realm. Narrower building footprints, with required setbacks as building height increases, should be considered and potentially codified. | Anne Hanenburg |
| 414 | Maintain view corridors toward the south hill. | Paul Bundy |
| 415 | Re: Question 16, I agree that the City should require ground-floor retail uses. However, I strongly believe there should be a diversity of retail required at the ground level (as opposed to a single-use/big block retail space). | |
| 416 | If there were design standards to prevent something like the Grand Hotel from happening, then I would be more likely to think taller buildings would be ok. But given the current review process, there's no guarantee that the developer will do anything to try to make the buildings pedestrian friendly or to fit within the context of the city. The city needs to stop giving in to developers and look out for what's best for the residents. | |
| 417 | Thank you for creating such a clear tool to understand this important issue. I appreciate the simulation and the ability to tangibly see the potential impact on the park, the critical focal point of vitality for downtown. It's obvious that a lot of work went into producing this. | Julie Banks |
| 418 | in # 16 it should be commercial not retail | Sylvia St.Clair |
| 419 | Sun exposure on streets and sidewalks is necessary to keeping walkways clear of snow and ice during winter months. | |
| 420 | Parking and vehicle traffic must be carefully considered. I wold hate for our City to become congested like New York City. The one way streets already take a lot of time to navigate, not only with current traffic loads, but having to stop at multiple traffic lights just to get around the block is frustrating. | Dan Skindzier |
| 421 | The way you ask the sun on the park question is misleading. It makes it sound like you are talking about all of the sun going away, rather than a tiny fraction of sun on the edge of the large park. | Mariah |
| 422 | Keep the current code which creates fewer shadows in the park. | Amy Cannata |
| 423 | the city don't know how to make a city work. lets get the roads fixed and stop the plan for choking traffic down to one lane on Monroe St. and get the traffic flowing. | |
| 424 | Developers need to make the best use of their properties, but not at the cost (in this case) of damaging what is a unique feature of our city-Riverfront Park. | Ann Fennessy |