



Spokane Park Board

Aug. 10, 2017 – 1:30 p.m.

City Council Briefing Center, lower level City Hall
808 W. Spokane Falls Blvd, Spokane, Washington

Park Board Members:

- X Chris Wright – President (Arrived: 2:50 p.m.)
- X Nick Sumner – Vice President
- X Leroy Eadie
- X Ross Kelley
- X Ted McGregor
- X Greta Gilman
- X Richard Chase
- X Steve Salvatori
- X Sally Lodato
- Jennifer Ogden (absent/excuse)
- X Mike Fagan – Council Liaison

Parks Staff:

Jason Conley
Mark Buening
Garrett Jones
Jennifer Papich
Angel Spell
Jonathan Moog
Berry Ellison
Carl Strong
Fianna Dickson
Pamela Clarke

Guests:

Jerry Unruh
Hal McGlathery
Philip Sanders
Timon Behan
Karen Ssebanakitta
Christine White
Kim Greer
Carol Ellis
Andrew Boyd
Terri Fortner

MINUTES

1. **Roll Call:** *Pamela Clarke*
See above

2. **Minutes:**
A. [July 13, 2017, regular Park Board meeting minutes](#)

Motion No. 1: Ross Kelley moved to approve the July 13, 2017, regular Park Board meeting minutes.

Rick Chase seconded.

The motion passed with unanimous consent. (8-0 vote)

3. **Additions or Deletions to the Agenda:**
A. None

4. **Special Guests:**
A. [SYSCA Update](#) – *Jerry Unruh*, Hillyard Senior Center executive director, presented a quarterly recap of the activities, fundraising accomplishments and participation hours at Spokane's 10 youth, senior and community centers.

5. **Claims:** [Claims for the month of July 2016](#) – *Ross Kelley*

Motion No. 2: Ross Kelley moved to approve claims for the month of July 2017 in the amount of \$2,707,395.02.

Mike Fagan seconded.

Motion passed with unanimous consent (8-0 vote).

6. **Financial Report & Budget Update:** – *Mark Buening* provided the [July Financial Report & Budget Update](#). The Park Fund revenue is tracking at 90.74% of the projected budget. Parks and Recreation expenditures are tracking at 106.05% of the projected budget. The Golf Fund revenue is tracking at 84.95% of the projected budget. The Golf Fund expenditures are tracking at 99.16% of the projected budget.

7. **Special Discussion/Action Items:**

A. None

8. **Committee Reports :**

Urban Forestry Tree Committee: Aug. 1, 2017, *Rick Chase*

A. Action Items: None

B. The next regularly scheduled meeting is 4:15 p.m. Sept. 5, 2017, at the Woodland Center, Finch Arboretum.

Golf Committee: Aug. 8, 2017, *Nick Sumner*

A. Action Items: None

B. The next scheduled meeting is 8:05 a.m. Sept. 12, 2017, Manito Park conference room, Manito Park.

Land Committee: Aug. 2, 2017, *Greta Gilman*

A. [Finch Arboretum 2017-2018 Master Plan \(\\$60,000\)](#) – *Greta Gilman* and *Garrett Jones* presented an overview of the proposed contract with AHBL, Inc., to produce the 2017-2018 Finch Arboretum Master Plan in the amount of \$60,000.

Motion No.3: *Greta Gilman* moved to approve the contract with AHBL, Inc., to produce the 2017-2018 Finch Arboretum Master Plan in the amount of \$60,000.

Sally Lodato seconded.

The motion passed with unanimous consent. (8-0 vote)

B. [Rochester Heights project contract \(\\$58,432\)](#) – *Greta Gilman* presented an overview of the Rochester Heights project contract with low bidder Bacon Concrete, Inc., to install 1,000 lineal feet of 6-foot-wide, looped asphalt pathway and associated irrigation sleeving within the north half of Rochester Heights Park in the amount of \$58,432.

Motion No. 4: *Greta Gilman* moved to approve the Rochester Heights project contract with Bacon Concrete in the amount of \$58,432.

Rick Chase seconded.

The motion passed with unanimous consent. (8-0 vote)

C. [Fish Lake Trail crack sealing project \(\\$64,000\)](#) – *Garrett Jones* presented an overview of the Fish Lake Trail crack sealing contract with low bidder Road Products in the amount of \$64,000. Portions of the Fish Lake Trail have wide cracks in the asphalt that are in need of filling to preserve asphalt integrity and prevent further asphalt deterioration.

Motion No. 5: *Greta Gilman* moved to approve the Fish Lake Trail crack sealing contract with Road Products in the amount of \$64,000.

Steve Salvatori seconded.

The motion passed with unanimous consent. (8-0 vote)

D. The next scheduled meeting is 3 p.m. Sept. 6, 2017, Park Operations Complex, 2304 E. Mallon.

Recreation Committee: The Aug. 3 meeting was canceled. – *Sally Lodato*

A. Action Items: None

B. The next scheduled meeting is 3 p.m. Sept. 7, 2017, Hillyard Senior Center, 4001 N Cook St.

Riverfront Park Committee: Aug. 7, 2017, *Ted McGregor*

A. [Walker Construction change order #4 South Bank East and added electrical/Looff Carrousel \(\\$26,084.08\)](#) – *Ted McGregor* and *Berry Ellison* presented change order #4 with Walker Construction for South Bank East ADA pathway improvements, additional conduit and vaults, and additional cables for the Looff Carrousel. The total on change order #4 is \$93,910, plus tax. The board approved up to \$70,000, plus tax, at the March 9 Park Board meeting. The additional \$26,084.08 covers the costs for the additional costs for ADA pathway improvements, conduits and vaults for vendor communications, and cables to brace the carrousel for safety and historic accuracy.

Motion No. 6: Ted McGregor moved to approve change order #4 with Walker Construction in the amount of \$26,084.08.

Ross Kelley seconded.

The motion passed with unanimous consent. (8-0 vote)

B. [NAC Architecture amendment #7 for additional construction administration services/Looff Carrousel \(\\$13,740\)](#) – *Berry Ellison* presented contract amendment #7 with NAC Architecture for additional construction administration services at the Looff Carrousel facility site in the amount of \$13,740. Nick Sumner requested staff to review contracts, in moving forward, to avoid utilizing contingency funds for foreseeable services. He expressed contingency funds should not be used for services, such as construction administration.

Motion No. 9: Ted McGregor moved to approve the NAC Architecture amendment #7 for additional construction administration services at the Looff Carrousel facility site in the amount of \$13,740.

Greta Gilman seconded.

The motion passed with unanimous consent. (8-0 vote)

C. [NAC Architecture amendment #8 for additional design services/Looff Carrousel \(\\$3,700\)](#) *Berry Ellison* presented an overview of the proposed contract amendment #8 with NAC Architecture for additional design services at the Looff Carrousel facility site in the amount of \$3,700.

Motion No. 10: Ted McGregor moved to approve the NAC Architecture amendment #8 for additional design services at the Looff Carrousel facility site in the amount of \$3,700.

Ross Kelley seconded.

The motion passed with unanimous consent. (8-0 vote)

D. [Contractors Northwest Inc. change order #7 HVAC/Recreational Rink and SkyRide facility \(\\$31,525.86\)](#) – Ted McGregor presented change order #7 with Contractors Northwest Inc. to

change HVAC controls at the Recreational Rink and SkyRide facility in the amount \$31,525.86. The HVAC controls will be changed to automated Logic DDC controls per the Riverfront Park Park-Wide standards.

Motion No. 11: Ted McGregor moved to approve change order #7 with Contractors Northwest Inc. for HVAC controls at the Recreational Rink and SkyRide facility in the amount \$31,525.86.

Sally Lodato seconded.

The motion passed with unanimous consent. (8-0 vote)

E. [Contractors Northwest Inc. change order #8 lighting & electrical controls/Recreational Rink and SkyRide facility \(\\$29,392.37\)](#) – Ted McGregor presented change order #8 with Contractors Northwest Inc. for lighting and electrical controls at the Recreational Rink and SkyRide facility in the amount of \$29,392.37.

Motion No. 12: Ted McGregor moved to approve change order #8 with Contractors Northwest Inc. for lighting and electrical controls at the Recreational Rink and SkyRide facility in the amount of \$29,392.37.

Rick Chase seconded.

The motion passed with unanimous consent. (8-0 vote)

F. [Contractors Northwest Inc. change order #11 stockpile management/Recreational Rink and SkyRide facility \(\\$66,620.78\)](#) – Ted McGregor presented change order #11 with Contractors Northwest Inc. for stockpile management at the Recreational Rink and SkyRide facility in the amount of \$66,620.78.

Motion No. 13: Ted McGregor moved to approve change order #11 with Contractors Northwest Inc. in the amount of \$66,620.78.

Sally Lodato seconded.

The motion passed with unanimous consent. (8-0 vote)

G. [Contractors Northwest Inc. change order #10 export soil/Recreational Rink and SkyRide facility \(\\$16,187.38\)](#) – Ted McGregor presented a review of change order #10 with Contractors Northwest Inc. for exporting unsuitable and excess soil from the Recreational Rink and SkyRide facility site in the amount of \$16,187.38.

Motion No. 14: Ted McGregor moved to approve change order #10 with Contractors Northwest Inc. for exporting soils at the Recreational Rink and SkyRide facility in the amount of \$16,187.38.

Ross Kelley seconded.

The motion passed with unanimous consent. (8-0 vote)

H. [Pavilion budget amendment \(\\$2,500,000\)](#) – Berry Ellison provided an overview of the Pavilion budget amendment. The proposed amendment involves moving \$2 million to Garco Construction for work on the Pavilion and \$500,000 to project contingency. The funds are from an anticipated \$1.9 million bond interest and program-level budgets. The intent of the amendment is to restore the Pavilion budget to the \$24 million noted in the master plan. Mike Fagan asked if any work has been done on the Pavilion's cable system since 2012 when the Integrus study noted some issues on the integrity and strength of the cable system. Leroy

Eadie explained he didn't believe any work has been completed since that time. Mr. Fagan asked if any funds have been earmarked for the repair or replacement of the aging cables. Mr. Ellison explained the Garco contract includes the maintenance which was specified in the Integrus report. Approximately \$100,000 is budgeted for a safety inspection of the Pavilion, but the contract does not include an analysis on the long-term life of the cable network. Mr. Fagan voiced a concern of not knowing the cost of replacement and the lifespan of the current cable system. Mr. Eadie explained the Pavilion is not the only item at the park which will have a maintenance schedule associated with it. *Note: Park Board President Chris Wright arrived at 2:50 p.m.*

Motion No. 15: Ted McGregor moved to approve the proposed Pavilion budget amendment to move \$2 million to the Garco design team contract and \$500,000 to project contingency.

Sally Lodato seconded.

The motion passed with an 8-1 vote.

I. [Garco Construction change order #1/Pavilion \(\\$2,000,000\)](#) – *Berry Ellison* presented change order #1 with Garco Construction which would extend the validation phase to Oct. 12, 2017, and increase the Guaranteed Maximum Price (GMP) to \$16.5 million. The additional budget would be utilized for project enhancements, including shade and shelter, lighting, elevated experience, and incidental costs, such as design and contingency.

Motion No. 16: Ted McGregor moved to approve the Garco Construction change order in the amount of \$2,000,000.

Ross Kelley seconded.

The motion passed with an 8-1 vote.

J. [Riverfront Park redevelopment update](#) – *Garrett Jones* presented the monthly bond update. Project highlights include: 1) Howard Street Bridge South – the first of a two-layer pour has been completed with bridge completion set for fall 2017; 2) Recreational Ice Ribbon/SkyRide facility – the ice ribbon pathway is 50% poured with construction through fall 2017; 3) Loeff Carrousel – rotunda and tree post are in place, and the upper dome is being installed with completion set for spring 2018; 4) Pavilion – preliminary concepts to be presented at the September/October Open House with early demolition as early as September; and 5) Lead Artist – Meejin Yoon visited this week to share preliminary concepts on the art plan and signature art piece.

K. [Future programming](#) – *Jonathan Moog* shared a vision of the programming at the new Riverfront Park regarding food service, amusement rides, events, and active and passive uses. Mr. Moog explained the goal of the new programming model is to create free or low-cost activities that draw people to the park and creates community connection which, in turn, builds economic development. New partnerships and fundraising events will be part of the plan.

L. [Enterprise Fund white paper](#) – *Ted McGregor* and *Leroy Eadie* presented an brief overview of the Parks and Recreation Enterprise Fund white paper which will be discussed at the joint City Council/Park Board study session directly following the Park Board meeting. The enterprise fund is designed to identify greater funding opportunities and increase partnerships. The goal is to create the enterprise fund this fall with a three-party agreement with Parks, City Council and the Mayor.

M. The next scheduled meeting is 8:05 a.m. Sept. 11, 2017, in the City Council Briefing

Center.

Finance Committee: Aug. 8, 2017, *Ross Kelley*

A. Action Items: None

B. The next regularly scheduled meeting is 3 p.m. Sept. 12, 2017 in City Hall Conference Room 2B.

Bylaws Committee: *Ross Kelley*

A. Action items: None

9. **Reports:**

Park Board President: *Chris Wright*

1. Chris Wright did not report in the interest of time.

Liaison Reports:

1. Conservation Futures Liaison – no report given.
2. Parks Foundation Liaison – *Ted McGregor* introduced the new Spokane Park Foundation Executive Director Terri Fortner.
3. Council Liaison – no report given.

Director's Report: *Leroy Eadie*

1. Leroy Eadie did not report in the interest of time.

10. **Correspondence:**

- A. Letters/emails: Pavilion
Coeur d'Alene Park shrubbery removal
- B. Survey results Pavilion preliminary design responses
- C. Newsletters: Hillyard Senior Center
Sinto Senior Activity Center

11. **Public Comments:**

A. Bosch Lot

- 1) *Philip Sanders*, Wild Walls Climbing Gym instructor, shared his thoughts regarding plans for the Bosch Lot. He is concerned the Park Board is considering selling the property to a private company which would operate a climbing gym. Parks purchased the lot in the 1970s with RCO funds. The property has served as a parking lot prior to the current construction project to install a Combined Sewer Overflow (CSO) tank.
- 2) *Timon Behan*, Wild Walls owner, questions if the community can support another climbing gym. Mr. Behan offered to meet with Park Board members to share his experience in the industry.
- 3) *Carol Ellis* presented [a letter on behalf of Eileen Martin](#) stating Ms. Martin's viewpoint on developing a climbing wall on the Bosch Lot. She cited a 2015 preliminary CSO site feasibility study by Bernardo Wills design firm which noted recreation options for the site, include running stairs, restrooms, bicycle storage, picnic areas and a climbing wall. Bernardo Wills was hired this year to evaluate and assess suitability of a private commercial development on the lot. This study included an option to development climbing gym. Ms. Martin urged the Park Board to allow for more public input as Parks moves forward with the plans for the property.
- 4) *Ken Greer* questioned the need for another climbing gym or fitness facility in the downtown area. He noted he doesn't believe the purpose of the park is to build more

buildings; instead, the goal should be to develop a “park-like” environment with more grass and trees. Mr. Wright explained the Park Board has approved a Letter of Intent which is a non-binding agreement to look at the options. He sees the lot as an under-utilized property and the direction of the board is to look at ways to improve this property for recreation use. Mr. Wright explained the Park Board has not committed to a climbing facility. The board and staff discussed the option of holding a Bosch Lot briefing or update to discuss the property. 5) *Carol Ellis* read from the [RCO meeting minutes from May 2017](#), which read: “Spokane Parks intends to convey this conversion area to the City of Spokane’s Public Works and Utilities Department (Public Works). Public Works will lease or sell all or a portion of the property for an indoor climbing facility, which would be located on the south edge of the property. Ms. Martin urged the Park Board allow for increased public outreach and input as Parks moves forward with the plans for the property.

B. Pavilion

1) *Carol Ellis* asked the Park Board to involve the public more before moving forward with the Pavilion redevelopment project. She suggested three types of outreach: 1) online survey; 2) Public Utilities inserts; and 3) public meetings.

C. Coeur d’Alene Park

1) *Christine White*, Browne’s Addition resident and Browne’s Addition Garden Group member, addressed concerns of transients in the park and neighborhood. She voiced a need for increased patrols in the area, particularly in the late afternoon and evening hours. Ms. White suggested the following park safety measures: 1) timed locks on the restrooms; 2) change the park hours; and 3) provide signage to support expectations. She also shared concerns that Parks planned to remove shrubbery and trees from Coeur d’Alene Park in order to prevent transients and campers from hiding and vandalizing the park. Leroy Eadie explained there are no plans to remove all shrubbery. Parks looks forward to working with the neighborhood to identify appropriate trimming and removal.

2) *Karen Ssebanakitta* requested the neighborhood council be provided the current status on the new park entrances called out in the master plan presented by the Friends of the Coeur d’Alene Park. Mr. Eadie explained only one bid came in on the park entrance project. That bid was twice the amount of what the engineer estimated and was not accepted. This will create a slight delay in the actual construction. Ms. Ssebanakitta asked that additional discussion transpire before the shrubbery removal begins. She added that safety and aesthetics may be preserved at the park.

12. **Executive Session:** None

13. **Adjournment:** 3:40 p.m.

14. **Meeting Dates:**

A. Committee meeting dates:

Urban Forestry Committee: 4:15 p.m. Sept. 5, 2017, Woodland Center, Finch Arboretum

Golf Committee: 8:05 a.m. Sept. 12, 2017, Manito Park conference room, Manito Park

Land Committee: 3 p.m. Sept. 6, 2017, Park Operations Complex, 2304 E. Mallon

Recreation Committee: 3 p.m. Sept. 7, 2017, Hillyard Senior Center, 4001 N Cook St.

Riverfront Park Committee: 8:05 a.m. Sept. 11, 2017, City Council Briefing Center

Finance Committee: 3 p.m. Sept. 12, 2017, City Hall Conference Room 2B

B. Park Board: 1:30 p.m. Sept. 14, 2017, City Council Briefing Center

C. Park Board Study Session: 3:30 p.m. Sept. 14, 2017, City Council Briefing Center

Minutes approved by:



Leroy Eadie, Director of Parks and Recreation



Spokane Park Board

July 13, 2017– 1:30 p.m.

City Council Briefing Center, lower level City Hall
808 W. Spokane Falls Blvd, Spokane, Washington

Park Board Members:

- X Chris Wright – President
- Nick Sumner – Vice President (absent/excused)
- Leroy Eadie – Secretary (absent/excused)
- X Jason Conley – Acting Secretary
- X Ross Kelley
- X Ted McGregor
- X Greta Gilman
- X Richard Chase
- Steve Salvatori (absent/excused)
- X Sally Lodato
- X Jennifer Ogden
- X Mike Fagan – Council Liaison

Parks Staff:

Jason Conley
Mark Buening
Garrett Jones
Al Vorderbrueggen
Jennifer Papich
Angel Spell
Jonathan Moog
Berry Ellison
Nick Hamad
Fianna Dickson
Carl Strong
Pamela Clarke

Guests:

Clancy Welsh
Keith Comes
Lisa Key
Harvey Morrison
Matt Walker
Mark Rickard
Carol Ellis
Eileen Martin
Hal McGlathery

MINUTES

1. **Roll Call:** *Pamela Clarke*
See above

2. **Minutes:**
A. June 8, 2017, Park Board meeting minutes

Motion No. 1: Mike Fagan moved to approve the June 8, 2017, regular Park Board meeting minutes.

Jennifer Ogden seconded.
Motion carried with unanimous consent.

3. **Additions or Deletions to the Agenda:**
A. None

4. **Claims:**
A. Claims for the month of June 2017 – *Ross Kelley*

Motion No. 2: Ross Kelley moved to approve claims for the month of June 2017 in the amount of \$3,952,967.3.

Sally Lodato seconded.
Motion carried with unanimous consent.

5. **Financial Report & Budget Update:** – *Mark Buening* presented the June Financial Report & Budget Update. Park Fund revenue is tracking at 115.48% of the projected budget. Parks

Fund expenditures are tracking at 107.31% of the projected budget leaving available funds at 103.43%. The Golf Fund revenue is tracking at 82.89% of the projected budget. The Golf Fund expenditures are tracking at 94.51% of the projected budget leaving available funds at 82.89%.

6. **Special Action Items/Presentations:**

A. RFP Pavilion interim design plan, review and approval – *Ted McGregor, Clancy Welsh and Keith Comes*

1. Review: Ted McGregor reviewed the background and some issues as they relate to the Pavilion. Highlights of the report included: 1) the 2012 Integrus Pavilion Facilities Conditions Assessment Report noted the safety of the cable net structure was with respect to its current, unclad configuration and did not consider the option of supporting a cover of any kind; 2) the Pavilion was designed as a temporary structure; 3) wind, snow and seismic load codes are more stringent than those of 1974; 4) a covering will require a structural analysis which has an estimated cost of almost \$500,000 and will take an additional 13 months to complete; and 5) if a cover were placed on the structure it could mean the mast, ring, wire structure and the anchors will need to be replaced. He also clarified the 30-year cover has a guarantee on the fabric alone and does not include a guarantee on the structure. Mr. McGregor said he will not present a recommendation or make a motion on behalf of the Riverfront Park Committee, at this time. He believes more time should be devoted to engaging with city elected officials. He believes work can continue with the design team even if the board does not take action today.

2. Interim design plan presentation: Clancy Welsh and Keith Comes presented the Pavilion interim design plan. This plan involves four goals for the multi-purpose event facility, including: 1) connection to the river; 2) elevation (views); 3) illumination; and 4) shade and shelter. Design elements include: 1) event/festival floor; 2) platform viewing area; 3) river lookout; 4) activity terraces; 5) public and administration rooms; 6) river view terraces; and 7) illumination utilizing LED lighting captured on reflectors and the netting structure. Mr. Welsh explained there are numerous rewards from not fully covering the Pavilion which include connection with the river, views, artistic illumination, unique experiences, walkways to various elevation points and lookouts, grassed terraces, landscaping, and natural lighting.

Questions from the board involved: 1) shading options; 2) opportunities for interactive features; 3) programmable lighting; 4) maintenance required on the glass elements and grassed areas; and 5) how many reflectors should be installed and what will the reflectors look like during the day.

3. Action: **No action taken.**

B. Recreational Rink and SkyRide facility owner-furnished, kitchen equipment (up to \$90,000, plus tax) – *Berry Ellison* explained Contractors Northwest Inc. was awarded, at bid time, an alternate to plumb and install sinks, counters, electrical, and to install owner-furnished equipment, such as ovens, dishwashers, and refrigerator/freezers. Due to time constraints, this action item did not come through Riverfront Park Committee this week, but it was approved by the Executive Team.

Motion No. 3: Ross Kelley moved to approve expenditures, up to \$90,000 plus tax, for the Recreational Rink and SkyRide facility kitchen equipment.

Rick Chase seconded.

Motion carried with unanimous consent.

C. Spokane Falls Boulevard building height workgroup recommendations – *Lisa Key*, City of Spokane Planning Services director, presented an overview of the Spokane Falls Boulevard building height workgroup recommendations. Currently, there is a city ordinance which applies height restrictions on buildings along Spokane Falls Boulevard (DTC-100 zone) designed to prevent shading from buildings in Riverfront Park. Chris Wright pointed out in some cases, shading has a great benefit to the park and these restrictions can be a detriment. The building height workgroup was tasked with reviewing possible alternative design standards and identify scope for possible refinement to policy to be considered in the Downtown Plan update. The workgroup has developed the following recommendations: 1) plan for coordinated streetscape improvements along the boulevard; and 2) consider the elimination of the DTC-100 zone as part of the Downtown Plan update. The report is scheduled to come before city council late August/early September.

Motion No. 4: Ted McGregor moved to support, in concept, the framework of the building height workgroup's recommendations.

Mike Fagan seconded.

Motion carried with unanimous consent.

D. Park Board appointments – *Chris Wright*

Motion No. 5: Chris Wright moved to appoint Park Board members to the following positions: Nick Sumner as Park Board vice president, Greta Gilman as Riverfront Park Executive Team member and as Land Committee chair, and Jennifer Ogden as Joint Arts Committee member.

Rick Chase seconded.

Motion carried with unanimous consent.

7. **Committee Reports – Action Items:**

Urban Forestry Tree Committee: The July 3 meeting was canceled. – *Rick Chase*

A. Action Items: None

B. The next regularly scheduled meeting is 4:15 p.m. Aug. 1, 2017, at the Woodland Center, Finch Arboretum.

Golf Committee: The July 11 meeting was canceled – *Nick Sumner*

A. Action Items: None

B. The next scheduled meeting is 8:05 a.m. Aug. 8, 2017, Manito Park conference room, Manito Park.

Land Committee: July 5, 2017, *Greta Gilman*

A. Peaceful Valley Futsal Court change order #1 (\$26,975.91 plus tax) – *Garrett Jones* provided an overview of a change order which is necessary, in part, due to contaminated soil found under the court. The change order will also cover the cost of additional striping to create futsal, pickleball and handball courts under the Maple Street Bridge.

Motion No. 6: Greta Gilman moved to approve the Peaceful Valley futsal court change order #1 in the amount of \$26,975.91, plus tax.

Ross Kelley seconded.

Motion carried with unanimous consent.

B. Mission Park restroom facility purchase order (\$116,529.52 plus tax) – Greta Gilman provided an overview of a proposed ADA accessible restroom facility as part of the Mission Park Ability Ball Field Phase II project. This is a slight architectural upgrade to a standard restroom. It is designed as a four-stall, family-style facility which means there are no identified male/female stalls.

Motion No. 7: Greta Gilman moved to approve the purchase order for the new fully ADA accessible restroom facility at Mission Park in the amount of \$116,529.52 plus tax.

Sally Lodato seconded.

Motion carried with unanimous consent.

C. The next scheduled meeting is 3 p.m. Aug. 2, 2017, Park Operations Complex, 2304 E. Mallon.

Recreation Committee: July 6, 2017, *Sally Lodato*

A. Action Items: None

B. The next scheduled meeting is 3 p.m. Aug. 3, 2017, Northeast Youth Center, 3004 East Queen Ave.

Riverfront Park Committee: July 10, 2017, *Ted McGregor*

A. Amusement Rides selection update – *Jonathan Moog* provided an overview of the amusement ride selection process. Last month, the Park Board approved an amusement ride surplus resolution which directed staff to identify up to three rides to retain and to surplus the remaining rides (excluding the Tour Train, SkyRide and the Looff Carousel). Proceeds will be held in a separate account for the purchase of a ride or other recreational amenity. The proposed, temporary location for one of the selected rides is at the pond, located next to the ice ribbon on the south side of the park. Location for the second ride will be determined at a later date. Selection was based on the following criteria: 1) average attendance; 2) condition; 3) cost of repairs; 4) rides appraisal/value; 5) ease of setup on the pond; 6) weight on pond; and 7) technical maintenance/staffing. Based on these rating criteria, staff recommends the Park Board retain the Spider and the Berry-Go-Round. Mr. Moog explained this rides program will not experience cost recovery or break even; it is a goodwill measure for the community. The Spider is valued at about \$60,000 and the Berry-Go-Round isn't as high of a value. Mr. Moog estimated the proposed surplus rides equate to approximately \$180,000 which is fairly close to the cost of another ride for the park.

Motion No. 8: Ted McGregor moved to accept the recommendation of staff to retain the Spider and the Berry-Go-Round.

Sally Lodato seconded.

Motion carried with unanimous consent.

B. RFP Redevelopment budget amendment – *Berry Ellison* presented the proposed budget amendment to encumber and reallocate funds to various budgets. Encumbrances are reflective of recent contracts, change orders and amendments. Some budget increases are due to the following: 1) the city was awarded three Brownfield Cleanup EPA grants totaling \$600,000; 2) a \$500,000 RCO playground grant is anticipated for the North Bank Regional Playground; 3) a \$350,000 allocation from the Parks Capital Fund was approved to support Rotary Fountain upgrades; and 4) additional bond interest totals of approximately \$633,000.

With all of the non-bond funds included, the redevelopment budget is \$69,214,183. Staff was instructed to provide the delta on adjustments made since the budget was formally approved by the Park Board in May 2016.

Motion No. 9: Ted McGregor moved to approve redevelopment budget amendment as presented.

Rick Chase seconded.

Motion carried with unanimous consent.

C. Reallocate \$9,918.92 for South Gateway and Rotary Fountain design/Berger Partnership – *Ted McGregor* reviewed the time and materials contract amendment for the reallocation of \$9,918.02. This proposal does not involve additional fees. It is a shift of services within the Berger Partnership contract and covers the cost of improvements to the Howard Street Bridge South, South Gateway and the Rotary Fountain construction.

Motion No. 10: Ted McGregor moved to reallocate \$9,918.92 within the Berger Partnership agreement for services on the South Gateway and Rotary Fountain.

Ross Kelley seconded.

Motion carried with unanimous consent.

D. Recreational Rink and SkyRide facility additional services/Stantec Architecture (\$1,430) *Berry Ellison* reviewed the additional services which include modifying various equipment and systems to Park-Wide standards, such as irrigation controls, lighting controls and HVAC controls.

Motion No. 11: Ted McGregor moved to approve the additional services with Stantec Architecture for the work on the Recreational Rink and SkyRide facility in the amount of \$1,430.

Sally Lodato seconded.

Motion carried with unanimous consent.

E. Howard Street Bridge South change order #5/T. LaRiviere (\$22,577.99) – *Ted McGregor* and *Berry Ellison* presented a proposed change order which involves owner-directed changes which include rock fill, surveying, fencing, striping and irrigation re-routing. This expenditure is within the contingency for the bridge.

Motion No. 12: Ted McGregor moved to approve the Howard Street Bridge South change order #5 with T. LaRiviere in the amount of \$22,577.99.

Jennifer Ogden seconded.

Motion carried with unanimous consent.

F. Looff Carrousel change order #2/Walker Construction (\$2,545) – *Ted McGregor* provided an overview of the change order which includes owner-requested changes involving raised footings and foundations, electrical connections, minor boiler and chiller modifications, extension of foundation walls and omission of Geotextile fabric in landscape areas.

Motion No. 13: Ted McGregor moved to approve the Looff Carrousel change order #2 with Walker Construction in the amount of \$2,545.

Rick Chase seconded.
Motion carried with unanimous consent.

G. West Havermale Island/Power Play(ground) 30% design – *Berry Ellison* reviewed the West Havermale 30% design which includes a design alternate for the Power Play(ground). The Power Play(ground) is not a bond-budgeted project and is currently on hold pending potential funding opportunities.

Motion No. 14: Ted McGregor moved to approve the West Havermale Island/Power Play(ground) 30% design as presented.

Mike Fagan seconded.
Motion carried with unanimous consent.

H. Recreational Rink and SkyRide facility contract extension/Morrison Construction (\$30,000) – *Berry Ellison* reviewed the contract extension to increase time and budget in the amount of \$30,000 to cover July 1, 2017, through Feb. 28, 2018. The extension involves construction management services on the Recreational Rink and SkyRide facility.

Motion No. 15: Ted McGregor moved to approve the Recreational Rink and SkyRide facility contract extension through Feb. 28, 2018, with Morrison Construction in the amount of \$30,000.

Sally Lodato seconded.
Motion carried with unanimous consent.

I. Riverfront Park redevelopment update – *Garrett Jones* presented the monthly bond update. Project highlights include: 1) Howard Street Bridge South – is in the first phase of the Promenades with completion set for fall 2017; 2) Recreational Ice Ribbon/SkyRide facility – the ticketing and concessions facility is in progress and the ice ribbon pathway is carved out with construction through fall 2017; 3) Looft Carousel – the rotunda is in place with completion set for spring 2018; and 4) Pavilion – the Garco/NAC/Berger design-build team is midway through the 120-day design validation phase.

J. The next scheduled meeting is 8:05 a.m. Aug. 7, 2017, in the City Council Briefing Center.

Finance Committee: July 11, 2017, *Ross Kelley*

A. List of potential items to be funded by excess fund balance – *Ross Kelley* reviewed a list of potential items to be funded by the approximately \$770,000 excess fund balance. The list of proposed items include: 1) Recreation projects - TRS Snow Chalet repairs and the Southeast Sports Field Grant Match at \$295,000; 2) Riverfront Park projects - Fountain Café remodel and capital campaign/Parks Foundation staffing at \$230,000; 3) Golf projects - Qualchan-Latah Creek bank stabilization study and Indian Canyon irrigation design services at \$45,000; and 4) Park Operations - Dutch Jakes Park/grant match and Rochester Heights improvements/neighborhood match at \$200,000. Questions were raised regarding using capital funds versus excess funds for some of the proposed projects. Particular items under question included the snow chalet, bank stabilization study and the irrigation design project. *Ross Kelley* explained if finances continue as they are now, there may be additional funds in the 2017 excess fund balance.

Motion No. 16: *Ross Kelly* moved to accept the presented list of items to be funded by 2017 excess fund balance.

Mike Fagan seconded.
Motion carried with unanimous consent.

B. 2018 budget calendar – *Ross Kelley* introduced the 2018 budget calendar outline. The finalized budget proposal is scheduled to come before the Park Board in October and will be presented to city council for consideration by early November. Chris Wright reminded committee chairs this is the time to review their budgets closely and to be prepared to request funds where needed.

Motion No. 17: Ross Kelley moved to approve the 2018 budget calendar as presented.

Mike Fagan seconded.
Motion carried with unanimous consent.

C. 2018 budget guidelines – *Mark Buening* reviewed the budget guidelines for next year. Mr. Buening explained he will be evaluating different options to achieve a separate Capital Improvement Project (CIP) fund for Parks projects. He also plans to evaluate the impacts on Parks Fund due to mandatory requirements imposed by the State, such as the increased minimum wage, mandatory sick leave and the new Family Leave Act. The Finance Department will develop a funding methodology for a multi-year, capital replacement plan for fleet vehicles, Park Operations maintenance equipment and some other recreation equipment.

Motion No. 18: Ross Kelley moved to approve the 2018 budget guidelines as presented.

Sally Lodato seconded.
Motion carried with unanimous consent.

D. Byrne Park restroom major repairs low bidder – *Ross Kelley* reviewed the proposed contract with Engineering Remediation Resource Group to repair the Byrne Park historic restroom in the amount of \$223,800 plus tax which includes the alternate #1 scope. The restroom was damaged during the 2015 windstorm.

Motion No. 19: Ross Kelley moved to approve the contract with Engineering Remediation Resource Group for repair of the Byrne Park restroom in the amount of \$223,800 plus tax.

Mike Fagan seconded.
Motion carried with unanimous consent.

E. Finch Arboretum Community Garden – Ross Kelley reported there was consideration to present a proposed Memorandum of Understanding involving Parks and Recreation, Associated Garden Clubs of Spokane and Finch Arboretum Community Garden Rules. Since the Finance Committee meeting, additional information was discovered which precludes Park Board action at this time.

Motion No. 20: Jennifer Ogden moved to defer action on a proposed Memorandum of Understanding with the Associated Garden Clubs of Spokane and Finch Arboretum Community Garden Rules. The MOU will return to the Land Committee for further consideration.

Ross Kelley seconded.
Motion carried with unanimous consent.

F. The next regularly scheduled meeting is 3 p.m. Aug. 8, 2017 in City Hall Conference Room 2B.

Bylaws Committee: *Ross Kelley*

A. A future meeting will be scheduled to address how the Park Board fills a president or vice president vacancy as the current bylaws do not include a succession policy.

B. The Bylaws Committee has two members and optionally should have three members.

10. **Reports:**

Park Board President: *Chris Wright*

1. In the interest of time, Chris Wright did not present a report.

Liaison reports:

1. Conservation Futures Liaison – *No report.*
2. Parks Foundation Liaison – *No report.*
3. Council Liaison – *Mike Fagan* reported the comprehensive plan was adopted and is available at Planning.

Director's report: *Jason Conley, acting Parks director*

1. Jason Conley extended his best wishes and gratitude to *Jeff Bailey* who has been with Parks and Recreation since 2005. Mr. Bailey has accepted a position with the Spokane County Sheriff's Department. *Carl Strong* will be the new Park Operations assistant director. Mr. Strong will vacate his position as Recreation assistant director and accept his new position July 17.

11. **Correspondence:**

A. Letters/emails: Pavilion design
Climbing wall

B. Newsletters:

Corbin Senior Activity Center
Hillyard Senior Center
Sinto Senior Activity Center
Southside Senior and Community Center

12. **Public Comments:**

A. Bosch Lot

1. *Carol Ellis* asked the Park Board to consider developing a veterans', ADA accessible park at the site of the Bosch Lot. Ms. Ellis reported individuals relying on walking aides, such as walkers, canes and crutches, are unable to ascend the slope under the Monroe Street Bridge. Ms. Ellis believes the Bosch Lot offers a level access and the best views of the falls.

2. *Eileen Martin* addressed the Bosch Lot Letter of Intent (LOI) which was adopted at the April 13, 2017, Park Board meeting. The LOI outlines the intentions of the Parks, Public Works and Finance divisions to work together on an interdepartmental agreement for a property exchange. Ms. Martin shared her concern of exchanging the land and believes there needs to be public input before a determination is made. Ms. Martin also expressed her concern for a climbing wall facility being allowed on the Bosch Lot as this is not outdoor recreation use which is a stipulation on this RCO

parcel. Park Board members explained no decisions have been made and the LOI is only an interdepartmental agreement the city agencies will work together toward the future use of the property.

13. **Executive Session:** None

14. **Adjournment:** 5:08 p.m.

15. **Meeting Dates:**

A. Next Committee meeting dates:

Urban Forestry Committee: 4:15 p.m. Aug. 1, 2017, Woodland Center, Finch Arboretum

Golf Committee: 8:05 a.m. Aug. 8, 2017, Manito Park conference room, Manito Park

Land Committee: 3 p.m. Aug. 2, 2017, Park Operations Complex, 2304 E. Mallon

Recreation Committee: 3 p.m. Aug. 3, 2017, Northeast Youth Center, 3004 East Queen Ave.

Riverfront Park Committee: 8:05 a.m. Aug. 7, 2017, City Council Briefing Center

Finance Committee: 3 p.m. Aug. 8, 2017, City Hall Conference Room 2B

B. Park Board: 1:30 p.m. Aug. 10, 2017, City Council Briefing Center

C. Joint City Council/Park Board study session: 3:30 p.m. Aug. 10, 2017, City Council Briefing Center

Minutes approved by: _____


Jason Conley, Parks and Recreation acting director

SYSCA

**Spokane Youth
& Senior Centers
Association**

2nd Quarter Highlights: SYSCA Centers 2017

Association members:

- Corbin Senior Activity Center
- East Central Community Center
- Hillyard Senior Center
- Mid-City Concerns Senior Center
- Northeast Youth Center
- Project Joy
- Sinto Senior Activity Center
- Southside Senior & Community Center
- Southwest Spokane Community Center
- West Central Community Center



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Spokane Youth
& Senior Centers
Association

SYSCA Centers "By The Numbers"

- In the 2nd Qtr of 2017 SYSCA partners have delivered over 150,000 participant hours of senior/youth programs services spread amongst the 10 senior and youth centers.
- SYSCA Centers fundraised Thousands of Dollars in the 2nd Qtr of 2017, to leverage with Park Funds and provide hundreds of programs and services for these two at risk populations.
- Center volunteers provided thousands of hours in donated time to help better programs & services

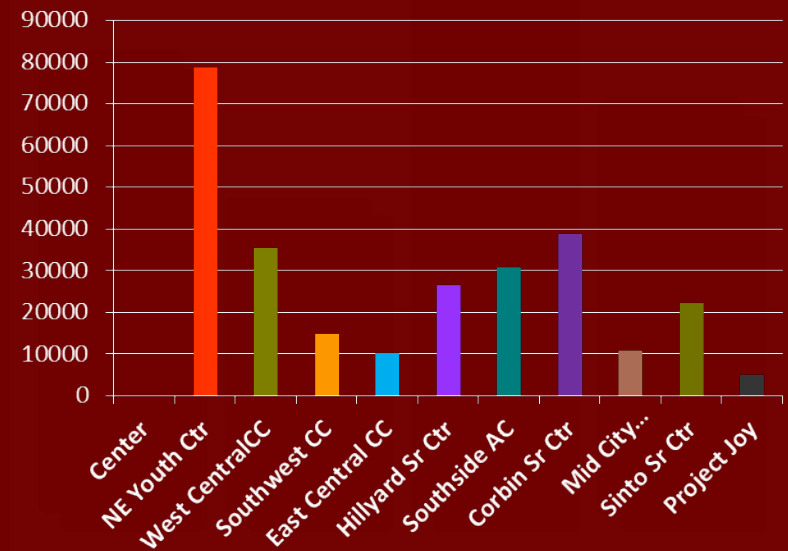
SYSCA

**Spokane Youth
& Senior Centers
Association**

2017 SYSCA Quarterly Attendance Totals

Center	Attendances By Quarter				Attendance
	1st Qtr	2nd Qtr	3rd Qtr	4th Qtr	YTD Totals
NE Youth Ctr	29,762	48,967			78,729
West Central CC	14,434	20,889			35,323
Southwest CC	5,939	8,972			14,911
East Central CC	4,572	5,673			10,245
Hillyard Sr Ctr	13,727	12,806			26,533
Southside AC	16,150	14,675			30,825
Corbin Sr Ctr	18,713	20,006			38,719
Mid City Concerns	5,233	5,586			10,819
Sinto Sr Ctr	12,282	10,060			22,342
Project Joy	2,360	2,760			5,120
Grand Totals	127,022	150,394			277,416

Attendance



SYSKA

**Spokane Youth
& Senior Centers
Association**



**HERE'S WHAT
WE'VE BEEN UP
TO LATELY!**



SYSCA

**Spokane Youth
& Senior Centers
Association**

Northeast Youth Center "Summer Fun"



The Northeast Youth Center has had a busy summer! We have 174 kids Enrolled. They are busy exploring Spokane!

Here's what we've done this summer!!

- tours of the local Universities
- traveled the beautiful outdoors
- conquering fears in our outdoor adventures!
- learned how to cook & about healthy foods with Second Harvest & WSU
- participated in the PALS program at Friendship park
- daily creations of crafts & science experiments.
- daily trips to parks and the Hillyard Pool!



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**Spokane Youth
& Senior Centers
Association**

Southwest Spokane Community Center



This summer the SWCC Day Camp partnered with Boy Scouts of America for weekly **group games and crafts**, WSU's ENFEP for **youth nutrition classes** two days a week, and Spokane Public Library for an ongoing **Summer Reading Challenge**. Daily, SWCC staff develop various trivia, scavenger hunts, and jeopardy games based on the neighborhood, the environment, US history, and current events which they incorporate into our schedule. In addition we've provided **field trips** to Witter Pool, Discovery Park, Mobius Science Center, Pattison's, Finch Arboretum. Our Program included a mixture of physical and creative activities as well as critical thinking and team building exercises!



SYSCA

**Spokane Youth
& Senior Centers
Association**

West Central Community Center



The youth in our program have been swimming, hiking, bowling, reading, painting, and enjoying their summer with the WCCC. We have had record numbers of participants this quarter in our youth programming and can't wait to see what the Fall has in store for us!

West Central has been taking advantage of Spokane's great outdoors! From trips to the pool in A.M. Cannon park to day trips to Camp Dart-Lo.



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**Spokane Youth
& Senior Centers
Association**

East Central Community Center

SYSCA

**Spokane Youth
& Senior Centers
Association**

Corbin Senior Activity Center " Tea-riffic Time "



Corbin Senior Center recently celebrated it's Annual "Spring Tea" It Included a busy weekend with "77 registered vendors & approx. 350 visitors to the fair. The event offered free admission, many screenings, massages, drawings, and great information. 43 new individuals joined as members at Corbin that day."

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**Spokane Youth
& Senior Centers
Association**

Hillyard Senior Activity Center

2017 Summer Recreation Highlights Included:

- Annual Talent & Variety Show
- Summer Strawberry Social
- Annual Pool Party
- 19th Senior Summer Croquet League



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& Senior Centers
Association



May through June of 2017 Project Joy's Entertainers performed 95 times in the Spokane area. **"Don Brumfield"** (above) entertained 8 of those performances. Don features guitar and ukulele of traditional and contemporary songs in his program.

Project Joy "Senior Entertainers"

Caprice, " presents the mello sounds of cello and guitar music in a variety of styles: chamber, classical, and traditional favorites. Caprice entertained 4 times during 2nd quarter 2017.



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& Senior Centers
Association**

Mid-City Concerns Senior Center



Mid City hosted Dick Frost the Magician, who performed a great magic show! In May, we also held our Mother's Day Tea & Senior Prom, followed by our summer picnic in June at CDA Park with games, cards and lunch!



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**Spokane Youth
& Senior Centers
Association**

Sinto Senior Activity Center



Sinto sent 15 members on a San Juan Island whale watching trip In July and we also took a local jaunt to pick cherries at Greenbluff. The last picture is two of our fabulous volunteers who served at our big Prime Rib Dinner and Auction fundraiser. We had over 125 people attend & utilized an army of volunteers to pull the event off.

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**Spokane Youth
& Senior Centers
Association**

Southside Senior & Community Center



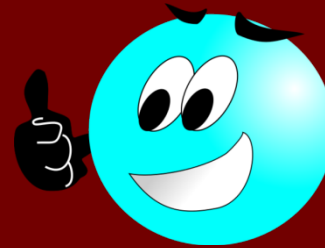
In June a group of 11 adventurers fell in love with eastern Europe on a 10-day Avalon River Cruise from Prague to Budapest.

Also, 42 travelers from the Center and beyond will embark on a Cosmos tour of Sicily. Twenty two will come prior to the tour to experience Rome and nine will continue on to Athens for a Greek Island Cruise. **At SSCC, We are going places!**

SYSCA

**Spokane Youth
& Senior Centers
Association**

THANK YOU!



**We Thank You for your support
and continued partnership with
the SYSCA organization.**

"Together we continue to make Great things happen!"

***CITY OF SPOKANE PARK AND RECREATION DEPARTMENT
JULY 2017 EXPENDITURE CLAIMS
FOR PARK BOARD APPROVAL - AUGUST 10, 2017***

PARKS & RECREATION:

SALARIES & WAGES	\$	965,310.30
MAINTENANCE & OPERATIONS	\$	396,634.65
CAPITAL OUTLAY	\$	32,390.30
PARK CUMULATIVE RESERVE FUND	\$	136,952.38

RFP BOND 2015 IMPROVEMENTS:

CAPITAL OUTLAY	\$	699,051.87
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GOLF:

SALARIES & WAGES	\$	162,183.09
MAINTENANCE & OPERATIONS	\$	270,296.97
CAPITAL OUTLAY	\$	44,575.46

TOTAL EXPENDITURES:	\$	2,707,395.02
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Financial Reports
July 2017

City of Spokane Parks & Recreation

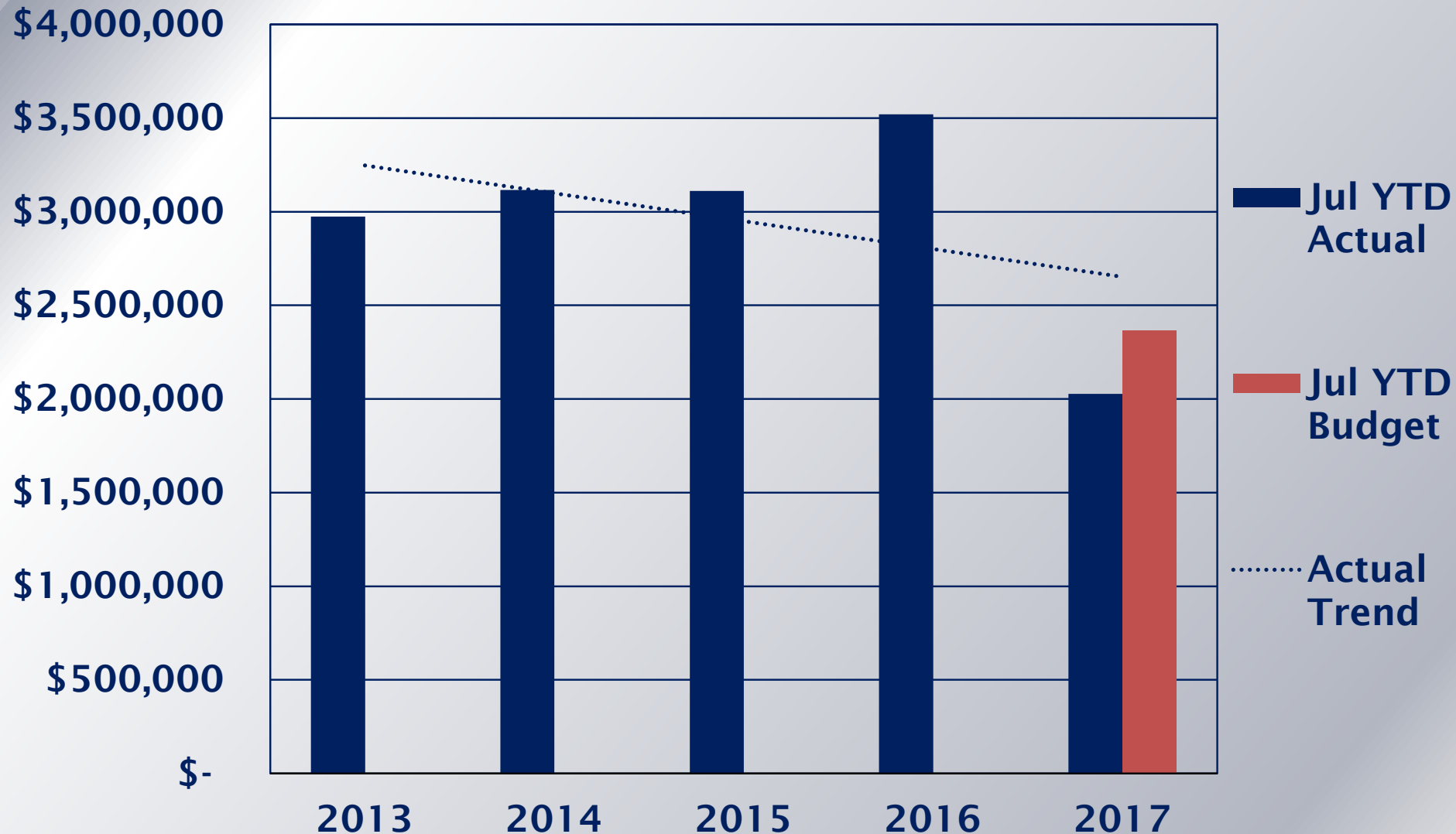
PARK FUND – Revenues & Expenditures

As of July 2017 (in millions)	2017 Budget	YTD Budget	YTD Actual	% YTD Budget
Park Revenue	4.65	2.36	2.14	90.74%
Transfers In	13.81	8.00	8.04	100.62%
Funds Available	18.46	10.36	10.19	98.36%
Expenditures	- 16.01	- 7.62	- 8.08	106.05%
Transfers Out	- 0.32	- 0.14	0.00	0.00%
Capital Outlay	- 4.15	- 0.36	- 0.81	223.69%
2015 Windstorn	- 0.08	- 0.04	- 0.15	435.86%
NET	- 2.10	2.20	1.14	
Beg. Noncommitted Bal*	0.56			
End Noncommitted Bal	1.70			

*For clarification purposes, the 7% Reserve is a reduction against the Beginning Balance.

Park Fund Revenue

5 Year Trend & YTD Budget



City of Spokane Parks & Recreation

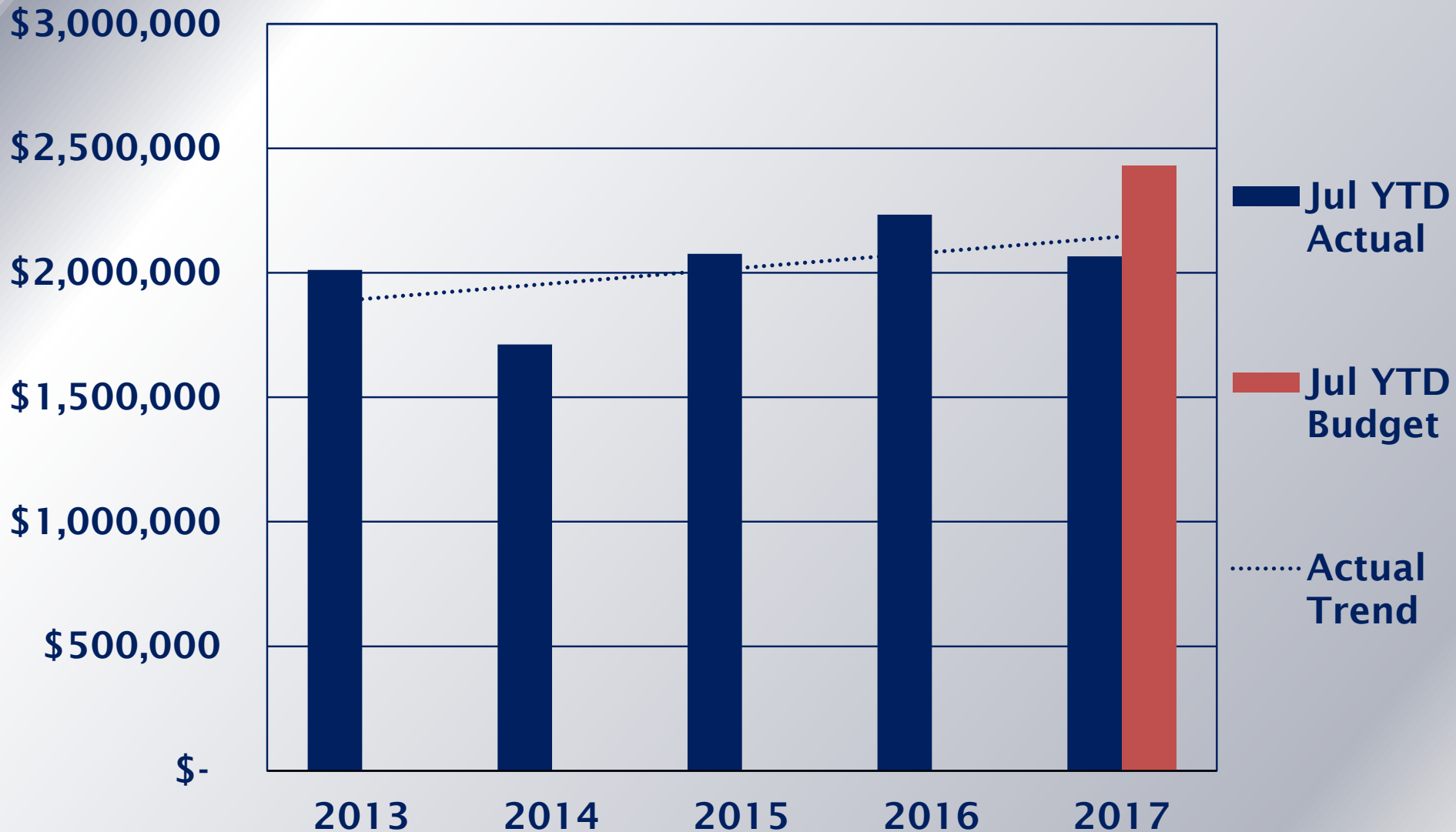
GOLF FUND – Revenues & Expenditures

As of July 2017 (in millions)	2017 Budget	YTD Budget	YTD Actual	% YTD Budget
Golf Revenue	3.68	2.43	2.07	84.95%
Transfers In	0.00	0.00	0.00	0.00%
Funds Available	3.68	2.43	2.07	84.95%
Expenditures	- 3.39	- 1.54	- 1.53	99.16%
Transfers Out	0.00	0.00	0.00	0.00%
Capital Outlay	- 0.30	- 0.10	- 0.12	122.39%
NET	- 0.01	0.79	0.42	
Beg. Noncommitted Bal*	- 0.06			
End Noncommitted Bal	0.36			

*For clarification purposes, the 7% Reserve is a reduction against the Beginning Balance.

Golf Fund Revenue

5 Year Trend & YTD Budget



City of Spokane Parks & Recreation

Riverfront Park Bond Fund

Project Component	Budget	Expended as of 07/31/2017	Committed to Date	Total of YTD Expended and Committed	Budget Balance to Date
1. South Bank West	\$ 9,434,916.00	\$ 2,939,534.97	\$ 5,401,772.97	\$ 8,341,307.94	\$ 1,093,608.06
2. South Bank Central	\$ 10,195,833.00	\$ 3,066,064.76	\$ 5,253,483.60	\$ 8,319,548.36	\$ 1,876,284.64
3. Howard Street South Channel Bridge	\$ 7,216,139.00	\$ 5,097,507.77	\$ 1,272,394.61	\$ 6,369,902.38	\$ 846,236.62
4. Promenades and Centennial Trail	\$ 7,305,876.00	\$ 216,162.48	\$ 264,619.46	\$ 480,781.94	\$ 6,825,094.06
5. Havermale Island	\$ 19,662,236.00	\$ 209,383.48	\$ 459,740.39	\$ 669,123.87	\$ 18,993,112.13
6. snxw mene	\$ 10,268.00	\$ 1,741.42	\$ -	\$ 1,741.42	\$ 8,526.58
7. North Bank	\$ 5,629,772.00	\$ 120,697.33	\$ 2,284.80	\$ 122,982.13	\$ 5,506,789.87
8. South Bank East	\$ 158,682.00	\$ 63,598.37	\$ 77,950.46	\$ 141,548.83	\$ 17,133.17
Program Level Owner Costs	\$ 6,311,278.00	\$ 3,274,584.05	\$ 1,084,468.96	\$ 4,359,053.01	\$ 1,952,224.99
TOTAL	\$ 65,925,000.00	\$ 14,989,274.63	\$ 13,816,715.25	\$ 28,805,989.88	\$ 37,119,010.12



July 24, 2017

REVISED

Mr. Nick Hamad, PLA
City of Spokane Parks and Recreation
808 West Spokane Falls Boulevard
Spokane, WA 99201-3333

Civil Engineers

Structural Engineers

Project: Finch Arboretum Master Plan, AHBL No. 2170448.40
Subject: Revised Proposal for Landscape Architecture Services

Landscape Architects

Dear Nick:

Community Planners

Thank you for the opportunity to submit this revised proposal for landscape architecture services for the Finch Arboretum Master Plan. Our understanding of the project's needs and scope is based on our meeting with you on June 15, 2017, the Arboretum Walking Tour map, and the Garden Springs Restoration pamphlet.

Land Surveyors

Neighbors

In their ongoing effort to manage the John A. Finch Arboretum, Urban Forestry has requested AHBL assistance in the preparation of a Master Plan document for the Arboretum. The Master Plan will be a guidance document for Urban Forestry and the Spokane Park Board to use to focus future improvements. The Master Plan will address the 65-acre park, the street tree exhibit along Woodland Boulevard, and public property along West 13th Avenue and Lindeke Street associated with the Arboretum.

Assumptions:

- The City will provide GIS and/or AutoCAD drawings of the current park conditions and copies of historical documents in Parks' archives during the inventory portion of the project.
- City staff will organize and distribute mailings, public surveys, and announcements for public meetings.
- Deliverables will be provided to the City in PDF and original document format (Photoshop, Illustrator, etc.).
- Urban Forestry will complete a review of the Arboretum collection and provide an inventory and assessment of existing trees.
- Reimbursable expenses such as travel and reprographics are included in the tasks below and will not be billed separately.

SPOKANE

827 West First Avenue

Suite 220

Spokane, WA 99201-3904

509.252.5019 TEL

www.ahbl.com

Our scope of services is listed below.



Inventory and Analysis – Task 41

1. Perform site visits and reconnaissance to photograph and review site elements and surrounding conditions. Complete a visual survey of physical elements within the project boundaries. This task will be accomplished by Spokane staff.
2. Prepare an analysis of three to four arboreta of similar size in cities comparable to Spokane.
3. Prepare a questionnaire for public outreach and survey. Once the survey is completed, AHBL will review and tally survey results for analysis.
4. Prepare for and attend one public open house to introduce the public to the project and seek additional survey responses and public feedback. One trip by Seattle staff is included in this task.
5. Meet with City staff to review, analyze, and discuss inventory findings. This scope of work allows 4 hours for meeting time. One trip by Seattle staff is included in this task.

Task Deliverables

- Visual Survey Diagram
- Similar Arboretum Analysis
- Public Survey Results
- Inventory and Analysis Summary
- Meeting Minutes

Visioning and Goal Setting – Task 42

6. Prepare for and attend one all-day visioning meeting with City staff and critical stakeholders to identify a Master Plan vision for the Arboretum and set defined goals to achieve the vision. One trip by Seattle staff is included in this task.
7. Prepare for and attend one public open house to introduce the public to the Arboretum vision and goals and to seek public feedback. This task will be accomplished by Spokane staff.

Deliverables

- Visioning and Goal Setting Summary
- List of goals with proposed implementation strategies attached to each
- Draft list of projects which may be implemented to reach goals

Final Master Plan – Task 43

8. Prepare a draft Master Plan defining the vision and goals, and indicating future improvements.
9. Prepare for and attend one meeting with City staff and critical stakeholders to identify priority projects. One trip by Seattle staff is included in this task.



10. Prepare a final Master Plan document including the following information:
 - a. Project Introduction and Process
 - b. Master Plan Diagram showing general location of selected improvements
 - c. Inventory Summary and Analysis
 - d. Visioning and Goal Setting Summary
 - e. Implementation Strategies
 - f. Project Priorities
 - g. Maintenance Recommendations
11. Prepare for and attend one public open house to present the draft Master Plan to the public and solicit feedback. One trip by Seattle staff is included in this task.

Deliverables

 - Draft Master Plan for review
 - Final Master Plan for review
 - Meeting Minutes
12. Prepare for and attend one Park Board meeting to present the completed Master Plan. This will be approximately a 15-minute presentation followed by Q&A with the Park Board. One trip by Seattle staff is included in this task.

Billing Summary

<u>Items</u>	<u>Description</u>	<u>Task No.</u>	<u>Amount</u>
Items 1-5	Inventory and Analysis	T-41	\$20,000
Items 6-7	Visioning and Goal Setting	T-42	20,000
Items 8-12	Final Master Plan	T-43	<u>20,000</u>
Total			\$60,000

You may not want us to provide some of the services listed above. We can discuss these services and the number of hours with you, and make adjustments as necessary.

Some of the tasks listed are influenced by factors outside of our control. Based on our experience, we have estimated the number of hours required to complete these tasks. During the course of the project, if it is determined that more hours are required to complete any of these tasks due to circumstances outside of our control, we will notify you immediately. We will not perform additional work until we have your written authorization. The task numbers on the invoice will correlate with this proposal.



Exclusions

This proposal does not include fees associated with agency reviews, submittals, or permits, nor does it include any work associated with the following services:

- a) Graphic products such as illustrative site plans, diagrams, sketches, etc.
- b) Work on horizontal layout of site elements. Any plan graphics will be simple and may show general locations of proposed improvements, but not their shape, size, or orientation.
- c) Any work on schematic or other design of specific site elements or amenity areas.
- d) Professional services of subconsultants, e.g., geotechnical and traffic engineers, or wetlands, wildlife, and other specialists.
- e) Offsite improvements.
- f) Costs associated with substantial redesign after preparation of design development drawings.
- g) Development of an opinion of probable construction costs, except where noted above.

The following item will need to be submitted to us before we can commence work:

- Signed contract

If you find this proposal acceptable, please prepare your standard contract. Our receipt of the signed contract or your written authorization will be our notification to proceed.

If you have any questions, please call me at (509) 252-5019.

Sincerely,

Jason Morse, PLA
Associate Principal

CDA/JM/lsk

- c: Angel Spell, Garrett Jones - Spokane Parks and Recreation
Craig Andersen - AHBL
Accounting

CITY OF SPOKANE, WASHINGTON

DEPARTMENT OF PARKS AND RECREATION

ROCHESTER HEIGHTS PARK

ASPHALT PATHWAYS & FITNESS AREA

2017.07.07 BID SET

DESCRIPTION OF WORK

BASE BID SCOPE

CONSTRUCT 1,025 LINEAL FEET OF NEW 6' WIDE ASPHALT PARK WALKWAY WITHIN THE NORTH HALF OF ROCHESTER HEIGHTS PARK.

- WORK INCLUDES, BUT IS NOT LIMITED TO, CLEARING AND GRUBBING OF EXISTING TURF SOD AND SUBSOIL, DEMO & DISPOSAL OF EXISTING ORGANIC SPOILS, IMPORT & PLACEMENT OF STRUCTURAL FILL, PLACEMENT OF CSTC & CDF BASE MATERIAL, INSTALLATION OF NEW 6' WIDE (MIN), 2" THICK HOT MIX ASPHALT WALKWAY, AND REPAIR/ADJUSMENT OF LANDSCAPE AND IRRIGATION SYSTEMS IMPACTED BY CONSTRUCTION.

ADD/ALT 1

CONSTRUCT 1 NEW FITNESS AREA AND INSTALL ASSOCIATED OWNER FURNISHED EQUIPMENT.

- WORK INCLUDES, BUT IS NOT LIMITED TO, CLEARING AND GRUBBING OF EXISTING TURF SOD AND SUBSOIL, DEMO & DISPOSAL OF EXISTING ORGANIC SPOILS, IMPORT AND PLACEMENT OF ENGINEERED WOOD FIBER MULCH & GEOTEXTILE, FORMING & POURING OF (2) CONCRETE BENCH PADS, (1) ADA ACCESS RAMP, 163 LINEAL FEET OF CONCRETE CONTAINMENT CURB, INSTALLATION OF (6) OWNER FURNISHED PIECES OF FITNESS EQUIPMENT AND (2) OWNER FURNISHED BENCHES, AND REPAIR OF LANDSCAPE AND IRRIGAION SYSTEMS IMPACTED BY CONSTRUCTION.

ADD/ALT 2

SUPPLY & INSTALL 4"Ø IRRIGATION SLEEVING BENEATH PROPOSED PATHWAY PER DETAILS. SLEEVING LOCATION TO BE DETERMINED IN THE FIELD BY LANDSCAPE ARCHITECT.

ADDITIONAL WORK REQUIREMENTS

WORK SHALL BE EXECUTED ACCORDING TO THE ATTACHED CONSTRUCTION DRAWINGS, PLAN NOTES, AND IN THE ABSENCE OF DIRECTION ON THESE DRAWINGS, 'THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, CURRENT EDITION' AND 'THE OF THE STANDARD PLANS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION CURRENT EDITION', BOTH AS PREPARED BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT). THE STANDARD SPECIFICATIONS ARE HEREBY MADE A PART OF THIS CONTRACT. THE STANDARD SPECIFICATIONS, EXCEPT AS MAY BE MODIFIED OR SUPERSEDED BY THESE CONTRACT DOCUMENTS, SHALL GOVERN ALL PHASES OF THE WORK SPECIFIED IN THESE CONTRACT DOCUMENTS.

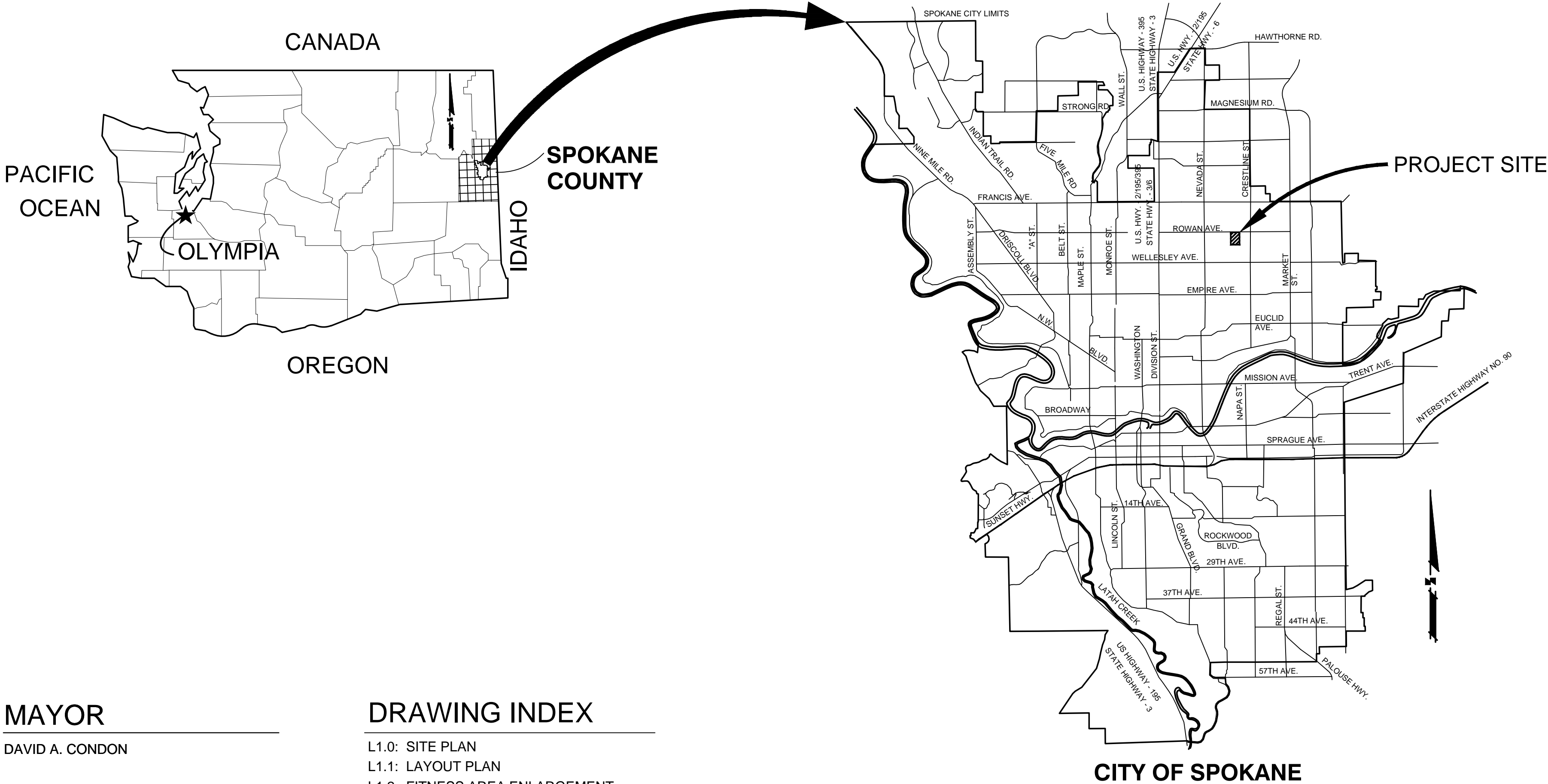
ALL WORK, INCLUDING APPROXIMATE QUANTITIES FOR EACH SITE, SHALL BE MUTUALLY AGREED UPON BY THE CONTRACTOR AND OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORK.

REQUIRED COMPLETION DATE

ALL WORK SHALL BE COMPLETED BY NOVEMBER 1, 2017

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO BID SUBMISSION. ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND PROJECT INTENT / CONTRACT DOCUMENTS AFFECTING THE COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. COST OF LOCATES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY OBTAINING ALL PERMITS, INCLUDING RIGHT-OF-WAY OBSTRUCTION PERMITS WHERE APPLICABLE.
- CONTRACTOR IS RESPONSIBLE FOR INCIDENTAL TRAFFIC CONTROL MEASURES AS REQUIRED IN ACCORDANCE WITH THE MANUAL ON TRAFFIC CONTROL DEVICES (MUTCD) AND WASHINGTON STATE MODIFICATIONS TO THE MUTCD.
- PRESERVE AND PROTECT EXISTING IMPROVEMENTS TO REMAIN. REPAIR OR REPLACE ALL HARDSCAPE AND SOFTSCAPE DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY.
- TREE PRUNING, AIR SPADING AND ROOT PRUNING SHALL BE PERFORMED BY CITY OF SPOKANE ARBORIST. CONTRACTOR SHALL COORDINATE DIRECTLY WITH CITY OF SPOKANE ARBORIST TO SCHEDULE WORK.
- OWNER WILL FURNISH COMPACTION & MATERIAL TESTING. IF CONTRACTOR FAILS TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL TESTING UNTIL COMPACTION AND MATERIALS MEET SPECIFICATION.



MAYOR

DAVID A. CONDON

COUNCIL MEMBERS

BEN STUCKART, CITY COUNCIL PRESIDENT
LORI KINNEAR
AMBER WALDREF
CANDACE MUMM
KAREN STRATTON
BREEAN BEGGS
MIKE FAGAN

CITY ADMINISTRATOR

THERESA SANDERS

DIRECTOR OF PARKS

LEROY EADIE

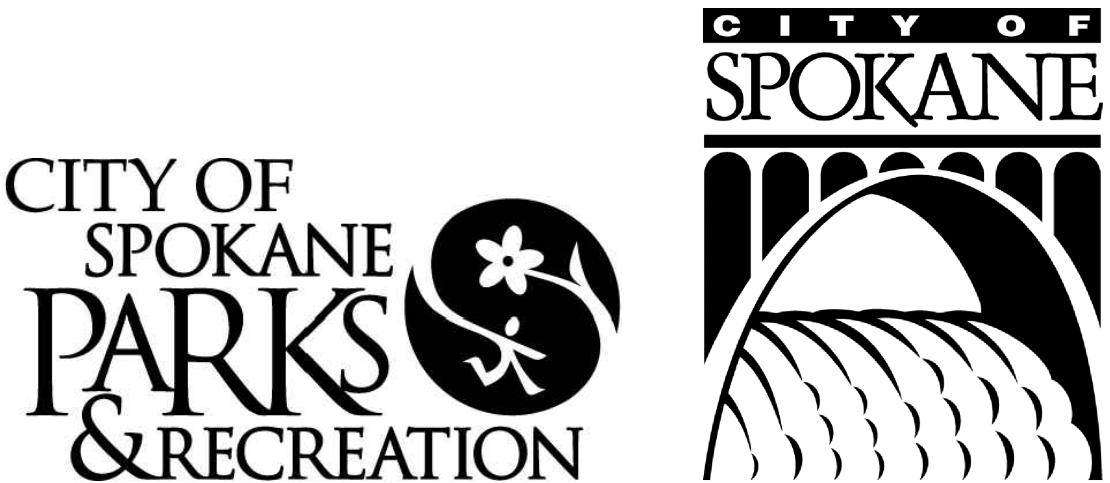
PROJECT CONTACT(S)

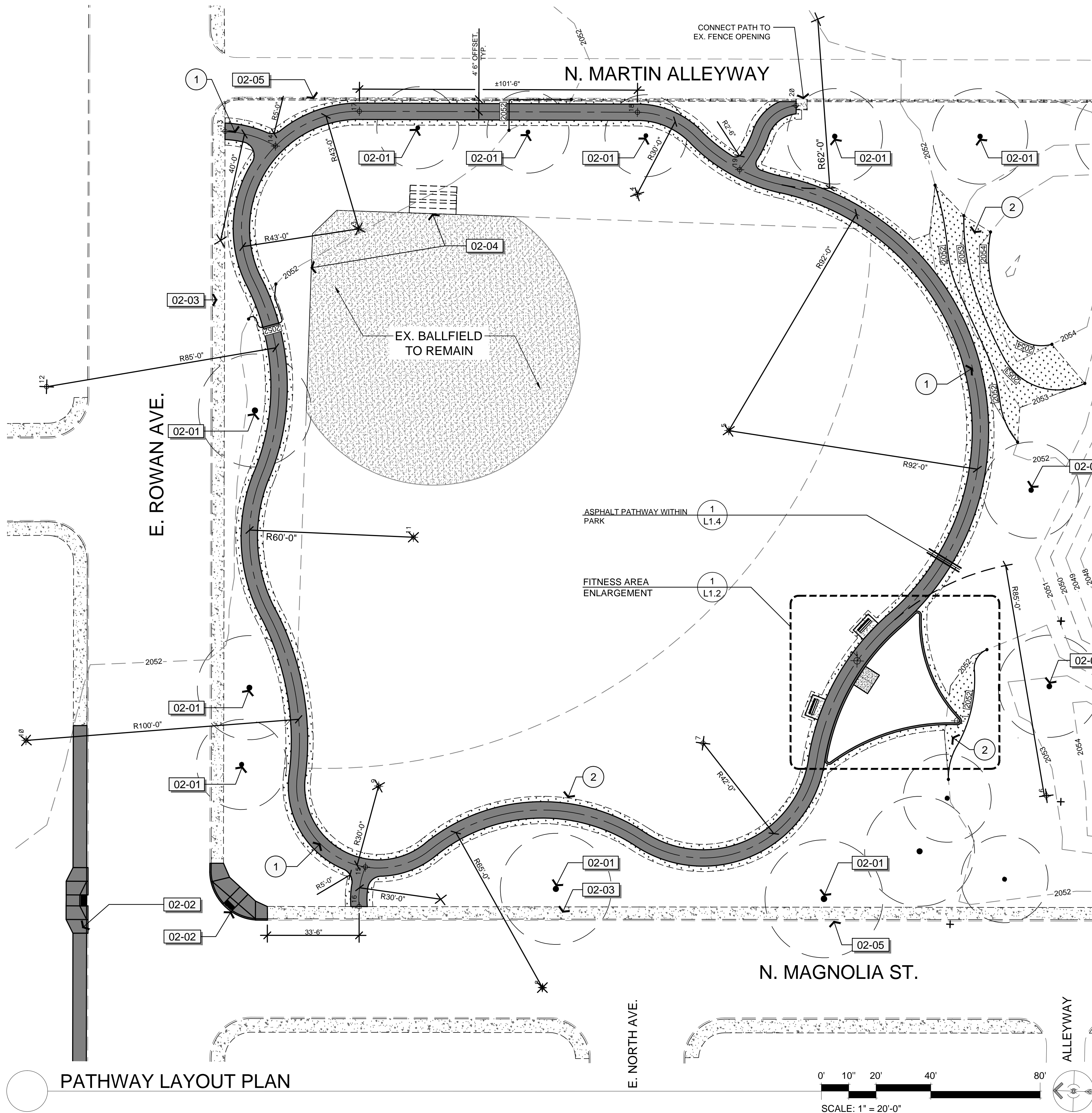
NICK HAMAD, PLA.
SPOKANE PARKS AND RECRATION
PROJECT MANAGER, (509) 363-5452

DRAWING INDEX

- L1.0: SITE PLAN
- L1.1: LAYOUT PLAN
- L1.2: FITNESS AREA ENLARGEMENT
- L1.3: FITNESS EQUIPMENT LAYOUT
- L1.4: DETAILS

WORK LOCATION		
SITE	WORK LOCATION	TYPE OF IMPROVEMENT
1.0	ROCHESTER HEIGHTS PARK 1801 E. EVERETT AVE. SPOKANE, WA 99207	NEW PATHWAY & FITNESS AREA INSTALLATION





PATHWAY LAYOUT PLAN



REFERENCE NOTES

SYMBOL	DESCRIPTION	DETAIL
1	NEW ASPHALT PATHWAY WITHIN PARK. CL 1/2" HOT MIX ASPHALT, 2" DEPTH. PITCH CROSS-SLOPE DOWNWARD TOWARD LOWEST ADJACENT LANDSCAPE. LONGITUDINAL SLOPE SHALL NOT EXCEED 4.5% (MAX).	1/L1.4
2	TURF REPAIR. SUPPLY & INSTALL 4" DEPTH TYPE 'A' TOPSOIL & NEW SOD LAWN TO REPAIR ALL TURF DAMAGED BY CONSTRUCTION.	
SYMBOL	EXISTING CONDITIONS DESCRIPTION	DETAIL
02-01	EXISTING TREE, PROTECT IN PLACE. SEE NOTES ON SHEET L1.4.	
02-02	EXISTING ADA RAMP & SIDEWALK, PROTECT IN PLACE. TYP.	
02-03	EX. SIDEWALK TO REMAIN. PROTECT IN PLACE.	
02-04	EX. FENCING & BLEACHERS TO REMAIN. PROTECT IN PLACE.	
02-05	EX. CURB TO REMAIN. PROTECT IN PLACE.	

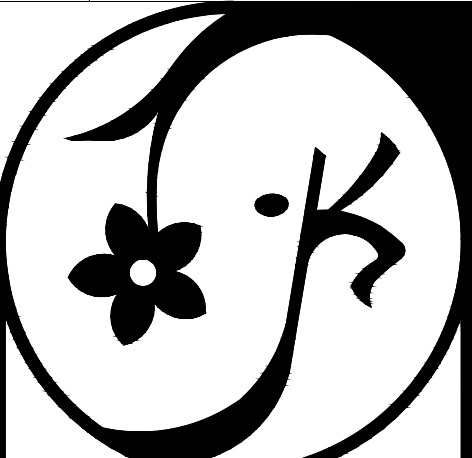
GRADING & REPAIR NOTES

- NEW PATHWAY SHALL NOT EXCEED 4.5% LONGITUDINAL SLOPE IN ANY LOCATION AND SHALL MAINTAIN 2%-2.5% CROSS-SLOPE IN ALL LOCATIONS.
- ALL IMPORTED FILL BENEATH WALKWAY TO BE CSTC, CDF, OR APPROVED EQUAL.
- COMPACT ALL STRUCTURAL FILL TO 95% REL. DENSITY (MIN).
- IMPORTED FILL OUTSIDE THE EXTENT OF THE PROPOSED WALKWAY SHALL BE APPROVED TYPE 'A' TOPSOIL. DO NOT EXCEED 85% COMPACTION WITHIN LANDSCAPE AREA.
- ALL ORGANIC SPOILS SHALL BE DISPOSED AT APPROPRIATE OFF-SITE FACILITY.
- TAPER FINISH GRADE FROM TOP OF PROPOSED WALKWAY TO ADJACENT LANDSCAPE WITH IMPORTED TOPSOIL. LANDSCAPE ARCHITECT TO APPROVE FINISH GRADING PRIOR TO PLACEMENT OF TURF SOD.
- CONTRACTOR TO REPAIR ALL DAMAGED LANDSCAPE AREA WITH TURF SOD.
- CONTRACTOR TO REPAIR ALL IRRIGATION IMPACTED BY CONSTRUCTION. RELOCATE EQUIPMENT AT DIRECTION OF LANDSCAPE ARCHITECT.
- CITY OF SPOKANE IRRIGATION TECHNICIAN TO INSPECT IRRIGATION REPAIRS PRIOR TO BACKFILL OF EXPOSED PIPING & EQUIPMENT.

LAYOUT & BASEMAP NOTES

- NORTHING/EASTING COORDINATES WERE CALCULATED USING WASHINGTON STATE PLANES, NORTH ZONE, US FOOT MAP COORDINATE SYSTEM (HARN/WO.WA-NF)
- SITE FEATURE LOCATIONS AND TOPOGRAPHIC DATA ARE NOT DERIVED FROM AN ENGINEERED SURVEY.
 - LOCATIONS OF ALL SITE FEATURES (CURBS, WALKS, UTILITIES, PROPERTY LINES, FENCES, WALLS, CONTOURS, TREES, ETC.) WERE EXTRAPOLATED FROM G.I.S. DATA, HISTORICAL SURVEY AND AERIAL PHOTOGRAPH. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, THE CITY OF SPOKANE CANNOT ENSURE ACCURACY.
 - THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING & PROPOSED SITE FEATURES PRIOR TO CONSTRUCTION, AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR APPARENT CONFLICTS WITHIN 24 HOURS OF DISCOVERY.
- THE CONTRACTOR SHALL STAKE THE CENTERLINE OF ALL PROPOSED PATHWAYS & SITE FEATURES FOR INSPECTION & APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CLEARING & GRUBBING OR PLACEMENT OF IMPROVEMENTS.
 - THE LANDSCAPE ARCHITECT MAY ALTER THE WALKWAY ALIGNMENT IN THE FIELD PRIOR TO AND DURING CONSTRUCTION.

NORTHING/EASTING POINT SCHEDULE			
POINT	DESCRIPTION	NORTHING	EASTING
1	POINT OF BEGINNING - FITNESS AREA	N 276954'-3"	E 2489884'-0"
2	2ND POINT OF BEARING - FITNESS AREA	N 276991'-9 1/4"	E 2489904'-8 3/8"
3	CENTER RADIUS - PATH	N 277179'-5 1/16"	E 2490056'-3"
4	CENTER RADIUS - PATH	N 277078'-2 5/16"	E 2490072'-5 5/16"
5	CENTER RADIUS - PATH	N 277041'-7 3/4"	E 2489987'-2 3/8"
6	CENTER RADIUS - PATH	N 276920'-10 11/16"	E 2489857'-9 3/8"
7	CENTER RADIUS - PATH	N 277047'-0 5/16"	E 2489872'-7 3/16"
8	CENTER RADIUS - PATH	N 277102'-7 1/4"	E 2489781'-2"
9	CENTER RADIUS - PATH	N 277165'-0 15/16"	E 2489852'-8 13/16"
10	CENTER RADIUS - PATH	N 277294'-6 1/8"	E 2489864'-10 5/8"
11	CENTER RADIUS - PATH	N 277155'-6 1/2"	E 2489944'-2 3/16"
12	CENTER RADIUS - PATH	N 277291'-6 3/8"	E 2489994'-5 13/16"
13	CENTER PATH - ADJACENT EX. WALK	N 277229'-7 3/4"	E 2490090'-1 13/16"
14	PATH INTERSECTION	N 277211'-0 1/8"	E 2490085'-5 1/8"
15	CENTER PATH - ADJACENT EX. WALK	N 277168'-10 3/8"	E 2489822'-11 11/16"
16	PATH INTERSECTION	N 277170'-7 11/16"	E 2489808'-5 1/4"
17	CENTER PATH - END ARC	N 277180'-9 5/16"	E 2490099'-2 3/4"
18	CENTER PATH - END ARC	N 277079'-1 5/8"	E 2490102'-5 3/16"
19	PATH INTERSECTION	N 277041'-0 5/16"	E 2490082'-9 3/16"
20	CENTER PATH - ADJACENT GATE	N 277021'-2 13/16"	E 2490106'-10 5/8"



CITY OF SPOKANE
PARKS & RECREATION



ROCHESTER HEIGHTS PARK
1801 E. EVERETT AVENUE.
LAYOUT PLAN

BAR IS ONE INCH ON ORIGINAL
DRAWING. IF NOT ONE INCH ON
THIS SHEET, ADJUST SCALES
ACCORDINGLY

DATE: 2017.07.07
DRAWN BY: NAH
CHECKED BY: NAH
PROJECT NO: -

REVISION	
1	3
2	4

SHEET 1 OF 4



L1.1
2017 IMPROVEMENTS



2017.07.24

Estimated schedule 1 (base bid - pathways): \$ 51,500.00
 Estimated schedule 2 (fitness area install): \$ 33,300.00
 Estimated schedule 3 (irrigation sleeving): \$ 1,000.00
 Estimated schedule 5 (): \$ -

ROCHESTER HEIGHTS PARK PATHWAYS & FITNESS AREA							Estimated Total Price (PARKS): \$ 85,800.00	
CONTRACTOR	BASE BID (ASPHALT PATHWAYS)	% of estimate	ALT. 1 (FITNESS AREA)	% of estimate	ALT 2. (IRRIG. SLEEVING)	% of estimate	TOTAL BID	% of estimate
Bacon Concrete, Inc.	\$ 56,800.00	110%	\$ 41,779.20	125%	\$ 1,632.00	163%	\$ 100,211.20	117%
AM Landshaper	\$ 80,587.00	156%	\$ 33,327.62	100%	\$ 1,890.94	189%	\$ 115,805.56	135%
E.R.R.G.	\$ 104,412.60	203%	\$ 51,620.16	155%	\$ 3,644.80	364%	\$ 159,677.56	186%
-	\$ -	0%	\$ -	0%	\$ -	0%	\$ -	0%
-	\$ -	0%	\$ -	0%	\$ -	0%	\$ -	0%

QUOTE

TO: CITY OF SPOKANE, WASHINGTON
PROJECT NAME: ROCHESTER HEIGHTS PARK ASPHALT PATHWAYS & FITNESS AREA

The undersigned firm has examined the site, read and understands the specifications for the above project and proposes to do the described work at the following price:

Item	Description	Amount
1	TOTAL BASE BID (include use tax – WAC 458-20-171):	\$ 56800.00
2	ALTERNATE #1 – CONSTRUCT NEW FITNESS AREA:	\$ 38400.00
3	ALTERNATE #2 – IRRIGATION SLEEVING:	\$ 1500.00
4	WA STATE RETAIL SALES TAX 8.8% (for items 2&3 only – WAC 458-20-170)	\$ 3511.20
5	TOTAL ALTERNATES & SALES TAX (items 2+3+4):	\$ 43411.20
6	TOTAL BASE BID + TOTAL ALTERNATES (item 1 + 5)	\$ 100211.20

The firm acknowledges receipt of Addendum number 1 and agrees that its requirements have been included in this quote.

The firm agrees that its quote will NOT be withdrawn for a minimum of forty five (45) calendar days after the stated submittal date.

CONTRACTOR RESPONSIBILITY.

Washington State Contractor's Registration No. BACONCI072L9

U.B.I. Number 601-398-658

Washington Employment Security Department Number 760832-00-5

Washington Excise Tax Registration Number 601-398-658

City of Spokane Business License Number T12011451BUS

COMPLETION TIME. All work under the Contract shall be started after the date of notice to proceed. Work once started shall be completed by **September 29, 2017**.

LIQUIDATED DAMAGES. If the work is not completed within the stated completion time, the Contractor agrees to pay to the City liquidated damages in the amount of **\$150.00** for each and every calendar day the work remains uncompleted.

RETAINAGE IN LIEU OF BOND. For Contracts up to \$35,000.00 including tax, the Contractor may opt for fifty percent (50%) retainage in lieu of bond. YES NO

I, the undersigned, an authorized representative of the undersigned Contractor, certify that it has not, either directly or indirectly, entered into any agreement, participated in any collusion, or otherwise taken any action in restraint of free competition in connection with the project for which this Quote is submitted.

FIRM NAME: Bacon Concrete, Inc.

DUNS NO.: 14-425-0198

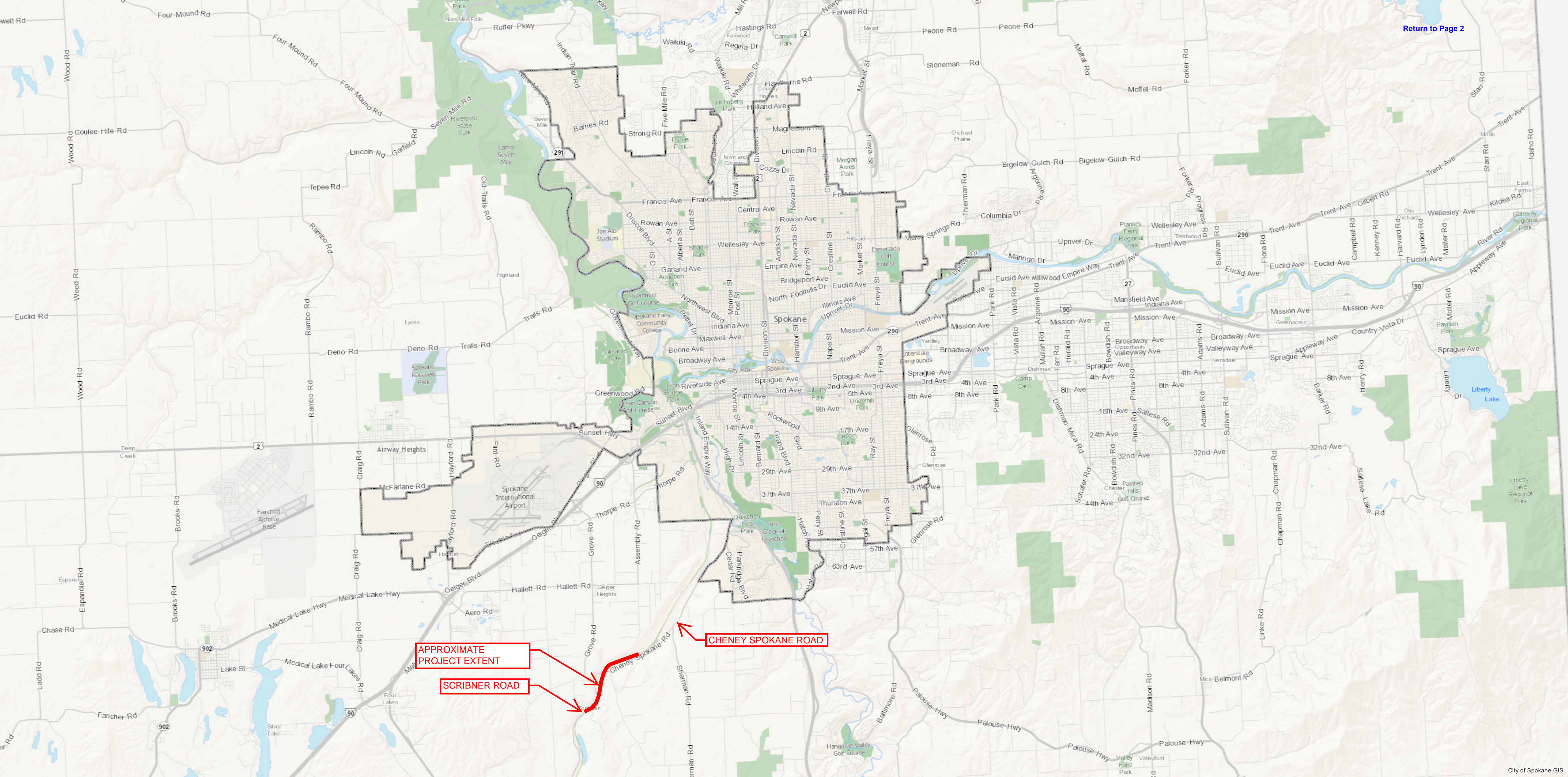
ADDRESS: 16510 N Brannon Ln

SIGNATURE: 

PRINT NAME: Greg Bacon

TITLE: President

PHONE: 509-924-3900



+/- 20 cracks in 1000 lineal feet of trail



BID TABULATION

BID NUMBER: SW54-17

BID TITLE: FISH LAKE TRAIL ASPHALT CRACK SEALING

DUE DATE: 7/20/2017



CITY OF SPOKANE - PURCHASING
808 W. Spokane Falls Blvd.
Spokane, Washington 99201-3316
(509) 625-6400
FAX (509) 625-6413

BIDS RECEIVED FROM:	Road Products, Inc. Spokane Valley, WA
QUANTITY AND DESCRIPTION	TOTAL PRICE
FISH LAKE TRAIL ASPHALT CRACK SEALING	\$303,501.00
TOTAL BID:	\$303,501.00
BID BOND	YES
ADDENDUM	N/A
CONTRACTOR LICENSE	ROADPI*053DT
NOTE: BID STIPULATED THAT CONTRACT WOULD BE AWARDED FOR UP TO \$65,000.00 MAXIMUM COST ONLY	

The Request for bid was e-mailed to over 20 Firms, with 1 bid response received.

PLEASE NOTE THAT THIS BID TABULATION IS NOT AN INDICATION OF AWARD RECOMMENDATION. CRITERIA, IN ADDITION TO PRICE, ARE EVALUATED TO DETERMINE RESPONSIVE BID MEETING SPECIFICATIONS. AWARD OF BID IS MADE BY PARKS BOARD.

UNIT PRICING PROVIDED BY THE LOW BIDDER
'ROAD PRODUCTS, INC.' FOR CONTRACT.

BID ITEMS / BASE BID

Schedule	Description	Tax Classification
1	- BASE BID Fish Lake Trail	- See Rule 171 in specs

Project Number: SW54-17

Fish Lake Trail Asphalt Crack Sealing

Bid Item No.	Estimated Quantity	a) Description of Bid Item b) Unit of Measure	Unit Price	Total Amount
101	1 EST	REIMBURSEMENT FOR THIRD PARTY DAMAGE (Per Estimated)	\$ 1.00	\$ 1.00
102	10,000 LF	CRACK SEALING, LESS THAN 1-INCH (Per Lineal Foot)	\$ 1.35	\$ 13,500.00
103	20,000 LF	CRACK SEALING, 1-INCH TO 6-INCH (Per Lineal Foot)	\$ 14.00	\$ 280,000.00
104	1 EA	MOBILIZATION (Per Lump Sum)	* * * * *	\$ 10,000.00
Total Schedule 1 Bid:				\$ 303,501.00

**CITY OF SPOKANE
PARKS AND RECREATION DEPARTMENT
CHANGE ORDER NO. 4**

NAME OF CONTRACTOR: Walker Construction

PROJECT TITLE: Looff Carrousel

CITY CLERK CONTRACT NUMBER: 2017-0143

=====

DESCRIPTION OF CHANGE:	AMOUNT:	\$93,910
CP-001- Riverfront Park South Bank East ADA Pathway, Add \$73,660; CP-006- Add CenturyLink Vaults and Conduits, Add \$9,173; CP-010- Carrousel Center Post Cable, Add \$11,077.		

Addition of 0 Calendar Days.

=====

TOTAL AMOUNT: \$93,910.00

CONTRACT SUM (EXCLUDE SALES TAX)	
ORIGINAL CONTRACT SUM (INCLUDE ALTERNATES)	\$7,064,600.00
NET AMOUNT OF PREVIOUS CHANGE ORDERS	\$ 872,096.00
CURRENT CONTRACT AMOUNT	\$7,936,696.00
CURRENT CHANGE ORDER (EXCLUDES SALES TAX)	\$ 93,910.00
REVISED CONTRACT SUM	\$8,030,606.00

CONTRACT COMPLETION DATE	
ORIGINAL CONTRACT COMPLETION DATE	12/19/17
CURRENT COMPLETION DATE	12/19/17
REVISED COMPLETION DATE	12/26/17

Contractor's Acceptance: 

Date: 7/10/17

City Approval: _____

Date: _____

Attest: _____ City Clerk

Pre-Approved as to form: Hunt M. Whaley, Assistant City Attorney



Change Proposal

CP No. 010
Project LOOFF CARROUSEL FACILITY
Date May 16, 2017
NAC No. 111 - 16004 - 10Fa
Owner Project No. 4312-16

Request for Proposal to WALKER CONSTRUCTION

in connection with your contract with City of Spokane dated January 27, 2017
 please furnish your cost proposal for performing the changes outlined below and/or detailed on the attachments referred to within 10 days of receipt.

Title of CP Carousel Center Post Cable

Description ☐ Continued on page 2

(Use Alt + Enter to create new lines.)

Add cable to tie-off the carousel center post as shown on attached drawings CA-43 and CA-44. Final connection to the carousel center post to be made by the Owner. Confirm necessary cable length and hardware with Owner to accommodate connection to the carousel.

Attachments CA-43, CA-44

Proposal to

We propose to perform all changes described in the above request for a total of 11,077⁰⁰ Excluding State Sales Tax

The amount covers all direct and indirect costs related to the change including effects of the change on the remainder of the project. All other provisions of the contract remain in full effect. Attached are Cost Proposal Breakdown Sheets. We request a(n) of calendar day(s) in the completion time because of this change (If left blank, indicates 0 days). We agree to be bound by this proposal for 30 days from signature date.

Submitted by

Date

Distribution (3) signed originals with attached cost breakdown to NAC Architecture.

☐ Returned to Contractor for revision/re-evaluation. See comments above/attached.

Authorization to

Owner

NAC Architecture recommends acceptance of the foregoing proposal.

Architect's Recommendation

Date

Owner's Acceptance

Date

Owner/Representative Authorization by



Signature



Telephone



Fax

As indicated above, the Owner accepts the foregoing proposal and authorizes performance of the changes specified. A Change Order (CO) will follow which indicates the CP amount. Billing cannot be honored for the CP until issuance of the CO.

COP_010.xlsm



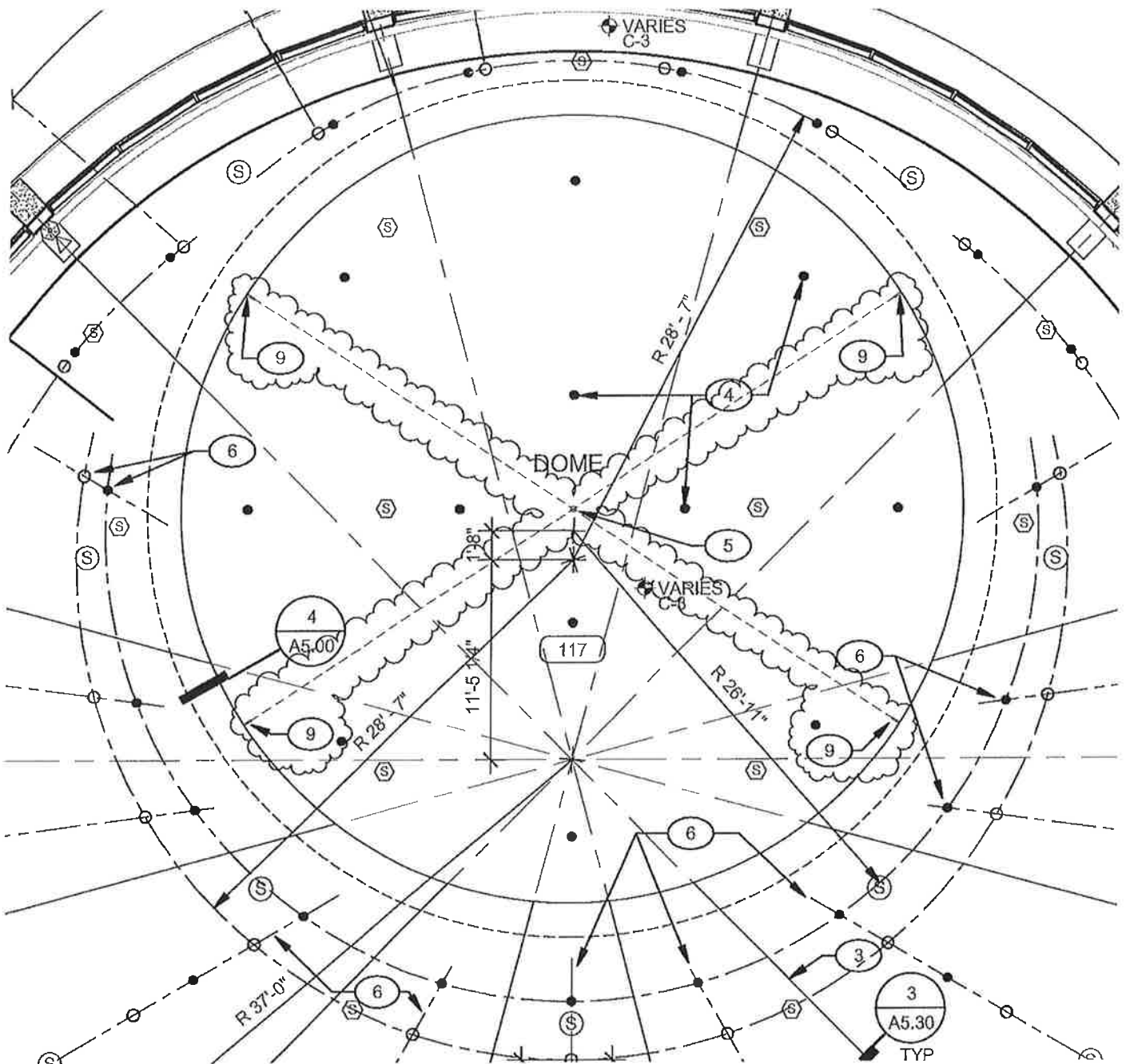
Change Proposal

CP No. 010

Additional Description

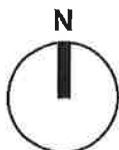
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EQUALLY SPACED BETWEEN EACH PAIR OF GRIDLINES

- 8 MDF PANELS TO WRAP ON TO GYP SOFFIT
 9 CARROUSEL CENTER POST TIE-OFF LOCATION. SEE DETAIL 7/A5.00.
 LOCATE TIE-OFF ASSEMBLY AT MID-POINT OF W18 BEAMS, TYP OF (4)



PARTIAL REFLECTED CEILING PLAN

Scale: 1/8" = 1'-0"

© 2016 NAC Inc

CITY OF SPOKANE PARKS & RECREATION DEPARTMENT
LOOFF CARROUSEL FACILITY

808 W. SPOKANE FALLS BLVD, SPOKANE, WA 99201

NAC
 ARCHITECTURE
 nacarchitecture.com

1203 WEST RIVERSIDE AVE
 SPOKANE WA 99201
 P:509.638.8240

NAC NO: 111-16004

FILE:

DRAWN: RDP

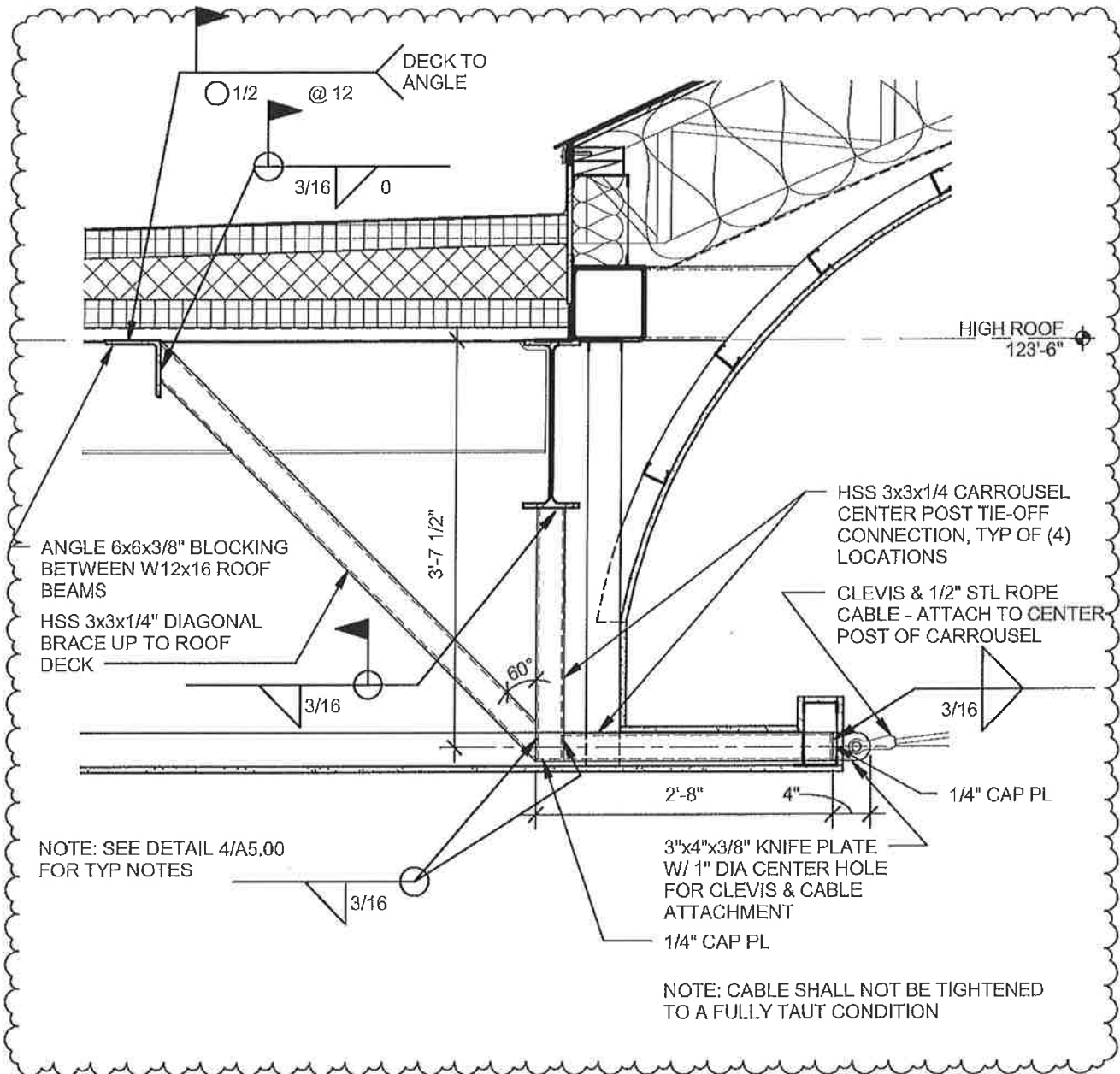
CHECKED: KMC

DATE: 5-15-2017

CA-43

RE: A9.01

CP-010



CENTER POST CABLE TIE-OFF DETAIL

7

Scale: 3/4" = 1'-0"

© 2016 NAC Inc

CITY OF SPOKANE PARKS & RECREATION DEPARTMENT
LOOFF CARROUSEL FACILITY

808 W. SPOKANE FALLS BLVD, SPOKANE, WA 99201

NAC
ARCHITECTURE
nacarchitecture.com


1203 WEST RIVERSIDE AVE
SPOKANE WA 99201
P:509.838.8240

NAC NO: 111-16004
FILE:
DRAWN: RDP
CHECKED: KMC
DATE: 05-15-2017

CA-44

RE: 7/A5.00

CP-010

								 WALKER CONSTRUCTION		
Looff Carrousel										
Description: PR 10 install carrousel support cables										
CO req #								Revised		
Dated								Submitted	6/9/2017	
SECTION	DESCRIPTION	UNIT	QUANTITY	U/P LABOR	U/P MATERIAL	U/P SUB	TOTAL LABOR	TOTAL MATERIALS	TOTAL SUBS	TOTAL
	western states	ls	1	0	3578	0	0.00	0.00	0.00	0.00
							0.00	3,578.00	0.00	3,578.00
	walker						0.00	0.00	0.00	0.00
	install	hr	24	60	25.00	0	1,440.00	600.00	0.00	2,040.00
	lift	dy	3	0	0	450.00	0.00	0.00	1,350.00	1,350.00
							0.00	0.00	0.00	0.00
	Broadway splicing	ls	1	0	572	0	0.00	572.00	0.00	572.00
	cable install	hr	6	60	5	0	360.00	30.00	0.00	390.00
	delivery	hr	2	32	5	0	64.00	10.00	0.00	74.00
	lift	dy	1	0	0	450	0.00	0.00	450.00	450.00
							0.00	0.00	0.00	0.00
							SUBTOTAL	1,864.00	4,790.00	1,800.00
							BUR/RATE	0.52	0.02	0.02
							BURDEN	969.28	95.80	36.00
								2,833.28	4,885.80	1,836.00
									0	0.00
										9,555.08
									SUB OH&P	8%
										146.88
										0.00
									WALKER OH&P	15%
										1,157.86
										0.00
									ADJUST	0.00
										10,859.82
									BOND	0.02
										217.20
									TOTAL	ADD
										\$ 11,077
Accepted by Contractor:				Recommended By:				Approved by Owner:		
Walker Construction, Inc.				NAC						
By:				By:				By:		
Date:				Date:				Date:		

BROADWAY INDUSTRIAL SUPPLY
EAST 5510 BROADWAY
SPOKANE WA 99212
PH (509) 535-3041
FAX (509) 534-55
TELEPHONE: 509-535-3041
FAX: 509-534-5553

Page: 1
Quote: 520347
Date: 6/09/17
Status: QUOTE
Salesman: 1

QUOTATION EXPIRATION DATE IS: 7/09/17 Inquiry:

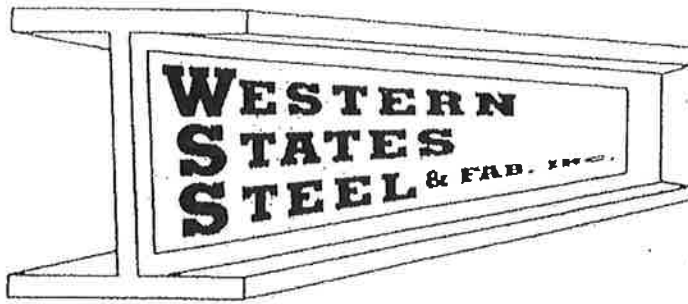
Ship Via: WILL CALL Terms: NET 30

WALKER CONSTRUCTION INC
P O BOX 3901
SPOKANE WA 99220

Ship To:
WALKER CONSTRUCTION INC
P O BOX 3901
SPOKANE WA 99220

Product Nbr	Description	Qty Uom	Sell	Ext Sell
6100-05020	1/2" X 22' 6 X 26 IWRC GALV. I WITH 1/2" OPEN SWAGE SOCKET EACH END	4	143.064	572.26

Line Total: 572.26
Tax: 50.36
Total*: 622.62



CHANGE ORDER REQUEST

Walker Construction
Attn: Jaclyn Wakefield

Date: 6/25/17

Looff Carrousel – Our Job # 1814

CP# _____ ASI # _____ RFI # _____
Field Request _____

Description CP-#10

Material Cost	\$ <u>1061⁰⁰</u>
Labor Cost	\$ <u>1375⁰⁰</u>
Detailing Cost	\$ <u>500⁰⁰</u>
Paint Cost	\$ <u>- 0 -</u>
Fasteners	\$ <u>- 0 -</u>
Freight	\$ <u>175⁰⁰</u>
Markup	\$ <u>467⁰⁰</u>
TOTAL COST	\$ <u>3578⁰⁰</u>

At Danessey
Project Manager
Western States Steel & Fab, Inc.
Phone: 509-489-8046
Fax: 509-489-3739



Change Proposal

CP No. 006
Project LOOFF CARROUSEL FACILITY
Date May 4, 2017
NAC No. 111 - 16004 - 10Fa
Owner Project No. 4312-16

Request for Proposal to WALKER CONSTRUCTION

in connection with your contract with City of Spokane dated January 27, 2017
please furnish your cost proposal for performing the changes outlined below and/or detailed on the attachments referred to within 10 days of receipt.

Title of CP Add CenturyLink vaults and conduits.

Description ☐ Continued on page 2

(Use Alt + Enter to create new lines.)

Add CenturyLink Vaults and Conduits as Indicated on attached drawings CE-34 and CE-35.

Attachments CE-34, CE-35

Proposal to

We propose to perform all changes described in the above request for a total of 9,173 Excluding State Sales Tax

The amount covers all direct and indirect costs related to the change including effects of the change on the remainder of the project. All other provisions of the contract remain in full effect. Attached are Cost Proposal Breakdown Sheets. We request a(n) of calendar day(s) in the completion time because of this change (If left blank, indicates 0 days). We agree to be bound by this proposal for 30 days from signature date.

Submitted by

Date 6/9/17

Distribution (3) signed originals with attached cost breakdown to NAC Architecture.

☐ Returned to Contractor for revision/re-evaluation. See comments above/attached.

Authorization to

Owner

NAC Architecture recommends acceptance of the foregoing proposal.

Architect's Recommendation

Date 7-5-17

Owner's Acceptance

Date

Owner/Representative Authorization by ☐ Signature ☐ Telephone ☐ Fax

As indicated above, the Owner accepts the foregoing proposal and authorizes performance of the changes specified. A Change Order (CO) will follow which indicates the CP amount. Billing cannot be honored for the CP until issuance of the CO.

COP_006-Add Telecom Conduits.xlsm

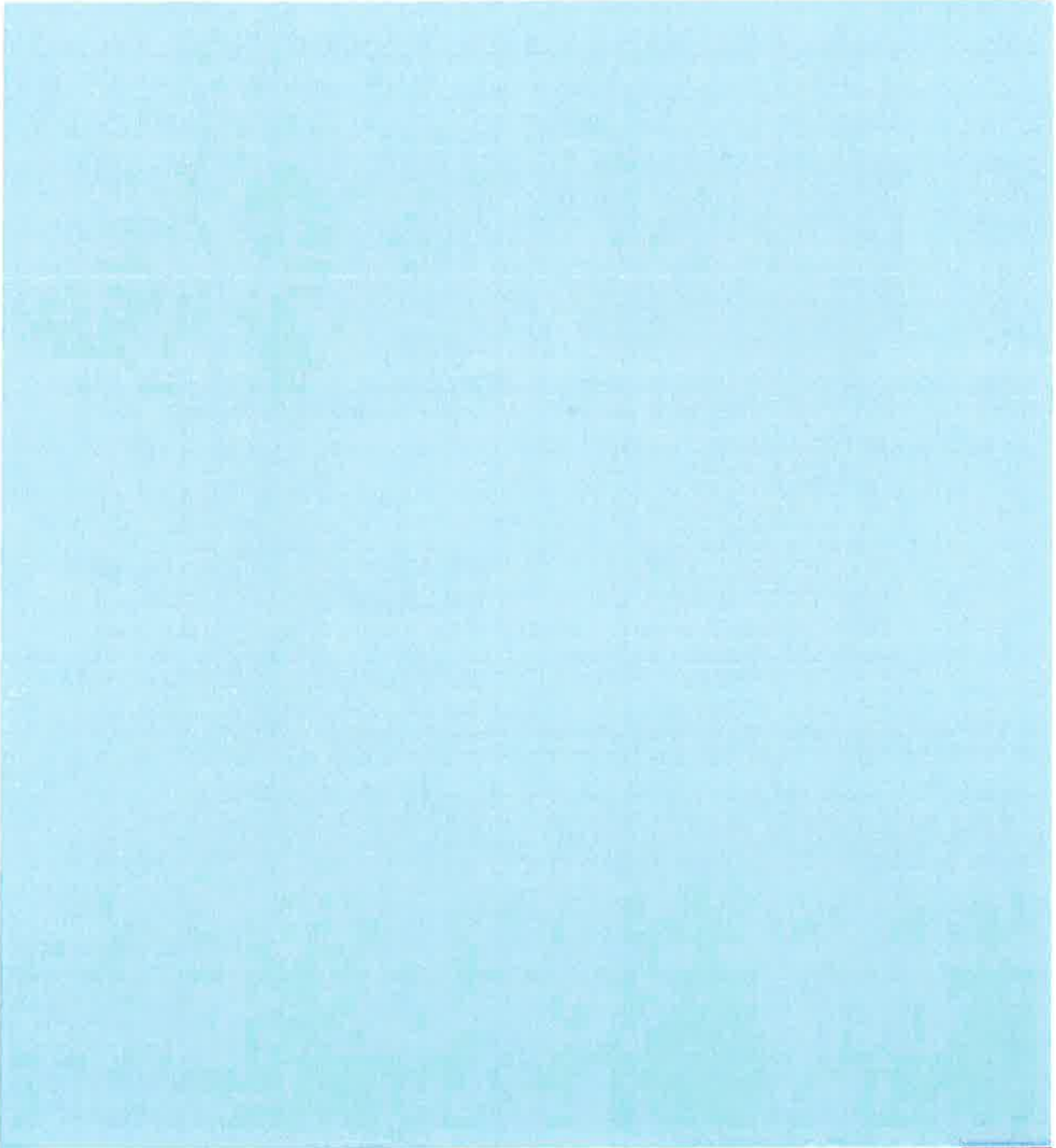


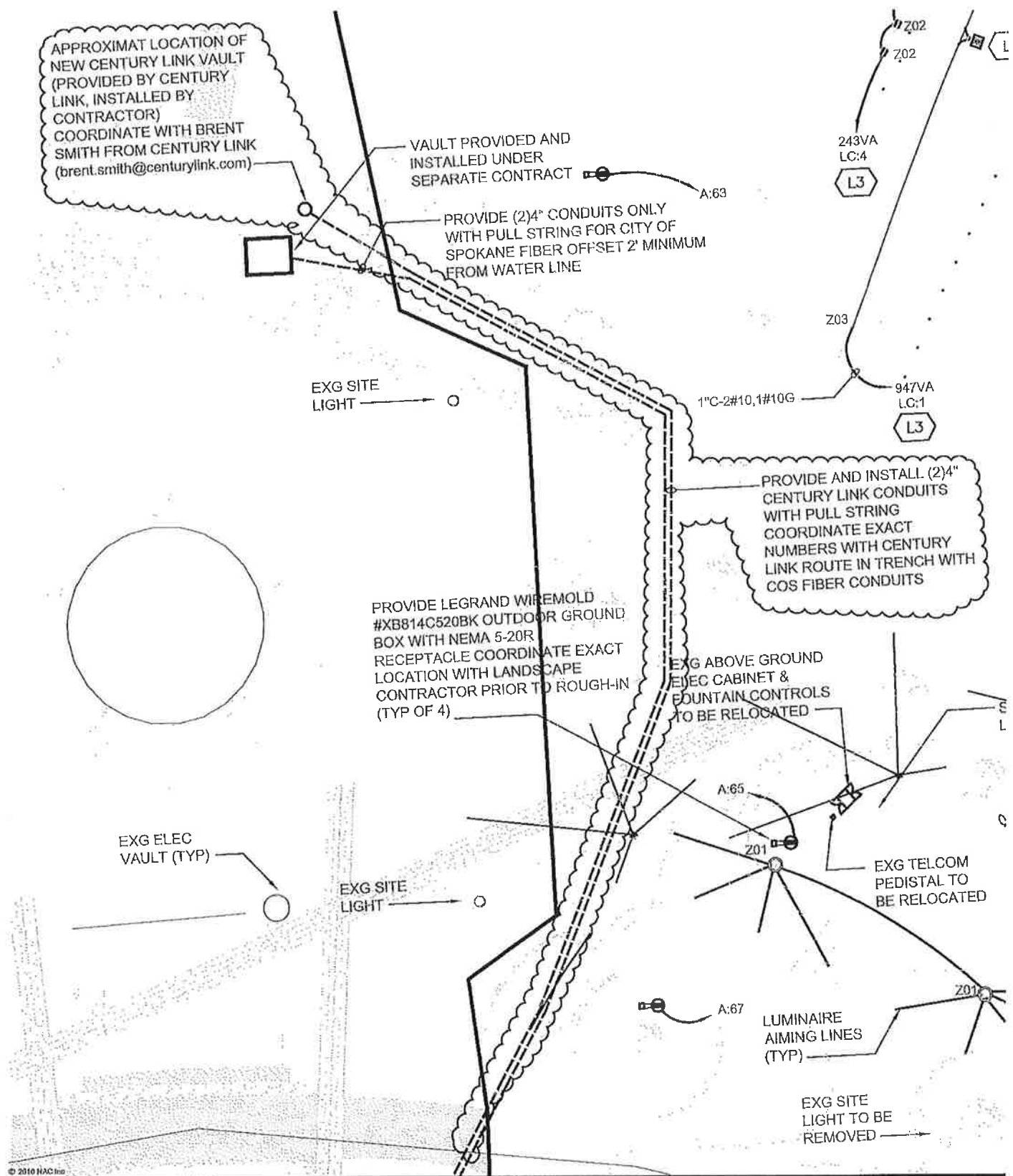
Change Proposal

CP No. 006

Additional Description

(Use Alt + Enter to create new lines.)





CITY OF SPOKANE PARKS & RECREATION DEPARTMENT
LOEFF CARROUSEL FACILITY

808 W. SPOKANE FALLS BLVD, SPOKANE, WA. 99201

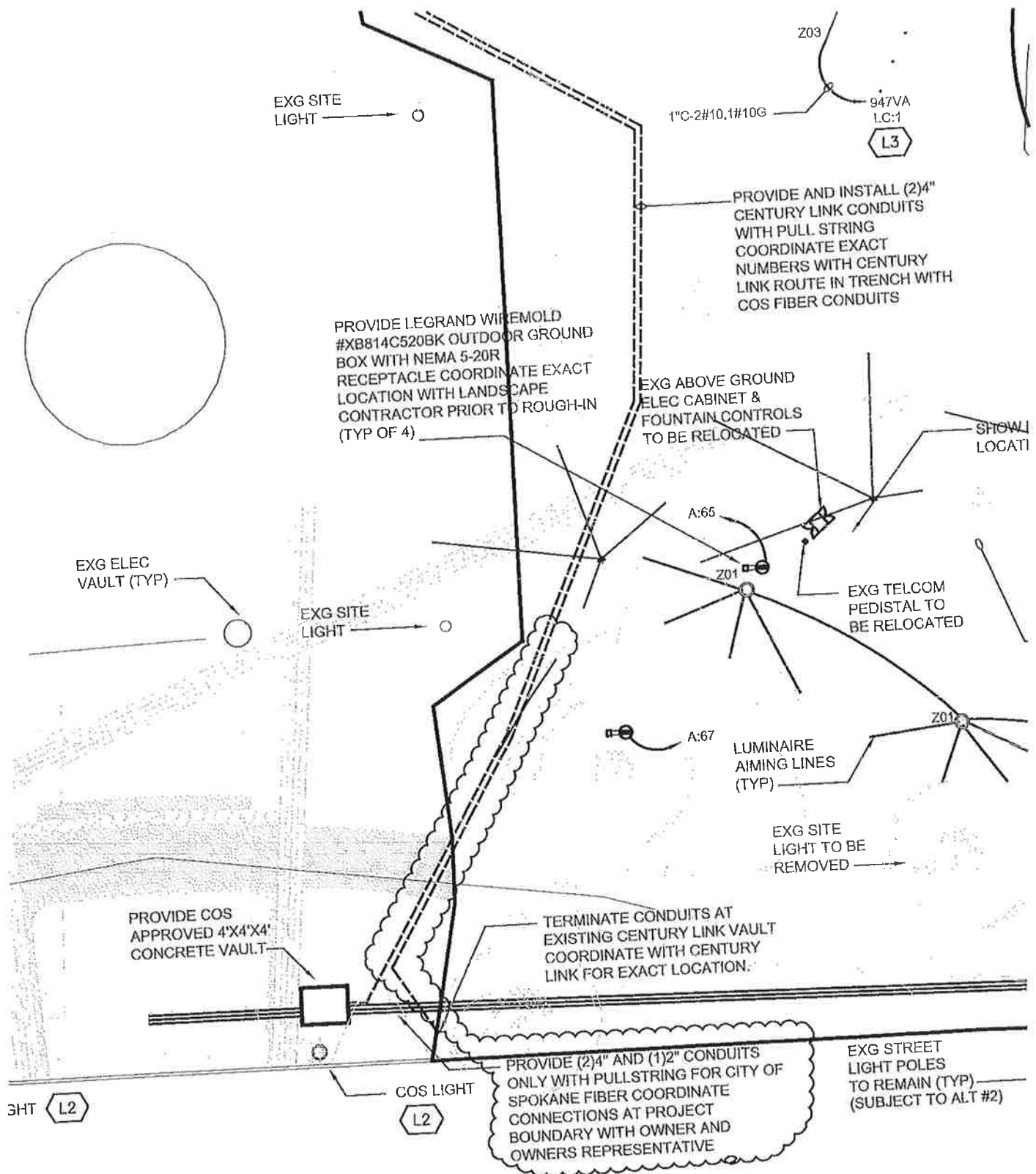
NAC
 ENGINEERING
 nacarchitecture.com
 1203 WEST RIVERSIDE AVENUE
 SPOKANE WA 99201
 P:509.624.8125

PROJECT NO 111-16000
 FILE CE-09
 DRAWN WMM
 CHECKED JKS
 DATE 05/01/17

CE-34

RE: SHT/E1.02

RFI-0037



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CITY OF SPOKANE PARKS & RECREATION DEPARTMENT
LOOFF CARROUSEL FACILITY

808 W. SPOKANE FALLS BLVD, SPOKANE, WA 99201

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 P:509.624.8125

NAC NO 111-16000
 FILE CE-09
 DRAWN WMM
 CHECKED JKS
 DATE 05/01/17

CE-35

RE: SHT/E1.02

RFI-0037



	Looft Carrousel	Description:	Century link vaults							
CO req #									Revised	
Dated									Submitted	6/9/2017
SECTION	DESCRIPTION	UNIT	QUANTITY	U/P LABOR	U/P MATERIAL	U/P SUB	TOTAL LABOR	TOTAL MATERIALS	TOTAL SUBS	TOTAL
	Piersol additional excavation	ls	1	0	0	2417	0.00	0.00	0.00	0.00
	peterston electric	ls	1	0	-	5359	0.00	0.00	5,359.00	5,359.00
							0.00	0.00	0.00	0.00
	lid final grade prep	hr	5	32.06	25	0	160.30	125.00	0.00	285.30
							0.00	0.00	0.00	0.00
							0.00	0.00	0.00	0.00
							0.00	0.00	0.00	0.00
							0.00	0.00	0.00	0.00
							0.00	0.00	0.00	0.00
	SUBTOTAL						160.30	125.00	7,776.00	8,061.30
	BUR/RATE						0.52	0.02	0.02	
	BURDEN						83.36	2.50	155.52	241.38
							243.66	127.50	7,931.52	8,302.68
								SUP/MED	0	0.00
	excludes rock excavation							SUB OH&P	8%	634.52
										0.00
								WALKER OH&P	15%	55.67
										0.00
								ADJUST		0.00
										8,992.87
								BOND	0.02	179.86
								TOTAL	ADD \$	9,173
Accepted by Contractor: Walker Construction, Inc.		Recommended By: NAC				Approved by Owner:				
By:		By:				By:				
Date:		Date:				Date:				

5/22/2017
10:27 AM

COP 05	PCI Project #21704		Date	
Walker Construction	LOOFF Carrousel		05/22/17	
Narrative of Work				
PR 06 - Furnish and install bedding material for Telecom Conduits and install vaults. Price based on the conduits being installed in the new water line trench, with minimal additional excavation work required.				
Description	quantity	type	Unit Price	Total Amount
Excavate & Set Vaults (provided by others)	2	ea	\$ 575.00	\$ 1,150.00
1' of Bedding Material - Haul-off spoils	38	cy	\$ 33.68	\$ 1,267.37
TOTAL BID:				\$ 2,417.37
NOT INCLUDED:				
Vault and related material, rock excavation, conduits				



Peterson Electric – Change Order Break Down

Project Name: Riverfront Park Looff Carrousel Facility

COP No. 006

Project No.

Source Documents: COP-006, CE-34, CE-35

Date: 5/10/2017

Contractor: Peterson Electric, Inc.

Contractor Ref. No. COP-006

Description: Add CenturyLink Vaults and Conduits as indicated on attached drawings CE-34 and CE-35.

1. CRAFT LABOR COSTS

Itemize all costs on attached COP Cost Breakdown form.

Direct Labor Costs:

a. crew (apprentices, journeymen, & laborers)	\$-
b. foreman	\$3,140.80
c. lead foreman	\$-
DIRECT LABOR SUBTOTAL	\$3,140.80

Supervision:

d. direct supervision (NTE 15% of 1a)	\$-
e. safety (NTE 2% of lines 1a, b, & c)	\$62.82

1. CRAFT LABOR COSTS \$3,204.00

2. MATERIAL COSTS

a. material costs	\$1,073.43
b. freight costs (itemize)	\$-

2. MATERIAL COSTS \$1,073.00

3. EQUIPMENT COSTS

a. owned equipment (per spec approved source)	\$-
b. rental equipment (per Invoices attached)	\$-

3. EQUIPMENT COSTS \$-

4. SMALL TOOLS

a. small tools (NTE 5% of 1a & b)	\$157.04
-----------------------------------	----------

4. SMALL TOOLS \$157.00

SUBTOTAL 1 thru 4 \$4,434.00

5. OVERHEAD & PROFIT

a. NTE 18% portion of 1, 2, 3, & 4 up to \$50,000	\$798.12
b. NTE 10% portion of 1, 2, 3, & 4 in excess of \$50,000	\$-

5. OVERHEAD & PROFIT \$798.00

6. SUB-SUBCONTRACTORS

a.	\$-
b.	\$-
c.	\$-
d.	\$-

6. SUB-SUBCONTRACTORS \$-

7. OVERHEAD & PROFIT ON SUB-SUBCONTRACTORS

a. NTE 8% of Line 6 up to \$50,000 for each sub	\$-
b. NTE 6% of Line 6 in excess of \$50,000 for each sub	\$-

7. OVERHEAD & PROFIT ON SUB-SUBCONTRACTORS \$-

8. INSURANCE

a. payroll driven liability insurance	1.50 % of 1	\$48.06
b. volume driven liability insurance	1.50 % of 1-7	\$78.48

8. INSURANCE \$127.00

9. BOND

a. bond	0.00 % of 1-8	\$-
---------	---------------	-----

9. BOND \$-

TOTAL COST \$5,359.00

COP No. COP-006

Date: 5/10/2017

Contractor Ref. No. COP-006

Total Cost of Work	Form Revised 5/1/2004	\$3,140.80	\$1,073.43	\$-	\$4,214.23
--------------------	-----------------------	------------	------------	-----	------------

COP Wage Rates

Project Name: Riverfront Park Looff Carrousel Facility
 Project No: _____
 Contractor: Peterson Electric, Inc.

Trade & Position		JOURNEYMAN	FOREMAN	GF	60.00%	65.00%	70.00%	75.00%	80.00%	85.00%	90.00%
Rate Schedule Date*											
Prevailing Wage (incl. Benefits)											
1. Hourly Wage Rate		\$31.50	\$34.64	\$37.80	\$19.90	\$20.48	\$22.05	\$23.63	\$25.20	\$26.78	\$28.35
2. Hourly Benefits		\$17.92	\$18.02	\$18.13	\$9.30	\$9.35	\$15.18	\$15.59	\$16.00	\$16.39	\$16.80
SUBTOTAL		\$49.42	\$52.66	\$55.93	\$29.20	\$29.83	\$37.23	\$39.22	\$41.20	\$43.17	\$45.15
	Rate										
3. FUI % of 1	0.80%	\$0.25	\$0.28	\$0.30	\$0.16	\$0.16	\$0.18	\$0.19	\$0.20	\$0.21	\$0.23
4. FICA % of 1	6.20%	\$1.95	\$2.15	\$2.34	\$1.23	\$1.27	\$1.37	\$1.47	\$1.56	\$1.66	\$1.76
5. MEDICARE % of 1	1.45%	\$0.46	\$0.50	\$0.55	\$0.29	\$0.30	\$0.32	\$0.34	\$0.37	\$0.39	\$0.41
6. SUI % of 1 (insert correct % to right)	3.41%	\$1.07	\$1.18	\$1.29	\$0.68	\$0.70	\$0.75	\$0.81	\$0.86	\$0.91	\$0.97
7. WC (insert \$ amount per hour)		\$2.09	\$2.19	\$2.26	\$0.67	\$1.83	\$1.87	\$1.92	\$1.95	\$1.98	\$2.03
TOTAL (incl. payroll taxes)		\$55.25	\$58.96	\$62.67	\$32.23	\$34.09	\$41.72	\$43.94	\$46.14	\$48.33	\$50.54

- NOTES:** * Rate schedule date is the date of the Dept. of Labor & Industries Prevailing Wage Rate used or the Union Agreement.
- a. for items 3 thru 5, the Federal rates do not vary by firm, and the percentages are already locked into this form.
 - b. for item 6, the actual rate is determined by the State Employment Security Dept. and varies by firm. It shall be verified by the contractor at the start of the project.
 - c. for item 7, the rate is based on L & I classification. The hourly dollar amount is specific to the firm/trade and shall be verified by the contractor at the start of the project.
 - d. definitions
 - 1. items 1 & 2 are basic wages and benefits (see general conditions 7.02 B.7.a(1))
 - 2. item 3, FUI is Federal Unemployment Tax Act (see general conditions 7.02 B.7.a(3))
 - 3. item 4, FICA is Federal Insurance Compensation Act/Social Security (see general conditions 7.02B.7(3))
 - 4. item 5, Medicare is FICA medical aid (see general conditions 7.02 B.7.a(3))
 - 5. item 6, SUI is State Unemployment Compensation Act (see general conditions 7.02 B.7.a(3))
 - 6. item 7, WC is Industrial insurance/workers' compensation (see general conditions 7.02 B.7.a(2))

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Contractor: Peterson Electric, Inc.

The Regional Adjustment used in this form = 0.986

Issued 05/10/2017

Job ID: JOB-0004
 Project: B16-015 Riverfront Park Looff Carousel



CO: CO-0002: COP-006 - Add Telecom Conduits

Takeoff

Vendor: TARGET

Labor Level: LABOR 1

10 May 2017 8:42:14

Phase: SITE UTILITIES

Item #	Qty	U/M	Q/M	Size	Description	Material Unit	Material Result	Labor Unit	Labor Result
	0				CENTURY LINK CONDUITS				
TITLE	280	EA	M		2-DUCT / NO TRENCHING 4" PVC	0.0000	0.00	0.0000	0.00
10183	560	FT	M	4	PVC SCH 40 10' LAID IN TRENCH	1.6429	920.02	0.0495	27.72
390584	294	FT	M	3"	RED TRENCH CAUTION TAPE	0.0326	9.57	0.0036	1.06
40043	79	OZ	M	OUNCE	PVC (GLUE) CEMENT	0.3804	30.05	0.0108	0.85
390251	280	FT	M	18" WIDE	HAND TRIM SANDY TRENCH	0.0000	0.00	0.0300	8.40
500127	590	FT	M		PULL LINE (STRING)	0.0193	11.41	0.0026	1.53
TITLE	2	EA	M		4" PVC 45D IN-RUN SWEEP	0.0000	0.00	0.0000	0.00
20290	2	EA	M	4	PVC SCH 40 45-DEG EL	8.6623	17.32	1.0000	2.00
31380	2	EA	M	4	PVC COUPLING	1.9562	3.91	0.8000	1.60
40043	3	OZ	M	OUNCE	PVC (GLUE) CEMENT	0.3804	1.14	0.0108	0.03
	0				CENTURY LINK VAULT INSTALLATION				
400176	1	EA	M	3' x 5' x 3'	POLYMER CONCRETE MANHOLE	0.0000	0.00	2.2730	2.27
400239	1	EA	M	5' x 5'	GRAVEL UNDER MANHOLE	50.0000	50.00	1.8000	1.80
	0				EXISTING VAULT PENATRATION				
7	1		M		VAULT PENATRATION	30.0000	30.00	6.0000	6.00
Phase Totals:							1,073.43		53.27
Job Totals:							1,073.43		53.27

Peterson Electric

5622 N. MYRTLE ST
 Spokane, WA 99217

Phone: (509) 489-1950
 Web:

Change Proposal

CP No. 1
Project LOOFF CARROUSEL FACILITY
Date March 13, 2017
NAC No. 111 - 16004 - 10Fa
Owner Project No. 4312-16

Request for Proposal to WALKER CONSTRUCTION
in connection with your contract with City of Spokane dated January 27, 2017
please furnish your cost proposal for performing the changes outlined below and/or detailed on the attachments referred to within days of receipt.

Title of CP Riverfront Park South Bank East ADA Pathway

Description ☐ Continued on page 2

(Use Alt + Enter to create new lines.)

Complete demolition, Irrigation, landscape and other site work as indicated by attached "RFP SOUTH BANK EAST" drawings (10 drawings). With proposal, include "base bid" cost and separate added cost for alternate nos. 1 and 2 as indicated on sheet L1.0.

Attachments RFP SOUTH BANK DRAWINGS

Proposal to

We propose to perform all changes described in the above request for a total of 73,660⁰⁰ Excluding State Sales Tax

The amount covers all direct and indirect costs related to the change including effects of the change on the remainder of the project. All other provisions of the contract remain in full effect. Attached are Cost Proposal Breakdown Sheets. We request a(n) of calendar day(s) in the completion time because of this change. (If left blank, indicates 0 days). We agree to be bound by this proposal for 30 days from signature date.

Submitted by  **Date** 5/25/17

Distribution (3) signed originals with attached cost breakdown to NAC Architecture.

☐ Returned to Contractor for revision/re-evaluation. See comments above/attached.

Authorization to

Owner

NAC Architecture recommends acceptance of the foregoing proposal.

Architect's Recommendation

Date

Owner's Acceptance

Date

Owner/Representative Authorization by ☐ Signature ☐ Telephone ☐ Fax

As indicated above, the Owner accepts the foregoing proposal and authorizes performance of the changes specified. A Change Order (CO) will follow which indicates the CP amount. Billing cannot be honored for the CP until issuance of the CO.

ChangeProposal.xlsm



Change Proposal

CP No. 1

Additional Description

(Use Alt + Enter to create new lines.)

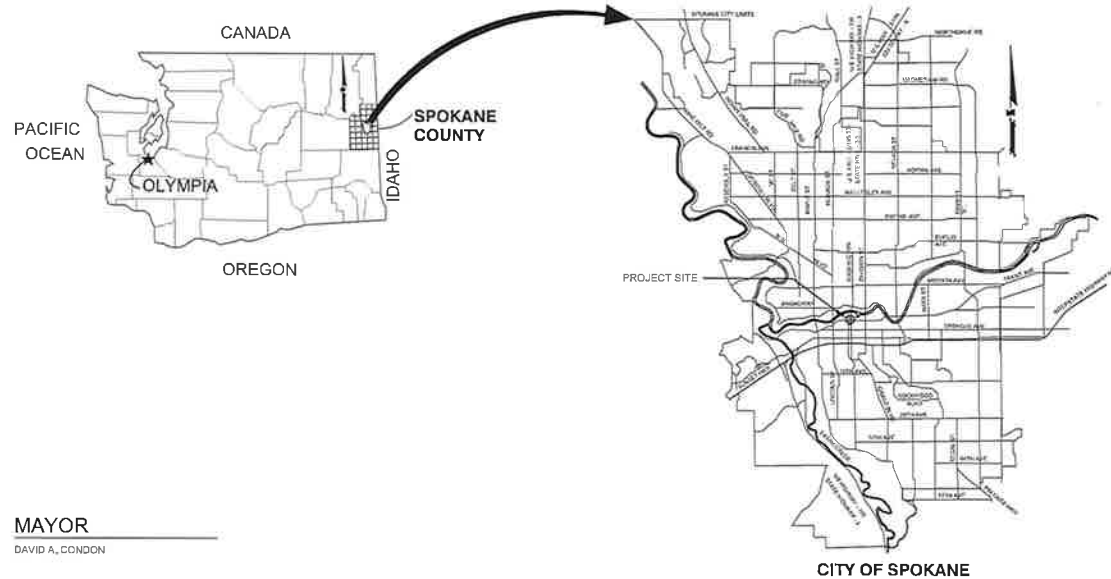
Various changes made while under construct as directed by COSR



CITY OF SPOKANE, WASHINGTON

DEPARTMENT OF PARKS AND RECREATION

RIVERFRONT PARK SOUTH BANK EAST PATHWAY PERMIT SET - NOT FOR CONSTRUCTION



MAYOR

DAVID A. CONDON

COUNCIL MEMBERS

BEN STUCKART, CITY COUNCIL PRESIDENT
LORI KINNEAR
AMBER WALDREF
CANDACE MUMM
KAREN STRATTON
BREEAN BEGGS

CITY ADMINISTRATOR

THERESA SANDERS

DIRECTOR OF PARKS

LEROY EADIE

PROJECT CONTACT(S)

PATRICK MCCORD
HILL INTERNATIONAL, INC.
PROJECT MANAGER, (509) 747-8031

DESCRIPTION OF WORK

BASE BID SCOPE

BASE BID CONSTRUCTS (2) NEW 8' WIDE ASPHALT PARK WALKWAYS INTO RIVERFRONT PARK FROM THE CORNER OF SPOKANE FALLS BLVD. & WASHINGTON ST.

- WORK INCLUDES, BUT IS NOT LIMITED TO, CLEARING AND GRUBBING OF EXISTING TURF SOD AND SUBSOIL, DEMO & DISPOSAL OF EXISTING ASPHALT, BASE MATERIAL, CONCRETE SITE WALL, TREE STUMPS AND ASSOCIATED ROOT STRUCTURE, IMPORT & PLACEMENT OF STRUCTURAL FILL, PLACEMENT OF CSTC & CDF BASE MATERIAL, INSTALLATION OF NEW 8' WIDE (MIN) ASPHALT WALKWAYS, AND REPAIR OF LANDSCAPE AND IRRIGATION SYSTEMS IMPACTED BY CONSTRUCTION.

ADD/ALT 1

SUPPLY & INSTALL 4" THICK CONCRETE WALKWAY ATOP 6" CSTC BASE IN LIEU OF ASPHALT PATHWAY.

ADD/ALT 2

DEMOLISH (2) EX. CURB RAMPS AND INSTALL (2) NEW ADA CURB RAMPS, INCLUDING TEMPORARY TRAFFIC CONTROL AND FLAGGING AS REQUIRED, SEE NOTE 5 BELOW FOR TRAFFIC CONTROL DETAILS.

ADD/ALT 3

SUPPLY & INSTALL ADDITIONAL IRRIGATION IMPROVEMENTS PER SHEET L1.6.

ADDITIONAL WORK REQUIREMENTS

WORK SHALL BE EXECUTED ACCORDING TO THE ATTACHED CONSTRUCTION DRAWINGS, NOTES, AND IN THE ABSENCE OF DIRECTION ON THESE DRAWINGS, THE TECHNICAL SPECIFICATIONS & DETAILS AS CONTRACTED FOR THE 'RIVERFRONT PARK LOOFF CAROUSEL FACILITY' PROJECT.

ALL WORK, INCLUDING APPROXIMATE QUANTITIES FOR EACH SITE, SHALL BE MUTUALLY AGREED UPON BY THE CONTRACTOR AND OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORK.

REQUIRED COMPLETION DATE

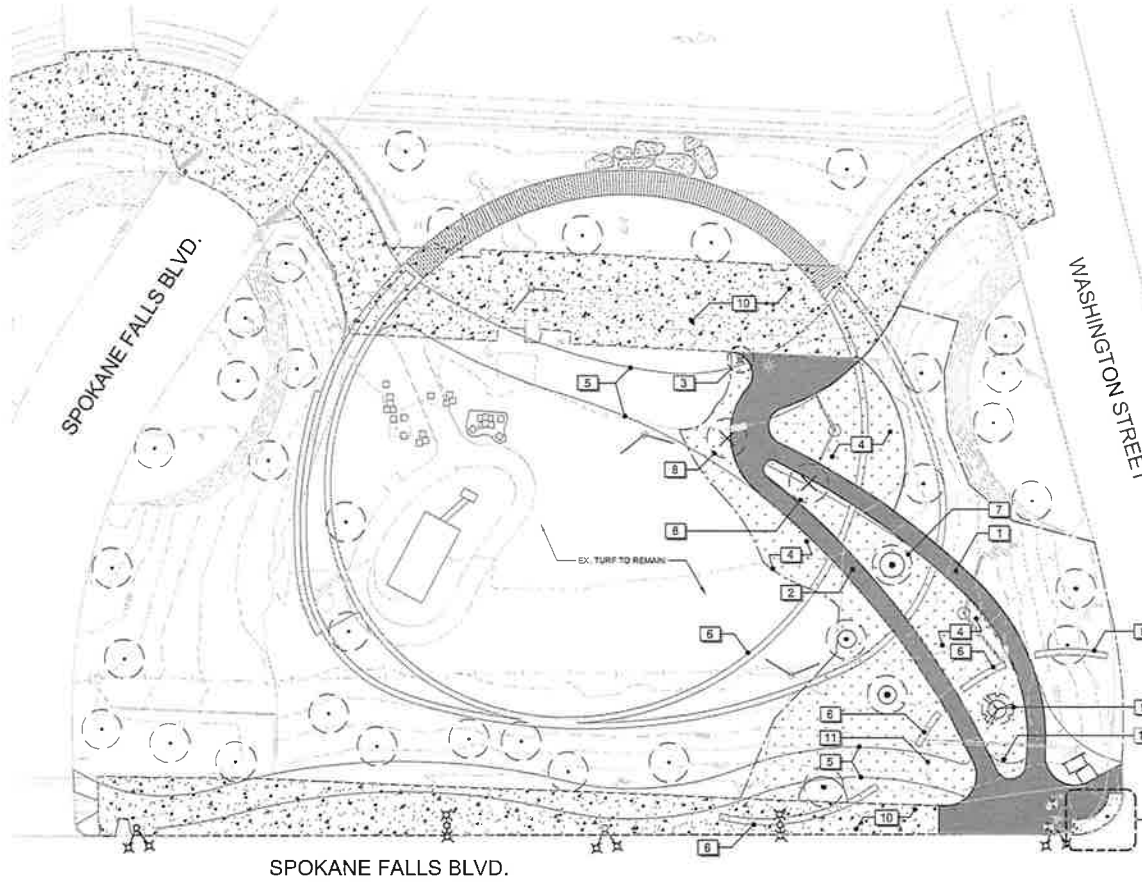
ALL WORK SHALL BE COMPLETED BY APRIL 19, 2017.

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO BID SUBMISSION. ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND PROJECT INTENT / CONTRACT DOCUMENTS AFFECTING THE COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. COST OF LOCATES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY OBTAINING ALL PERMITS, INCLUDING RIGHT-OF-WAY OBSTRUCTION PERMITS WHERE APPLICABLE.
- CONTRACTOR IS RESPONSIBLE FOR INCIDENTAL TRAFFIC CONTROL MEASURES AS REQUIRED IN ACCORDANCE WITH THE MANUAL ON TRAFFIC CONTROL DEVICES (MUTCD) AND WASHINGTON STATE MODIFICATIONS TO THE MUTCD.
- PRESERVE AND PROTECT EXISTING IMPROVEMENTS TO REMAIN. REPAIR OR REPLACE ALL HARDSCAPE AND SOFTSCAPE DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY.
- TREE PRUNING, AIR SPADING AND ROOT PRUNING SHALL BE PERFORMED BY CITY OF SPOKANE ARBORIST. CONTRACTOR SHALL COORDINATE DIRECTLY WITH C.O.S. ARBORIST TO SCHEDULE WORK.
- OWNER WILL FURNISH COMPACTION & MATERIAL TESTING. IF CONTRACTOR FAILS TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL TESTING UNTIL COMPACTION AND MATERIALS MEET SPECIFICATION.

WORK LOCATIONS		
SITE	WORK LOCATION	TYPE OF IMPROVEMENT
1.0	RIVERFRONT PARK 810 W. SPOKANE FALL BLVD, SPOKANE, WA 99201	NEW PATHWAY INSTALLATION





SITE PLAN LEGEND

SYMBOL	DESCRIPTION
1	NEW ADA PATHWAY - 6' WIDE (MIN) ASPHALT, 3" DEPTH CLASS 10" HMA ATOP 6" CSTC. SUBSTITUTE 6" DEPTH SPOON EXCAVABLE CDF BASE (PER WSDOT SPEC) IN LIEU OF CSTC WITHIN TREE PROTECTION ZONES. SEE LAYOUT PLAN & GRADING PLAN FOR ORIENTATION.
2	NEW NON-ADA PATHWAY - 6' WIDE (MIN) ASPHALT, 3" DEPTH CLASS 10" HMA ATOP 6" CSTC. SEE LAYOUT PLAN & GRADING PLAN FOR DETAIL.
3	RELOCATE EX. LIGHT POLE & INSTALL NEW 18"Ø x 4" HT PRECAST CONCRETE BASE. MATCH INSTALLATION TO LOOPY CARROUSEL POLE INSTALLATION. QMST 2x3 CONCRETE HOUSEKEEPING PAD.
4	NEW TURF GRASS & IRRIGATION. SEE LANDSCAPE PLAN.
5	EXTENT OF FUTURE PATHWAY - NOT A PART.
6	FUTURE IMPROVEMENT - NOT A PART.
7	EX. TREE TO REMAIN, TYP. SEE TREE PROTECTION PLAN FOR PROTECTION & CONSTRUCTION REQUIREMENTS.
8	EX. TREE TO BE REMOVED, TYP. SEE DEMO PLAN FOR DETAILS.
9	EX. SPECIMEN TREE TO BE TRANSPLANTED. SEE DEMO PLAN & LANDSCAPE PLAN FOR DETAILS.
10	EX. ASPHALT TO REMAIN, PROTECT IN PLACE.
11	REMOVE EX. CONCRETE WALL, SEE DEMO PLAN FOR DETAILS.
12	ADJUST EX. ELEC. VAULT RING AND COVER. SEE SHEET L1.2 & L1.4.

ADD/ALT 1

1. INSTALL 2" THICK CONCRETE WALKWAY PER CITY OF SPOKANE STD, DETAIL F-102 IN LIEU OF ASPHALT PAVEMENT.
2. SUPPLY CDF BASE MATERIAL IN LIEU OF CSTC WITHIN TREE PROTECTION ZONES.

ADD/ALT 2

1. INSTALL (2) NEW CONCRETE CURB RAMPS PER CITY OF SPOKANE STD, DETAIL F-105.
2. FIRST CURB RAMP SHALL BE LOCATED AS SHOWN PER PLANS AND THE SECOND LOCATION SHALL BE LOCATED ACROSS WASHINGTON STREET TO THE EAST FROM PROJECT SITE.
3. INCLUDE ALL TEMPORARY TRAFFIC CONTROL AS REQUIRED TO ACCOMPLISH WORK.

ADD/ALT 2: SEE NOTES

PERMIT SET - NOT FOR CONSTRUCTION

CITY OF SPOKANE
PARKS & RECREATION

STATE OF WASHINGTON
LICENSED LANDSCAPE ARCHITECT
Walter
MICHAEL A. TAMMO
LICENSE NO. 1883
EXPIRES ON 12/31/2024

RFP SOUTH BANK EAST
610 W. SPOKANE FALLS BLVD. SPOKANE, WA 99201

SITE PLAN

DATE: 2017.03.07
DRAWN BY: NAH
CHECKED BY: NAH
PROJECT NO: -

REVISION

1	2
---	---

SHEET 1 OF 8
L1.0
SITE PLAN





TREE PROTECTION PLAN



TREE PROTECTION ZONE LEGEND

SYMBOL	DESCRIPTION
12	TREE PROTECTION ZONE (TPZ). INSTALL 6' HT ORANGE CONSTRUCTION FENCING TO DELINEATE ZONE. NO CONSTRUCTION EQUIPMENT ALLOWED WITHIN ZONE EXCEPT FOR PAVING EQUIPMENT AS REQ'D. ALL DEMOLITION ACTIVITY WITHIN TPZ SHALL BE PERFORMED BY HAND AS ALLOWED BY URBAN FORESTER AT PRE-CONSTRUCTION CONFERENCE.
13	MODIFIED TREE PROTECTION ZONE (MTPZ). NO FENCING REQUIRED TO DELINEATE MTPZ AS SUCH FENCING IS EXCEEDINGLY PROHIBITIVE TO CONSTRUCTION ACTIVITY. DELINEATE MTPZ WITH PINK MARKING PAINT. ALL OTHER TPZ REQUIREMENTS APPLY WITHIN MTPZ.
14	NO TREE PROTECTION ZONE (TPZ) REQUIRED. TYP.
15	EXTENT OF PROPOSED PATHWAY. SEE SITE PLAN FOR DETAILS.


TREE PROTECTION NOTES

1. ESTABLISH TREE PROTECTION ZONE (TPZ) AREA BY ADDING 1" RADIUS PER 1" IN TREE CALIPER AS MEASURED IN DIAMETER AT BREAST HEIGHT (DBH). TPZ RADII HAVE BEEN ESTABLISHED FOR THE CONTRACTOR BY THE URBAN FORESTER.
2. NO MACHINE EXCAVATION SHALL OCCUR WITHIN THE TPZ WITHOUT PRIOR WRITTEN AUTHORIZATION OF THE URBAN FORESTER.
3. DEMOLITION, CLEAR & GRUB ACTIVITY WITHIN TPZS SHALL BE CONDUCTED BY HAND IN A MANNER TO LIMIT DAMAGE TO SURFACE ROOTS GREATER THAN 1" IN DIAMETER. NO TEARING, CUTTING, OR DAMAGE TO ROOT BARK IS PERMITTED.
4. IN THE CASE OF ACCIDENTAL ROOT DAMAGE, CONTACT THE URBAN FORESTER IMMEDIATELY FOR INSPECTION AND DIRECTION. DO NOT BACKFILL OVER ROOTS IMPACTED BY CONSTRUCTION ACTIVITY.
5. NO GRADE CUTS ARE PERMITTED WITHIN TPZS.
6. EARTHEN FILLS WITHIN TPZS SHALL BE PLACED WITH MINIMAL EQUIPMENT TRACKING AS REQUIRED TO MEET GRADES PER GRADING PLAN.
7. TPZ FENCING SHALL BE REMOVED TEMPORARILY DURING CONSTRUCTION ACTIVITIES WITHIN THE ZONES AND REPLACED IMMEDIATELY UPON COMPLETION OF ACTIVITIES.
8. TPZS MAY BE REDUCED AT THE SOLE DISCRETION OF THE URBAN FORESTER.
9. LIMIT DAMAGE TO ADJACENT TREES. ANY DAMAGE TO ADJACENT TREES AS A RESULT OF EXCAVATION, CLEARING, GRUBBING, OR ROOT WAD REMOVAL SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR.


PRE CONSTRUCTION CONFERENCE

1. CONDUCT AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH THE URBAN FORESTER, OWNER, CONTRACTOR, AND LANDSCAPE ARCHITECT ONCE TPZS HAVE BEEN INSTALLED BUT PRIOR TO OTHER CONSTRUCTION ACTIVITY - INCLUDING CLEARING GRUBBING & DEMOLITION.

PERMIT SET - NOT FOR CONSTRUCTION



CITY OF SPOKANE
PARKS & RECREATION



STATE OF WASHINGTON
LICENSED LANDSCAPE ARCHITECT
NICHOLAS A. WAMAD
LICENSE NO. 1381
EXPIRES ON 08.17.2019

RFP SOUTH BANK EAST
610 W. SPOKANE FALLS BLVD, SPOKANE, WA 99201

TREE PROTECTION PLAN

DATE: 2017.03.07

DRAWN BY: NAH

CHECKED BY: NAH

PROJECT NO: -

REVISION

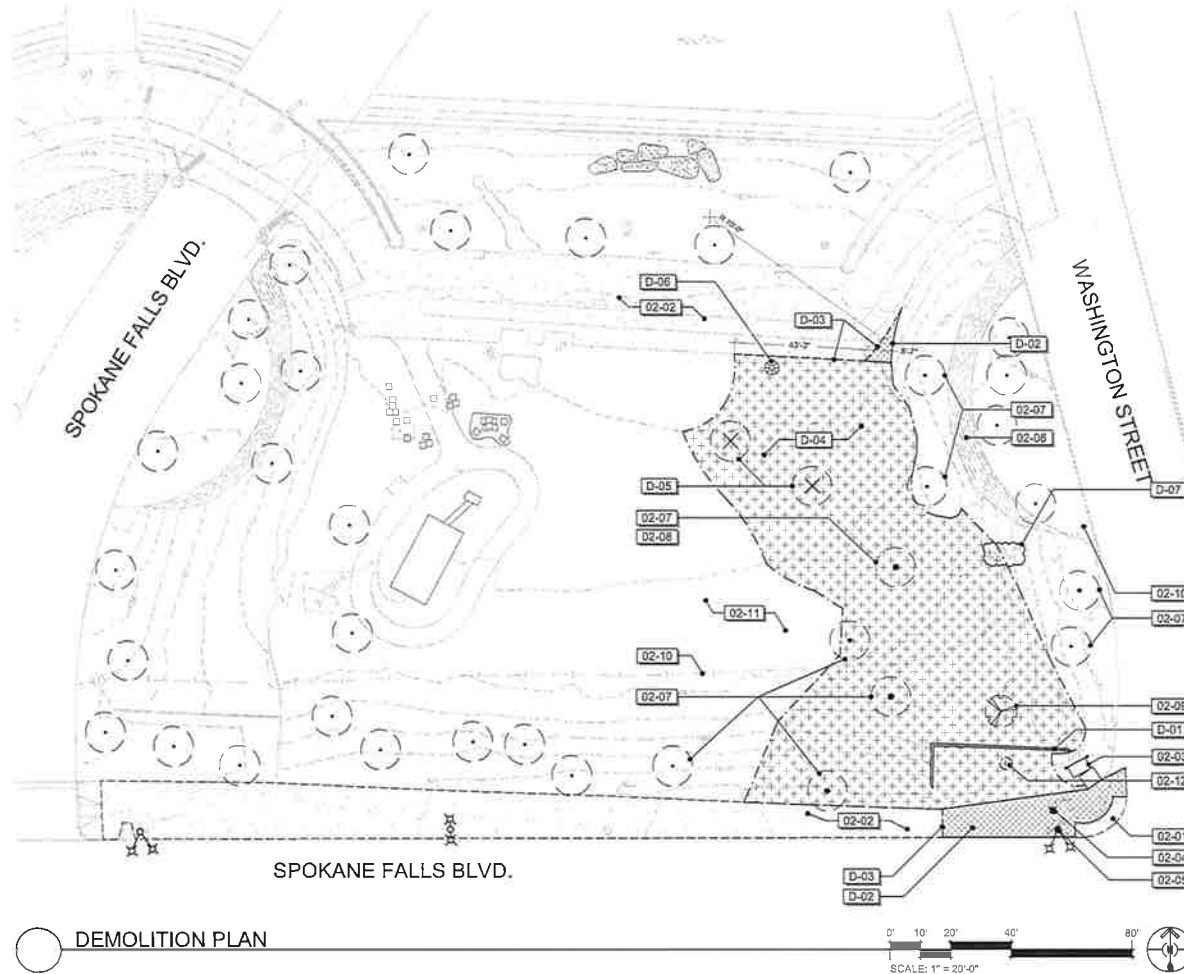
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SHEET 2 OF 2

L1.1

TREE PROTECTION





DEMOLITION SCHEDULE

SYMBOL	DESCRIPTION
D-01	DEMO & DISPOSE OF EX. CONCRETE WALL & FOOTING. WALL IS AN AVERAGE OF 1.5' HT ABOVE FINISH GRADE.
D-02	DEMO & DISPOSE OF EX. ASPHALT, BASE & SUBGRADE TO MEET DEPTH REQ'D TO INSTALL IMPROVEMENTS. EXCAVATE WITHIN TPZS AS REQUIRED ON SHEET L1.1.
D-03	SAWCUT FLEXIBLE PAVEMENT, FULL DEPTH.
D-04	DEMO & DISPOSE OF EX. ORGANIC MATERIAL. REMOVE DUFF LAYER AND SUBGRADE AS REQ'D TO ACCOMMODATE IMPROVEMENTS.
D-05	DEMO EX. TREE, CITY OF SPOKANE URBAN FORESTRY SHALL CUT TREE TO 2'-3' ABOVE GRADE AND REMOVE DEBRIS. CONTRACTOR SHALL PULL STUMP & ROOTS LARGER THAN 1" IN Ø, BACKFILL & COMPACT VOID AS REQ'D, TYP. OF 2.
D-06	SALVAGE EX. LIGHT POLE FOR RE-INSTALLATION ON NEW BASE. DEMO & DISPOSE OF EX. POLE BASE.
D-07	DEMO IRRIGATION VALVES & BOXES IN APPROXIMATE LOCATION. INSTALL REPLACEMENT VALVES & BOXES PER SHEET L1.5.

EXISTING CONDITIONS SCHEDULE

SYMBOL	DESCRIPTION
E-01	EXISTING CONCRETE CURB RAMP TO REMAIN. PROTECT IN PLACE.
E-02	EXISTING ASPHALT WALKWAY TO REMAIN. PROTECT IN PLACE.
E-03	EXISTING ILLUMINATED SIGN & ASSOCIATED APPURTENANCES TO REMAIN. PROTECT IN PLACE.
E-04	EXISTING HYDRANT TO REMAIN. PROTECT IN PLACE.
E-05	EXISTING SIGNAL POLE TO REMAIN. PROTECT IN PLACE.
E-06	EXISTING ARMORED EMBANKMENT TO REMAIN. PROTECT IN PLACE.
E-07	EX. TREE TO REMAIN. ESTABLISH TREE PROTECTION ZONE (TPZ) PER DETAIL. PROTECT IN PLACE, TYP. OF 7.
E-08	CL. SENSITIVE PRUNE EX. TREE. CITY OF SPOKANE TO PERFORM PRUNING WORK.
E-09	EX. SPECIMEN TREE TO BE TRANSPLANTED. CITY OF SPOKANE URBAN FORESTRY (UF) TO REMOVE TREE PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL PROTECT & WATER TREE ON-SITE DURING CONSTRUCTION. UF SHALL REPLANT TREE AFTER PATHWAY CONSTRUCTION IS COMPLETE.
E-10	EX. TELEPHONE LINE TO REMAIN. PROTECT IN PLACE.
E-11	EX. TURF GRASS TO REMAIN. PROTECT IN PLACE.
E-12	EX. ELEC VAULT TO REMAIN. ADJUST RING AND COVER WITH GRADE RINGS AS REQ'D TO MEET GRADES. GROUT AND SEAL RING AND COVER.


ADD/ALT 2

- DEMOLISH (2) EX. CURB RAMPS TO ACCOMMODATE NEW IMPROVEMENTS.
- CURB RAMP DEMO LOCATIONS PER SHEET L1.0


TREE PROTECTION NOTES

- NO MACHINE EXCAVATION SHALL OCCUR WITHIN THE TPZ WITHOUT PRIOR WRITTEN AUTHORIZATION OF THE URBAN FORESTER.
- DEMOLITION, CLEAR & GRUB ACTIVITY WITHIN TPZS SHALL BE CONDUCTED BY HAND IN A MANNER TO LIMIT DAMAGE TO SURFACE ROOTS GREATER THAN 1" IN DIAMETER. NO TEARING, CUTTING, OR DAMAGE TO ROOT BARK IS PERMITTED.
- IN THE CASE OF ACCIDENTAL ROOT DAMAGE, CONTACT THE URBAN FORESTER IMMEDIATELY FOR INSPECTION AND DIRECTION. DO NOT BACKFILL OVER ROOTS IMPACTED BY CONSTRUCTION ACTIVITY. NO GRADE CUTS ARE PERMITTED WITHIN TPZS.
- LIMIT DAMAGE TO ADJACENT TREES. ANY DAMAGE TO ADJACENT TREES AS A RESULT OF EXCAVATION, CLEARING, GRUBBING, OR ROOT WAD REMOVAL SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR.
- DISPOSE OF ALL DELETERIOUS MATERIALS AT AN OWNER APPROVED, OFF-SITE FACILITY.

PERMIT SET - NOT FOR CONSTRUCTION



**CITY OF SPOKANE
PARKS & RECREATION**



STATE OF WASHINGTON
LANDSCAPE ARCHITECT
NICHOLAS J. TAMM
LICENSE NO. 1887
EXPIRES ON 02/12/2018

RFP SOUTH BANK EAST
610 W. SPOKANE FALLS BLVD. SPOKANE, WA 99201

DEMO PLAN

DATE: 2017.03.07
DRAWN BY: NAH
CHECKED BY: NAH
PROJECT NO: -


REVISION

A	A
A	A

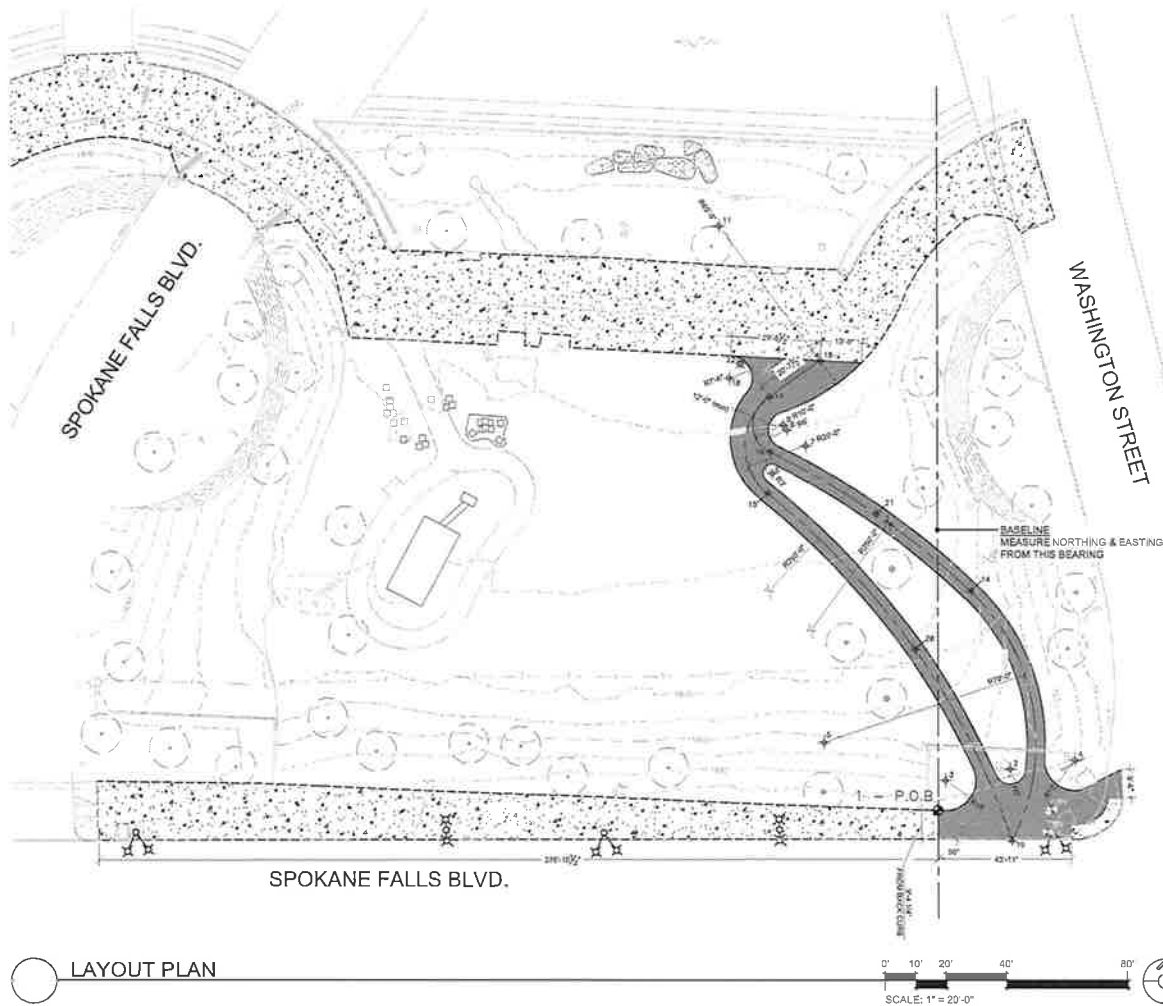
SHEET 3 OF 9

L1.2

DEMO PLAN



Know what's below.
Call before you dig.



NORTHING/EASTING POINT SCHEDULE

POINT	DESCRIPTION	NORTHING	EASTING
1 - P.O.B.	POINT OF BEGINNING	N 0°	E 0°
2	CENTER RADIUS - WALK EDGE	N 13°-8 3/8"	E 23°-8 11/16"
3	CENTER RADIUS - WALK EDGE	N 9°-11"	E 2°-6 11/16"
4	CENTER RADIUS - WALK EDGE	N 16°-7 3/4"	E 45°-2 5/8"
5	RADIUS POINT FOR WALK CENTERLINE	N 22°-4 5/16"	W 37°-7"
6	CENTER RADIUS - WALK EDGE	N 11°-6 1/8"	W 54°-5 1/2"
7	RADIUS POINT FOR WALK CENTERLINE	N 123°-7 7/16"	W 43°-5"
8	CENTER RADIUS - WALK EDGE	N 125°-10 3/8"	W 40°-8"
9	RADIUS POINT FOR WALK CENTERLINE	N 127°-6 9/10"	W 60°-10 7/16"
10	CENTER RADIUS - WALK EDGE	N 142°-11 13/16"	W 68°-6 3/4"
11	CENTER RADIUS - WALK EDGE	N 180°-8 5/8"	W 71°-10 15/16"
12	RADIUS POINT FOR WALK CENTERLINE (OFF-SITE)	S 89°-10 3/4"	W 212°-5 3/4"
13	RADIUS POINT FOR WALK CENTERLINE (OFF-SITE)	S 137°-3 9/16"	W 162°-6 5/16"
14	CENTER WALK POINT OF ARC TANGENT	N 72°-8 7/8"	E 11°-0 3/16"
15	CENTER WALK POINT OF ARC TANGENT	N 105°-0 5/16"	W 55°-11 1/4"
16	CENTER WALK POINT OF ARC TANGENT	N 115°-6 3/16"	W 55°-1 15/16"
17	CENTER WALK POINT OF ARC TANGENT	N 135°-8 3/4"	W 55°-3 3/16"
18	CENTER WALK TERMINUS TO EX. ASPHALT	N 145°-11 1/8"	W 38°-7 3/16"
19	INTERSECTION OF WALK CENTERLINES	S 13°-1 1/16"	E 24°-5 1/4"
20	CENTER WALK @ ARC MIDPOINT	N 83°-2 11/16"	W 7°-6 1/16"
21	CENTER WALK @ ARC MIDPOINT	N 98°-3 15/16"	W 20°-2 15/16"
22	CENTER RELOCATED LIGHT POLE	N 147°-10 5/8"	W 64°-11 1/8"

LAYOUT NOTES

- ESTABLISH SITE LAYOUT FROM TRUNCATED POINT OF BEGINNING (P.O.B.) AT EDGE OF EXISTING ASPHALT PER PLAN DIMENSIONS. ASSUMED COORDINATE FOR P.O.B. IS N: 259500'-8 3/8" E: 2481597'-11 9/16". SET 1/2"Ø REBAR TO MARK P.O.B. LOCATION.

PERMIT SET - NOT FOR CONSTRUCTION



CITY OF SPOKANE
PARKS & RECREATION



STATE OF WASHINGTON
LICENSED PROFESSIONAL ENGINEER
NICHOLAS A. LAVARD
LICENSE NO. 1485
EXPIRES ON 03.13.2019

RFP SOUTH BANK EAST
610 W. SPOKANE FALLS BLVD. SPOKANE, WA 99201

LAYOUT PLAN

DATE: 2017.03.07
DRAWN BY: NAH
CHECKED BY: NAH
PROJECT NO: -

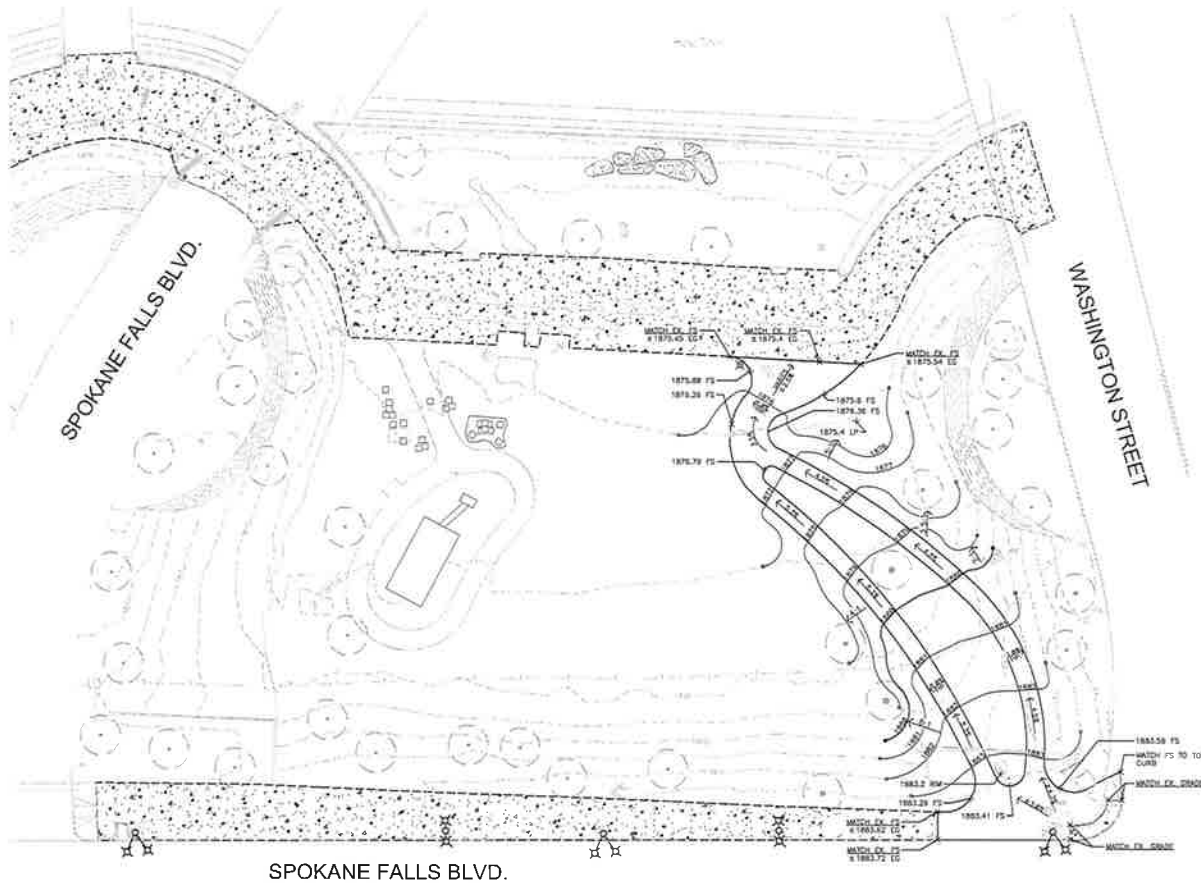
REVISION

SHEET 1 OF 3

L1.3
LAYOUT PLAN



Know what's below.
Call before you dig.



GRADING LEGEND
 FS: FINISH (TOP) SURFACE
 EG: EXISTING FINISH GRADE / FINISH SURFACE
 RIM: TOP OF VAULT LD



PERMIT SET - NOT FOR CONSTRUCTION

CITY OF SPOKANE
PARKS & RECREATION

STATE OF WASHINGTON
LICENSED LANDSCAPE ARCHITECT
NICHOLAS A. THORND
LICENSE NO. 1146
EXPIRATION 03-31-2018

RFP SOUTH BANK EAST
610 W. SPOKANE FALLS BLVD. SPOKANE, WA 99201

GRADING PLAN

BAR IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DATE: 2017.03.07
 DRAWN BY: NAH
 CHECKED BY: NAH
 PROJECT NO: -

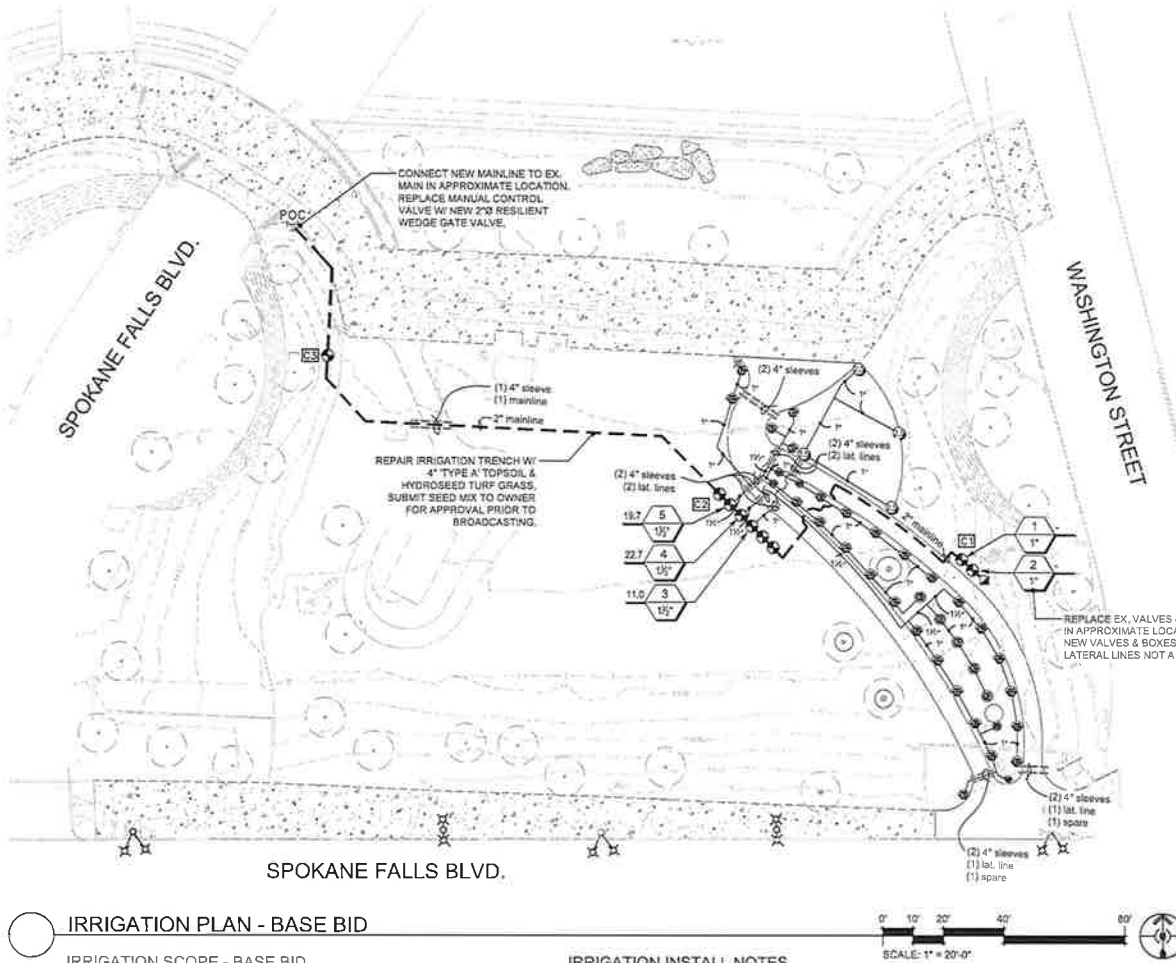
REVISION

1	2	3
4	5	6

SHEET 5 OF 5

L1.4
GRADING PLAN





IRRIGATION PLAN - BASE BID

IRRIGATION SCOPE - BASE BID

- TRENCH, INSTALL & BACKFILL, FLUSH & TEST ALL MAINLINE, AUTOMATIC CONTROL VALVES (3 EA), AND MANUAL CONTROL VALVES (1 EA), AND QUICK COUPLING VALVES (1 EA).
- INSTALL 2-WIRE PATH CONTINUOUS WITH ALL MAINLINE, & SUPPLY 12" LOOP INTO EACH VALVE BOX FOR FUTURE USE, DO NOT CONNECT VALVES TO 2-WIRE PATHWAY.
- INSTALL DETECTOR TAPE TO ALL MAINLINE LOCATIONS.
- INSTALL ALL SLEEVING.
- INSTALL ALL BATTERY OPERATED CONTROLLERS (3 EA) & CONNECT TO VALVES.
- INSTALL LATERAL LINES AND HEADS PER SHEET L1.5.
- ABANDON (CUT & CAP) EXISTING MAINLINE DOWNSTREAM OF P.O.C.
- PRESSURE TEST ALL LINES PER WSDOT STANDARD SPECIFICATIONS.
- FLUSH AND ADJUST ALL LINES & HEADS.
- PROVIDE AS-BUILTS OF ALL IRRIGATION COMPONENT LOCATIONS.
- REPAIR ALL LANDSCAPE DAMAGED BY IRRIGATION INSTALLATION.

IRRIGATION INSTALL NOTES

- IRRIGATION ROUTING IS DIAGRAMMATIC. DO NOT PLACE IRRIGATION COMPONENTS BENEATH IMPERVIOUS SURFACES UNLESS LOCATED WITHIN SLEEVING.
- MATCH INSTALLATION DETAILS FOR HEADS, PIPE, VALVES, AND SLEEVING TO DETAILS FROM LOUFF CARROUSEL DRAWINGS. INSTALL DETECTOR TAPE TO ALL MAINLINE LOCATIONS.
- ALL TRENCHING WITHIN TREE PROTECTION ZONES SHALL BE CONDUCTED BY HAND IN A MANNER TO LIMIT DAMAGE TO SURFACE ROOTS GREATER THAN 1" IN DIAMETER, NO TEARING, CUTTING, OR DAMAGE TO ROOT BARK IS PERMITTED.
- IN THE CASE OF ACCIDENTAL ROOT DAMAGE, CONTACT THE URBAN FORESTER IMMEDIATELY FOR INSPECTION AND DIRECTION. DO NOT BACKFILL OVER ROOTS IMPACTED BY CONSTRUCTION ACTIVITY.
- AIR-SPADE OR HYDRO-EXCAVATE TRENCHES WITHIN TPZs, & ROOT PRUNE (BY CERTIFIED ARBORIST) IF REQUIRED BY URBAN FORESTER.
- MAINLINE TO HAVE 24" SOIL COVER - MIN.
- LATERAL LINES TO HAVE 12" SOIL COVER - MIN.
- CONTRACTOR TO CONDUCT COVERAGE TEST WITH LANDSCAPE ARCHITECT UPON COMPLETION OF PIPING INSTALLATION. 100% HEAD-TO-HEAD COVERAGE IS REQUIRED FOR NEW ZONES TO ACHIEVE SUBSTANTIAL COMPLETION.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
	Rain Bird 1506 5 Series MPR Turf Spray 5.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Use Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30
	Rain Bird 1506 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Use Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30
	Rain Bird 1506 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Use Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30
	Rain Bird 1506 12 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Use Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30
	Rain Bird 1506 18 Series MPR Turf Spray 5.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Use Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	GPM	RADIUS
	Rain Bird 5006-PC, FC-SS Turf Rotor, 6.0" Pop-Up, Stainless Steel Rotor, Adjustable and Full Circle, Standard Angle Nozzle, Match nozzle to number listed on heads per plan.	55	2.50	37'
	Rain Bird 5006-PC, FC-SS Turf Rotor, 6.0" Pop-Up, Stainless Steel Rotor, Adjustable and Full Circle, Standard Angle Nozzle, Match nozzle to number listed on heads per plan.	55	2.76	37'
	Rain Bird 5006-PC, FC-SS Turf Rotor, 6.0" Pop-Up, Stainless Steel Rotor, Adjustable and Full Circle, Standard Angle Nozzle, Match nozzle to number listed on heads per plan.	55	3.47	40'
	Rain Bird 5006-PC, FC-SS Turf Rotor, 6.0" Pop-Up, Stainless Steel Rotor, Adjustable and Full Circle, Standard Angle Nozzle, Match nozzle to number listed on heads per plan.	55	6.63	47'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Rain Bird PDA-PRS-D Angle 1", 1-1/2", 2" Electric Remote Control Valve, Angle, With Pressure Regulator Module.
	Rain Bird 5-LRC 1" Bronze Quick-Coupling Valve, with Combination/Standard Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 1-Piece Body.
	Rain Bird TB052-CM6 6 station battery operated controller, commercial grade.
	Rain Bird TB052-CM1 6 station battery operated controller, commercial grade.
	Rain Bird TB052-CM2 and TB052-FTUS 2 station battery operated controller, with field transmitter, commercial grade.
	2" Irrigation main located near garage goal Pressure obtained from Spokane Water Dept. for hydrant located @ NW corner of Washington and Spokane Falls Blvd on 03/06/2017.

	Infiltration Lateral Line: PVC Schedule 40 Solenoid used SCH 40 PVC. Only lateral transition pipe sizes 1 1/2" and above are indicated on the plan, with all others being 1" at size. No 1-1/4" pipe sleeves.
	Infiltration Mainline: PVC Schedule 40 PVC Schedule 40 infiltration pipe.
	Pipe Sleeve: PVC Schedule 40 4" DIAMETER (MIN)
	Valve Box
	Valve Box

CRITICAL ANALYSIS

Generated: 2017-03-06 19:49

P.O.C. NUMBER 01

Water Source Information:

Pressure reading of 94 psi obtained from Spokane
Water Dept. at hydrant located @ NW corner of
Washington and Spokane Falls Blvd on 03/06/2017.

FLOW AVAILABLE
Existing 2" Mainline:
Flow Available: 50.00 gpm
50.00 gpm

PRESSURE AVAILABLE
Static Pressure at POC:
Pressure Available: 75.00 psi
75.00 psi

DESIGN ANALYSIS
Maximum Station Flow:
Flow Available at POC:
Residual Flow Available: 46.41 gpm
50.00 gpm
3.59 gpm

Pressure Req. at Critical Station: 63.48 psi
Loss for Friction: 0.33 psi
Loss for Main Line: 3.28 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 0.00 psi
Critical Station Pressure at POC: 67.07 psi
Pressure Available: 75.00 psi
Residual Pressure Available: 7.93 psi

PERMIT SET - NOT FOR CONSTRUCTION



Know what's below.
Call before you dig.



CITY OF SPOKANE
PARKS & RECREATION



STATE OF WASHINGTON
LICENSED PROFESSIONAL ENGINEER
NICHOLAS A. HAMAD
LICENSE NO. 3383
EXPIRES ON 02-17-2018

RFP SOUTH BANK EAST
610 W. SPOKANE FALLS BLVD, SPOKANE, WA 99201

IRRIGATION PLAN

BAR IS ONE INCH ON ORIGINAL
DRAWING. IF NOT ONE INCH ON
THIS SHEET, ADJUST SCALES
ACCORDINGLY.

DATE: 2017.03.07

DRAWN BY: NAH

CHECKED BY: NAH

PROJECT NO: -

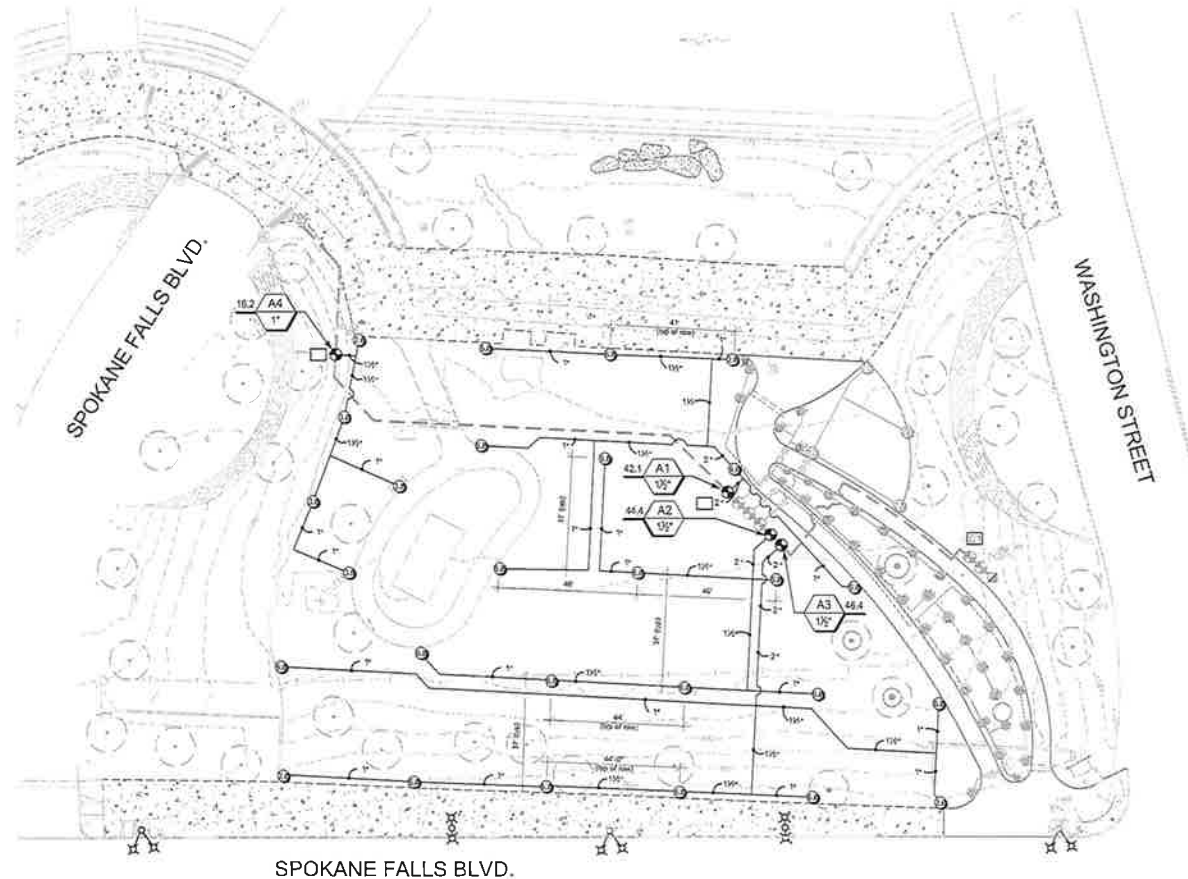
REVISION

	1	ADD LATERAL LINES
	2	ADD LATERAL LINES

SHEET 1 OF 1

L1.5

IRRIGATION PLAN - BASE



IRRIGATION PLAN - ALTERNATE 3

IRRIGATION SCOPE - BASE BID

1. CONNECT TO BASE BID VALVES IN LOCATIONS PER SHEET L1.6 (4 EA).
2. INSTALL LATERAL LINES AND HEADS PER SHEET L1.6.
3. PRESSURE TEST ALL LINES PER WSDOT STANDARD SPECIFICATIONS.
4. FLUSH AND ADJUST ALL LINES & HEADS.
5. PROVIDE AS-BUILTS OF ALL IRRIGATION COMPONENT LOCATIONS.
6. REPAIR ALL LANDSCAPE DAMAGED BY IRRIGATION INSTALLATION.

IRRIGATION INSTALL NOTES

1. IRRIGATION ROUTING IS DIAGRAMMATIC. DO NOT PLACE IRRIGATION COMPONENTS BENEATH IMPERVIOUS SURFACES UNLESS LOCATED WITHIN SLEEVING.
2. MATCH INSTALLATION DETAILS FOR HEADS, PIPE, VALVES, AND SLEEVING TO DETAILS FROM LOOFF CARROUSEL DRAWINGS/INSTALL DETECTOR TAPE TO ALL MAINLINE LOCATIONS.
3. ALL TRENCHING WITHIN TREE PROTECTION ZONES SHALL BE CONDUCTED BY HAND IN A MANNER TO LIMIT DAMAGE TO SURFACE ROOTS GREATER THAN 1" IN DIAMETER. NO TEARING, CUTTING, OR DAMAGE TO ROOT BARK IS PERMITTED.
4. IN THE CASE OF ACCIDENTAL ROOT DAMAGE, CONTACT THE URBAN FORESTER IMMEDIATELY FOR INSPECTION AND DIRECTION. DO NOT BACKFILL OVER ROOTS IMPACTED BY CONSTRUCTION ACTIVITY.
5. AIR-SPADE OR HYDRO-EXCAVATE TRENCHES WITHIN TPZS, & ROOT PRUNE (BY CERTIFIED ARBORIST) IF REQUIRED BY URBAN FORESTER.
6. MAINLINE TO HAVE 24" SOIL COVER - MIN.
7. LATERAL LINES TO HAVE 12" SOIL COVER - MIN.
8. CONTRACTOR TO CONDUCT COVERAGE TEST WITH LANDSCAPE ARCHITECT UPON COMPLETION OF PIPING INSTALLATION. 100% HEAD-TO-HEAD COVERAGE IS REQUIRED FOR NEW ZONES TO ACHIEVE SUBSTANTIAL COMPLETION.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
	Rain Bird 1806 5 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Use Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30
	Rain Bird 1806 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Use Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30
	Rain Bird 1806 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Use Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30
	Rain Bird 1806 12 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Use Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30
	Rain Bird 1806 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Use Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	GPM	RADIUS
	Rain Bird 5006-PC, FC-SS Turf Rotor, 6.0" Pop-Up, Stainless Steel Rotor, Adjustable and Full Circle, Standard Angle Nozzle, Match nozzle to number listed on heads per plan.	55	2.30	3"
	Rain Bird 5006-PC, FC-SS Turf Rotor, 6.0" Pop-Up, Stainless Steel Rotor, Adjustable and Full Circle, Standard Angle Nozzle, Match nozzle to number listed on heads per plan.	55	2.16	3"
	Rain Bird 5006-PC, FC-SS Turf Rotor, 6.0" Pop-Up, Stainless Steel Rotor, Adjustable and Full Circle, Standard Angle Nozzle, Match nozzle to number listed on heads per plan.	55	3.47	4"
	Rain Bird 5006-PC, FC-SS Turf Rotor, 6.0" Pop-Up, Stainless Steel Rotor, Adjustable and Full Circle, Standard Angle Nozzle, Match nozzle to number listed on heads per plan.	55	8.63	4"

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Rain Bird PGA-PRS-D Angle 1", 1/2", 2" Electric Remote Control Valve, Angle, With Pressure Regulator Module.
	Rain Bird 5-RC 1" Brass Quick-Coupling Valve, with Compression-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 1-Piece Body.
	Rain Bird TB052-CM1 8 station battery operated controller, commercial grade.
	Rain Bird TB052-CM1 8 station battery operated controller, commercial grade.
	Rain Bird TB052-CM2 and TB052-FTU5 2 station battery operated controller, with field transmitter, commercial grade.
	PDC 2" Irrigation main located near garbage vault. Pressure obtained from Spokane Water Dept. for hydrant located @ NW corner of Washington and Spokane Falls Blvd on 03/06/2017.
	Irrigation Lateral Line: PVC Schedule 40 Sewer vent SCH 40 PVC, Only lateral transition pipe sizes 1 1/2" and above are indicated on the plan, with all others being 1" in size, No 1 1/4" pipe allowed.
	Irrigation Mainline: PVC Schedule 40 PVC Schedule 40 irrigation pipe.
	Pipe Sleeve: PVC Schedule 40 4" DIAMETER (MIN)

CRITICAL ANALYSIS

Generated: 2017-03-08 19:43
P.O.C. NUMBER: 01
Water Source Information: Pressure reading of 94 psi obtained from Spokane Water Dept. at hydrant located @ NW corner of Washington and Spokane Falls Blvd on 03/06/2017.

Flow Available:
Existing 2" Mainline: 50.00 gpm
Flow Available: 50.00 gpm

Pressure Available:
Static Pressure at POC: 75.00 psi
Pressure Available: 75.00 psi

Design Analysis:
Maximum Station Flow: 46.41 gpm
Flow Available at POC: 50.00 gpm
Residual Flow Available: 3.59 gpm

Pressure Loss at Critical Station:
Loss for Friction: 0.33 psi
Loss for Minor Loss: 3.28 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 0.06 psi
Critical Station Pressure at POC: 87.07 psi
Pressure Available: 75.00 psi
Residual Pressure Available: 7.93 psi

PERMIT SET - NOT FOR CONSTRUCTION

CITY OF SPOKANE
PARKS & RECREATION

STATE OF WASHINGTON
LICENSED LANDSCAPE ARCHITECT
NICHOLAS A. TAMMAD
LICENSE NO. 5181
EXPIRES ON 02-27-2018

RFP SOUTH BANK EAST
610 W. SPOKANE FALLS BLVD. SPOKANE, WA 99201

IRRIGATION PLAN

SEALED BY THE CITY OF SPOKANE
DATE: 2017.03.07
DRAWN BY: NAH
CHECKED BY: NAH
PROJECT NO: -

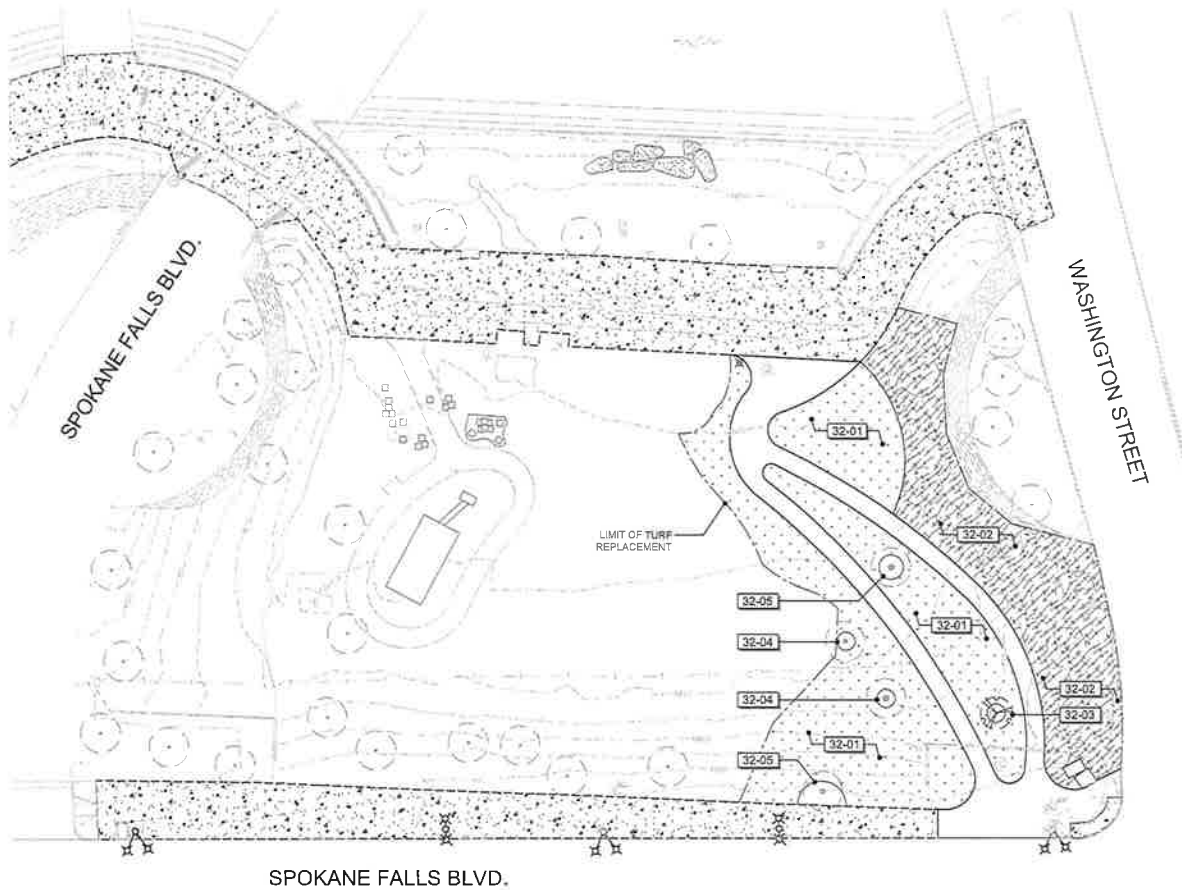
REVISION

1	2	3
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SHEET 7 OF 9

L1.6
IRRIGATION PLAN

811
Know what's below.
Call before you dig.



LANDSCAPE REPAIR



LANDSCAPE REPAIR SCHEDULE

SYMBOL	DESCRIPTION
32-01	NEW TURF SOD ATOP 4" DEPTH TYPE 'A' TOPSOIL, FEATHER TOPSOIL TO ADJACENT EXISTING TURF; TOP TURF 1" BELOW F.O. OF ADJACENT HARDSCAPE
32-02	NEW SHREDDED BARK MULCH, PLACE 2" DEPTH WHERE NO MULCH IS PRESENT, PLACE 1" DEPTH ATOP EXISTING MULCH.
32-03	SPECIMEN TREE, TRANSPLANTED BY OTHERS.
32-04	MULCH RING AROUND TREE W/ NATURAL EDGE - 8' DIAMETER, PLACE 2" DEPTH SHREDDED BARK MULCH, TAPER TO TREE TRUNK. DO NOT BURY TRUNK.
32-05	MULCH RING AROUND TREE - 8' DIAMETER W/ NATURAL EDGE, PLACE 2" DEPTH SHREDDED BARK MULCH, TAPER TO TREE TRUNK. DO NOT BURY TRUNK.

PERMIT SET - NOT FOR CONSTRUCTION



CITY OF
SPOKANE
PARKS & RECREATION



STATE OF
WASHINGTON
LICENSED
LANDSCAPE ARCHITECT
NICHOLAS A. YAMADA
LICENSE NO. 1981
EXPIRES 01/30/2018

RFP SOUTH BANK EAST
610 W. SPOKANE FALLS BLVD, SPOKANE, WA 99201

LANDSCAPE REPAIR

DATE: 2017.03.07

DRAWN BY: NAH

CHECKED BY: NAH

PROJECT NO: -

DATA IS ONE INCH ON ORIGINAL
DRAWING. IF NOT ONE INCH ON
THIS SHEET, ADJUST SCALES
ACCORDINGLY.

REVISION

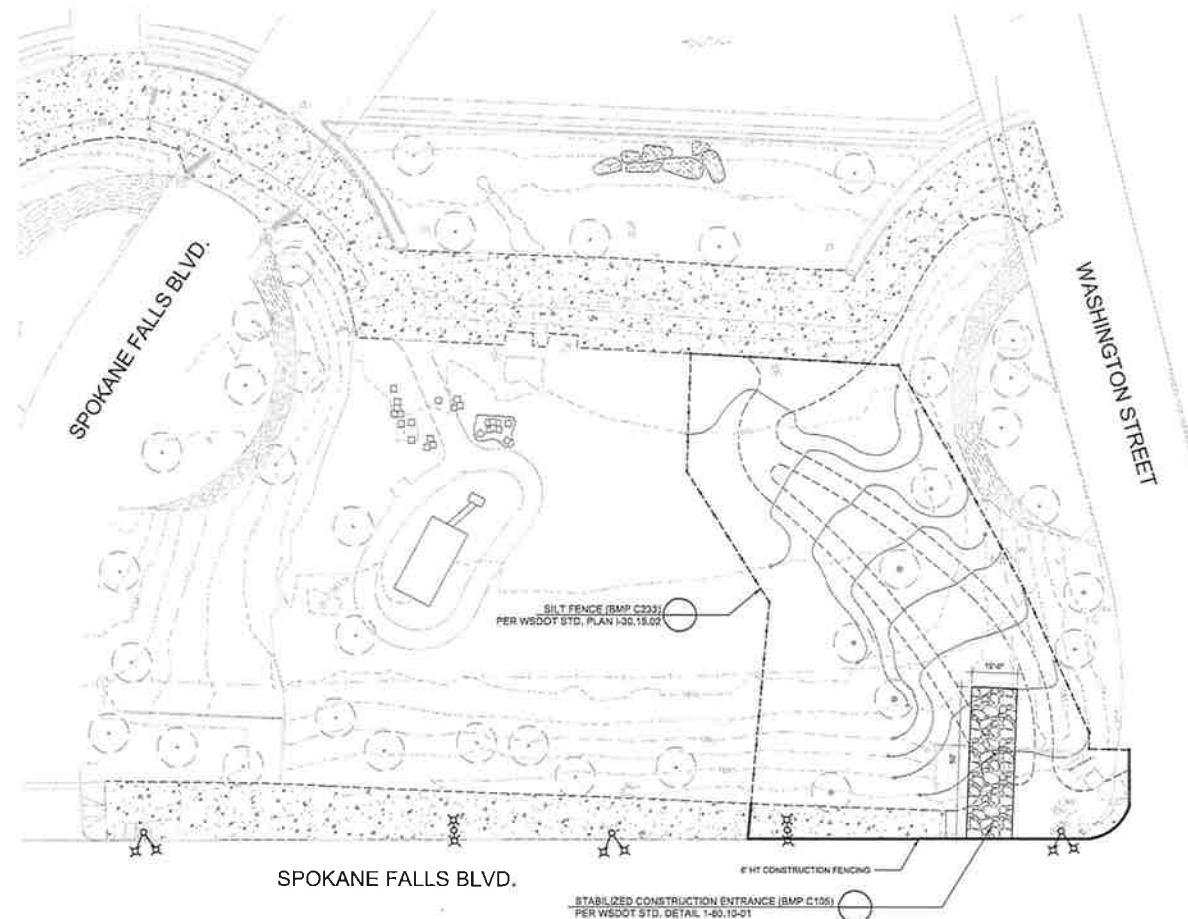
SHEET 1 OF 1

L1.7

LANDSCAPE REPAIR



Know what's below.
Call before you dig.



SRSM STANDARD ESC NOTES

- The following construction sequence shall be followed in order to best minimize the potential for erosion and sedimentation control problems:
 - Clear and grub sufficiently for installation of temporary ESC BMPs;
 - Install temporary ESC BMPs, constructing sediment trapping BMPs as one of the first steps prior to grading;
 - Clear, grub and rough grade for roads, temporary access points and utility locations;
 - Stabilize roadway approaches and temporary access points with the appropriate construction entry BMP;
 - Clear, grub and grade individual lots or groups of lots;
 - Temporarily stabilize, through re-vegetation or other appropriate BMPs, lots or groups of lots in situations where substantial cut or fill slopes are a result of the site grading;
 - Construct roads, buildings, permanent stormwater facilities (i.e. inlets, ponds, UIC facilities, etc.);
 - Protect all permanent stormwater facilities utilizing the appropriate BMPs;
 - Install permanent ESC controls, when applicable; and,
 - Remove temporary ESC controls when:
- Permanent ESC controls, when applicable, have been completely installed;
- All land-disturbing activities that have the potential to cause erosion or sedimentation problems have ceased; and,
- Vegetation had been established in the areas noted as requiring vegetation on the accepted ESC plan on file with the local jurisdiction.
- Inspect all roadways, at the end of each day, adjacent to the construction access route. If it is evident that sediment has been tracked off site and/or beyond the roadway approach, cleaning is required.
- If sediment removal is necessary prior to street washing, it shall be removed by shoveling or pickup sweeping and transported to a controlled sediment disposal area.
- If street washing is required to clean sediment tracked off site, once sediment has been removed, street wash wastewater shall be controlled by pumping back on-site or otherwise prevented from discharging into systems tributary to waters of the state.
- Restore construction access route equal to or better than the pre-construction condition.
- Retain the duff layer, native topsoil, and natural vegetation in an undisturbed state to the maximum extent practical.
- Inspect sediment control BMPs weekly at a minimum, daily during a storm event, and after any discharge from the site (stormwater or non-stormwater). The inspection frequency may be reduced to once a month if the site is stabilized and inactive.
- Control fugitive dust from construction activity in accordance with the state and/or local air quality control authorities with jurisdiction over the project area.
- Stabilize exposed unworked soils (including stockpiles), whether at final grade or not, within 10 days during the regional dry season (July 1 through September 30) and within 5 days during the regional wet season (October 1 through June 30). Soils must be stabilized at the end of a shift before a holiday weekend if needed based on the weather forecast. This time limit may only be adjusted by a local jurisdiction with a "Qualified Local Program." If it can be demonstrated that the recent precipitation justifies a different standard and meets the requirements set forth in the Construction Stormwater General Permit.
- Protect inlets, drywells, catch basins and other stormwater management facilities from sediment, whether or not facilities are operable.
- Keep roads adjacent to inlets clean.
- Inspect inlets weekly at a minimum and daily during storm events.
- Construct stormwater control facilities (detention/retention storage pond or swales) before grading begins. These facilities shall be operational before the construction of impervious site improvements.
- Stockpile materials (such as topsoil) on site, keeping off of roadway and sidewalks.
- Cover, contain and protect all chemicals, liquid products, petroleum products, and non-hazardous wastes present on site from vandalism (see Chapter 173-204 WAC for the definition of inert waste), use secondary containment for on-site fueling tanks.
- Conduct maintenance and repair of heavy equipment and vehicles involving oil changes, hydraulic system repairs, solvent and de-greasing operations, fuel tank drain down and removal, and other activities that may result in discharge or spillage of pollutants to the ground or into stormwater runoff using spill prevention measures, such as drip pans. Clean all contaminated surfaces immediately following any discharge or spill incident. If raining over equipment or vehicle, perform emergency repairs on site using temporary plastic beneath the vehicle.
- Conduct application of agricultural chemicals, including fertilizers and pesticides, in such a manner, and at application rates, that inhibit the loss of chemicals into stormwater runoff facilities. Amend manufacturer's recommended application rates and procedures to meet this requirement, if necessary.
- Inspect on a regular basis (at a minimum weekly, and daily during/after a runoff producing storm event) and maintain all erosion and sediment control BMPs to ensure successful performance of the BMPs. Note that inlet protection devices shall be cleaned or removed and replaced before six inches of sediment can accumulate.
- Remove temporary ESC BMPs within 30 days after the temporary BMPs are no longer needed. Permanently stabilize areas that are disturbed during the removal process.

ESC PLAN

0' 10' 20' 40' 80'
SCALE: 1" = 20'-0"

PERMIT SET - NOT FOR CONSTRUCTION

RFP SOUTH BANK EAST 610 W. SPOKANE FALLS BLVD. SPOKANE, WA 99201	
ESC PLAN	
S&P IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.	
DATE:	2017.03.07
DRAWN BY:	NAH
CHECKED BY:	NAH
PROJECT NO:	-
REVISION	
SHEET 1 OF 1	
L1.8 ESC PLAN	

811
Know what's below.
Call before you dig.

[illegible]

AAA Sweeping, L.L.C.
P. O. Box 624
Veradale, WA 99037

INVOICE

Telephone: 509.922.1363

INVOICE # 58311

CLIENT # WALK01

SERVICE LOCATION

Walker Construction
PO Box 3901
Spokane, WA 99220

Looff Carrousel Facility

Contact: Jackie
Telephone: 509.535.3354

INVOICE DATE | ORDERED DATE

Terms

04/30/17 04/30/17

NET 30 DAYS

MAIN

			<u>SERVICE DESCRIPTION</u>		<u>PRICE</u>
1.000	1.000	N	EX Looff Carrousel Facility Street sweeper service ordered - 4/28/17 p.m. After hours rate applies. Mobilization & sweeper service - 2 hr min @ 190.00	380.000	380.00
1.000	1.000	N	EX Disposal fee	55.000	55.00

*CV a Sh
asphalt @ SE trail*

Printed: 05/25/17

Page: 1

Total Paid 0.00
Balance Due 435.00
Due Date 05/30/17

Sub Total 435.00
0.00

Sales Tax

TOTAL DUE \$ 435.00

Invoices not paid within thirty days will be charged a 1.5% finance fee

22nd -
645-22
28th -
4, 5th -

AAA Sweeping, L.L.C.
P. O. Box 624
Veradale, WA 99037

INVOICE

Telephone: 509.922.1363

INVOICE # 58452-A
CLIENT # WALK01

SERVICE LOCATION

Walker Construction
PO Box 3901
Spokane, WA 99220

Looft Carrousel Facility

Contact: Jackie / Dan
Telephone: 509.535.3354

INVOICE DATE | ORDERED DATE

05/18/17 05/18/17

Terms

NET 30 DAYS

MAIN

SERVICE DESCRIPTION

1.000 1.000 N

EX
Looft Carrousel Facility
Street sweeper service ordered - 5/4/17
Mobilization & sweeper service - 2.0 hrs @ 165.00 = 330.00
Disposal fee - 50.00

380.000

PRICE

380.00

Washington to Stevens per Patrick

1.000 1.000 N

EX
Looft Carrousel Facility
Sweep and wash service ordered - 5/5/17
Mobilization & sweeper service - 2.0 hrs @ 165.00 = 330.00
Mobilization & wash service - 2.0 hrs @ 150.00 = 300.00
Disposal fee - 60.00

690.000

690.00

machs

WALKER CONSTRUCTION INC.

MAY 24 1977

1701
S
1805.5
1615
S

Printed: 05/18/17

Page: 1

Total Paid 0.00
Balance Due 1,070.00
Due Date 06/17/17

Sub Total 1,070.00
Sales Tax 0.00

TOTAL DUE \$ 1,070.00

Invoices not paid within thirty days will be charged a 1.5% finance fee

Change Order Pricing Proposal

COP 01 - Rev 1		PCI Project #21704			Date	
Walker Construction		LOOFF Carrousel			05/08/17	
Narrative of Work						
Additional cost for South Bank Pathway work, performed on a T&M basis as directed. Work occurred on 4/6 and 4/7/2017. REV 1) Revised to include additional T&M work for the pathway. Our understanding is that our T&M work is completed (as of 4/26/17)						
MATERIALS						
Material Item			Unit Qty	Unit Type	Unit Cost	Total Mat'l
Topsoil - PCI Pit			252.0	cy	15.00	3,780.00
Busy Bee Dump Fees			12.0	load	60.00	720.00
Spokane Rock Products - 5/8 Gravel			489.0	tn	5.50	2,689.50
Geotextile Fabric			1.0	ls	470.00	470.00
Total Material						7,659.50
LABOR						
Trade				Total base		Total
Labor Category	Hours	Rate	Burden	W/ Burden	Fringe	Labor
Loaders -front end	37.0	29.79	6.42	36.21	12.76	1,811.89
Excavators	37.0	29.79	6.42	36.21	12.76	1,811.89
Labor - General	56.6	25.92	5.90	31.82	11.10	2,429.27
Truck Single	78.75	28.69	6.27	34.96	12.29	3,720.94
MOBILIZE-LOWBOY	20.0	28.81	6.28	35.09	12.34	948.60
SUPER/Working	23.5	39.37	7.68	47.05	6.63	1,261.48
Total Labor	252.85					11,984.07
EQUIPMENT						
Equipment Item		These rates based on actual hours used - not standby				
Grading & Excavation:				Hours Used	Rate	
4.75 - 5.0 cy loader				37.0	\$93.00	3,441.00
Skid steer				21.5	\$65.00	1,397.50
up to 5 ton mini ex				23.5	\$65.00	1,527.50
20-29 ton excavator				15.5	\$112.00	1,736.00
Concrete Breaker - mini				4.0	\$21.60	86.40
Trucks & Vehicles:						
On Rd 4 axle tractor/trailer combo - 2 Mobs				20.0	\$90.72	1,814.40
On RD 4 axle dump				78.75	\$90.72	7,144.20
Compaction:						
RT 820 trench roller				21.5	\$44.71	961.31
Diesel Plate 15k				21.5	\$39.71	853.80
Total Equipment						18,962.11
				Subtotals:		
a				Subcontractor Cost		0.00
b				8% markup of Sub		0.00
c				Total Subcontractor		0.00
d				Material Cost		7,659.50
e				Labor Cost		11,984.07
f				Equipment Cost		18,962.11
g				Subtotal d-f		38,605.68
h				15% markup of (d-f)		5,790.85
i				Total d-f w/ markup		44,396.53
j				Sub Total (c+i)		44,396.53
k				Liability ins. @ 1%		443.97
l				Bond - na		
m				Total Change (c+h+k+i)		\$44,840



T&M TRACKING LOG - South Bank Pathway

PROJECT: Looff Carrousel

DATE: 8-May-17

DESCRIPTION	April 6	April 7	April 24	April 25	April 26				TOTALS
ACTIVITY	Stripping, Load out trucks, sidewalk grade	Load out trucks, sidewalk grade, Import Agg	Hammer & Demo Existing Wall	Pathway Gravel & Irrigation Sleeve	Asphalt Demo, Grading, Demo Wall & Pole Bases - Topsoil				
LABOR									TOTALS
Working Superintendent			2.0	10.0	11.5				23.50
Excavator	8.0	7.5		10.0	11.5				37.00
Loader	8.0	7.5		10.0	11.5				37.00
Labor General			2.0	20.0	34.5				56.50
Truck single	16.0	17.25		23.0	22.5				78.75
EQUIPMENT									TOTALS
3213: Cat 305 Mini-excavator			2.0	10.0	11.5				23.5
Concrete Breaker - mini			2.0		2.0				4.0
3225: Komatsu 380 Loader	8.0	7.5		10.0	11.5				37.0
3195: Komatsu 138 Excavator	8.0	7.5							15.5
3205: Skid Steer				10.0	11.5				21.5
Trucks - Single Dump	16.0	17.25		23.0	22.5				78.75
Bomag Trench Roller				10.0	11.5				21.50
Bomag Diesel Plate Compactor				10.0	11.5				21.50
									0.0
MATERIALS									
Topsoil - PCI pit - cy					252				252.0
Spokane Rock - 5/8" - tons		123.0		366.0					489.0
Busy Bee - Loads	12								12.0

Piersol Construction Inc.

Piersol Construction Inc.

PIERSOL CONSTRUCTION INC

EXTRA WORK - TIME & MATERIAL DAILY LOG

Date: 4/24/17

Project: Lois (pathway by wagon

Job No. 21704

G.C. / Owner: Walker

Description of Work:

Hoe Ram existing wall 18" be low grad
cut down Rebar (was told to Hoe about
30' and leave the rest

Labor - NAME:

HOURS

TASK

Tiger
Randy Smith

2
2

cut Rebar with chop saw
Hoe ram

EQUIPMENT:

EQUIP No.

HOURS

TASK

305
Hoe Ram

2
2

TRUCKING (X):

____ PCI

____ how many?

____ OTHER

MATERIAL USED:

Acknowledgement:


GC/Owner Representative


PCI Supervisor / Representative

PIERSOL CONSTRUCTION INC

EXTRA WORK - TIME & MATERIAL DAILY LOG

Date: 4/25/17

Project: Loop 1 (By the Wilson Pathway)

Job No. 21704

G.C. / Owner: Walker

Description of Work:

Place 3/8 gravel for path way
Install sleeve for irrigation on North Side
Compact Gravel to 95%

Labor - NAME:	HOURS	TASK
Jordan	10	Labor
Joe	10	operator
Tiger	10	Labor
Criss	10	Labor / operator
Randy S	10	operator

EQUIPMENT:	EQUIP No.	HOURS	TASK
305	3213	10	
Track Skid Steer		10	
Bomag Roller		10	
Bomag Plate Compactor		10	
Komatsu 320 Loader		10	

TRUCKING (X): X PCI how many? OTHER

Have to see truck sheet

MATERIAL USED: 5/8 gravel

Acknowledgement:

GC / Owner Representative

Randy D Smith
PCI Supervisor Representative

PIERSOL CONSTRUCTION INC

EXTRA WORK - TIME & MATERIAL DAILY LOG

Date: 4/26/17

Project: Foot Pathway by Wagon

Job No. 21704

G.C. / Owner: Walker Construction

Description of Work:

Finish grading out pathway
pull existing asphalt and regrade
Place top soil on Slopes
Hoe Ram the rest of the wall
Hoe Ram concrete pole bases 1 North 2
on the South
Install Sleeve on South side

Labor - NAME:

HOURS

TASK

Jordan O	11.5	Labor
Tiger T	11.5	Labor
Chris B	11.5	Labor
Joe W	11.5	Operator
Randy S	11.5	operator

EQUIPMENT:

EQUIP No.

HOURS

TASK

305 Cat	3213	11.5	
Track Skid Steer		11.5	
320 Loader		11.5	
Bomag Roller		11.5	
Bomag Plate		11.5	
Hammer for 305		2 hrs	Ho

TRUCKING (X):

X PCI

3 how many?

 OTHER

MATERIAL USED:

place top soil for Slopes

Acknowledgement:

[Signature]
GC / Owner Representative

[Signature]
PCI Supervisor / Representative

	A	B	C	D	E	F	G	H	I
1	Job:	Date:	Time:	Truck#:	Product:	CY:	Import/Export:	Who:	Driver:
58950	Looft Carousel	4/6/2017	9:13	24	Native Soil	10	Export	Busy Bee	John
58951	Looft Carousel	4/6/2017	10:30	24	Native Soil	10	Export	Busy Bee	John
58952	Looft Carousel	4/6/2017	11:35	24	Native Soil	10	Export	Busy Bee	John
58953	Looft Carousel	4/6/2017	13:09	24	Native Soil	10	Export	Busy Bee	John
58954	Looft Carousel	4/6/2017	14:14	24	Native Soil	10	Export	Busy Bee	John
58955	Looft Carousel	4/6/2017	15:17	24	Native Soil	10	Export	Busy Bee	John
58956	Looft Carousel	4/6/2017	9:10	31	Native Soil	10	Export	Busy Bee	Steve
58957	Looft Carousel	4/6/2017	10:20	31	Native Soil	10	Export	Busy Bee	Steve
58958	Looft Carousel	4/6/2017	11:25	31	Native Soil	10	Export	Busy Bee	Steve
58959	Looft Carousel	4/6/2017	13:08	31	Native Soil	10	Export	Busy Bee	Steve
58960	Looft Carousel	4/6/2017	14:07	31	Native Soil	10	Export	Busy Bee	Steve
58961	Looft Carousel	4/6/2017	15:14	31	Native Soil	10	Export	Busy Bee	Steve
58962	Looft Carousel	4/7/2017	9:05	28	5/8" Crushed	13.35	Import	SRP	Aaron H.
58963	Looft Carousel	4/7/2017	11:54	28	5/8" Crushed	13.17	Import	SRP	Aaron H.
58964	Looft Carousel	4/7/2017	12:57	28	5/8" Crushed	14.72	Import	SRP	Aaron H.
58965	Looft Carousel	4/7/2017	13:58	28	5/8" Crushed	13.78	Import	SRP	Aaron H.
58976	Looft Carousel	4/7/2017	9:04	23	5/8" Crushed	12.29	Import	SRP	Jasen
58977	Looft Carousel	4/7/2017	11:59	23	5/8" Crushed	14.59	Import	SRP	Jasen
58978	Looft Carousel	4/7/2017	12:58	23	5/8" Crushed	14.24	Import	SRP	Jasen
58979	Looft Carousel	4/7/2017	13:58	23	5/8" Crushed	13.42	Import	SRP	Jasen
58980	Looft Carousel	4/7/2017	9:05	24	5/8" Crushed	13.36	Import	SRP	John
59021									

1	A	B	C	D	E	F	G	H	I
	Job:	Date:	Time:	Truck#:	Product:	CY:	Import/Export:	Who:	Driver:
59592	Looff Carousel	4/25/2017	10:13	28	5/8" Top Coarse	12.95	Import	Sullivan CPM	Aaron H.
59593	Looff Carousel	4/25/2017	11:11	28	5/8" Top Coarse	11.96	Import	SRP	Aaron H.
59594	Looff Carousel	4/25/2017	12:06	28	5/8" Top Coarse	12.6	Import	SRP	Aaron H.
59595	Looff Carousel	4/25/2017	13:18	28	5/8" Top Coarse	12.41	Import	SRP	Aaron H.
59596	Looff Carousel	4/25/2017	14:37	28	5/8" Top Coarse	13.92	Import	SRP	Aaron H.
59597	Looff Carousel	4/25/2017	15:40	28	5/8" Top Coarse	13.05	Import	SRP	Aaron H.
59610	Looff Carousel	4/25/2017	7:24	23	5/8" Top Coarse	14.73	Import	SRP	Greg
59611	Looff Carousel	4/25/2017	8:22	23	5/8" Top Coarse	15.08	Import	SRP	Greg
59612	Looff Carousel	4/25/2017	9:11	23	5/8" Top Coarse	14.05	Import	SRP	Greg
59613	Looff Carousel	4/25/2017	10:03	23	5/8" Top Coarse	13.98	Import	SRP	Greg
59614	Looff Carousel	4/25/2017	10:53	23	5/8" Top Coarse	14.34	Import	SRP	Greg
59615	Looff Carousel	4/25/2017	11:33	23	5/8" Top Coarse	13.57	Import	SRP	Greg
59616	Looff Carousel	4/25/2017	12:23	23	5/8" Top Coarse	14.76	Import	SRP	Greg
59617	Looff Carousel	4/25/2017	13:47	23	5/8" Top Coarse	15.67	Import	SRP	Greg
59618	Looff Carousel	4/25/2017	14:48	23	5/8" Top Coarse	15.35	Import	SRP	Greg
59619	Looff Carousel	4/25/2017	15:42	23	5/8" Top Coarse	14.9	Import	SRP	Greg
59633	Looff Carousel	4/25/2017	7:23	24	5/8" Top Coarse	31.14	Import	SRP	John
59635	Looff Carousel	4/25/2017	8:43	24	5/8" Top Coarse	27.6	Import	SRP	John
59638	Looff Carousel	4/25/2017	10:54	24	5/8" Top Coarse	14.7	Import	SRP	John
59639	Looff Carousel	4/25/2017	11:41	24	5/8" Top Coarse	14.38	Import	SRP	John
59640	Looff Carousel	4/25/2017	12:36	24	5/8" Top Coarse	14.76	Import	SRP	John
59641	Looff Carousel	4/25/2017	13:23	24	5/8" Top Coarse	14.17	Import	SRP	John
59642	Looff Carousel	4/25/2017	14:20	24	5/8" Top Coarse	12.91	Import	SRP	John
59643	Looff Carousel	4/25/2017	15:23	24	5/8" Top Coarse	12.79	Import	SRP	John
59669	Looff Carousel	4/26/2017	7:06	28	Top Soil	12	Import	J.C. Sandbox	Aaron H.
59670	Looff Carousel	4/26/2017	8:24	28	Top Soil	12	Import	J.C. Sandbox	Aaron H.
59671	Looff Carousel	4/26/2017	9:27	28	Top Soil	12	Import	J.C. Sandbox	Aaron H.
59672	Looff Carousel	4/26/2017	10:27	28	Top Soil	12	Import	J.C. Sandbox	Aaron H.
59673	Looff Carousel	4/26/2017	11:30	28	Top Soil	12	Import	J.C. Sandbox	Aaron H.
59674	Looff Carousel	4/26/2017	12:46	28	Top Soil	12	Import	J.C. Sandbox	Aaron H.
59675	Looff Carousel	4/26/2017	14:03	28	Top Soil	12	Import	J.C. Sandbox	Aaron H.
59691	Looff Carousel	4/26/2017	7:04	23	Top Soil	12	Import	J.C. Sandbox	Greg
59692	Looff Carousel	4/26/2017	8:13	23	Top Soil	12	Import	J.C. Sandbox	Greg
59693	Looff Carousel	4/26/2017	9:08	23	Top Soil	12	Import	J.C. Sandbox	Greg
59694	Looff Carousel	4/26/2017	10:07	23	Top Soil	12	Import	J.C. Sandbox	Greg
59695	Looff Carousel	4/26/2017	11:11	23	Top Soil	12	Import	J.C. Sandbox	Greg
59696	Looff Carousel	4/26/2017	12:49	23	Top Soil	12	Import	J.C. Sandbox	Greg

	A	B	C	D	E	F	G	H	I
1	Job:	Date:	Time:	Truck#:	Product:	CY:	Import/Export:	Who:	Driver:
59697	Looff Carousel	4/26/2017	14:07	23	Top Soil	12	Import	J.C. Sandbox	Greg
59712	Looff Carousel	4/26/2017	7:03	24	Top Soil	12	Import	J.C. Sandbox	John
59713	Looff Carousel	4/26/2017	8:07	24	Top Soil	12	Import	J.C. Sandbox	John
59714	Looff Carousel	4/26/2017	9:06	24	Top Soil	12	Import	J.C. Sandbox	John
59715	Looff Carousel	4/26/2017	10:03	24	Top Soil	12	Import	J.C. Sandbox	John
59716	Looff Carousel	4/26/2017	11:10	24	Top Soil	12	Import	J.C. Sandbox	John
59717	Looff Carousel	4/26/2017	12:48	24	Top Soil	12	Import	J.C. Sandbox	John
59718	Looff Carousel	4/26/2017	14:05	24	Top Soil	12	Import	J.C. Sandbox	John
60172									
60173									

230347

INVOICE

SOLD TO:

PIERSOL CONSTRUCTION INC
2233 S GARFIELD ROAD
AIRWAY HEIGHTS, WA 99001-9026

SHIP TO:

RIVERFRONT PARK
SPOKANE, WA

PAGE: 1

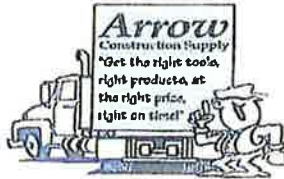
CUSTOMER		INVOICE	INVOICE DATE	JOB NUMBER	
00000304		230347	04/07/2017	000240	
DATE	PRODUCT	PRODUCT DESCRIPTION	QUANTITY UM	PRICE	AMOUNT
04/07	C100N1	5/8 CRUSHED (CSTC)	122.92 TN	5,500	676.08
TICKETS: 047-172702 047-172703 047-172704 047-172746 047-172749 047-172762 047-172763 047-172782 047-172783					



PAYH C.V.
21704-99.01
gr

TOTAL CUBIC YARDS: 0.00
TOTAL CUBIC METERS: 0.00

SUB TOTAL: 676.08
TAX: 0.00
NET DUE: 676.08

Arrow Construction Supply, Inc.P.O. Box 11133
Spokane, WA 99211-1133

Invoice

(509) 922-7847 Fax# (509) 922-9879

Customer No.: PIERSOL CONS

Invoice No.: 188823

Bill To: **Piersol Construction, Inc.**
2233 S. Garfield Rd.
Airway Heights, WA 99001Ship To: **Piersol Construction, Inc.**
2233 S. Garfield Rd.
Airway Heights, WA 99001

Date	Ship Via	F.O.B.	Terms	
04/07/17	Our Truck	Origin	Net 30	
Purchase Order Number	Order Date	Sales Person	Tax ID#	
Looff	04/07/17	Kerry	601-463-569	
			Our Order Number	
			307207	
Quantity	Item Number	Description	Unit Price	Amount
Required Shipped B.O.				
1 1	FAB 6-15NW	6 oz. 15' Non-Woven Geot 15'x300' = 500 SY	470.000	470.00
Invoice subtotal				470.00
Invoice total				470.00

TRAIL
CHANGE ORDER

21704 - 99.01 m
JRE
4/14

Thank You

Special Order Items are returnable pending the manufacturers authorization. Customer is responsible for any re-stock fee and all freight associated with the purchase and return. Claims for shortages must be made immediately.

Items not returnable after 90 days/No return without authorization/20% minimum restock charge/1.5% monthly late charge

Proper disposal of hazardous materials purchased is customer's responsibility. If any of the above listed items were purchased originally for resale but are subsequently used for taxable purposes, the taxes due thereon will be reported and paid by the undersigned. If collection procedures are necessary, buyer agrees to pay all reasonable attorney & collection fees. Buyer fully understands credit terms and agrees to proper payment in consideration of extended credit.

Date: _____ Received By: _____
Payment Rec'd: Cash _____ Check# _____ Cr Card _____

Change Order Pricing Proposal

COP 01		PCI Project #21704				Date
Walker Construction		LOOFF Carrousel				04/12/17
Narrative of Work						
Additional cost for South Bank Pathway work, performed on a T&M basis as directed. Work occurred on 4/6 and 4/7/2017						
MATERIALS						
Material Item			Unit Qty	Unit Type	Unit Cost	Total Mat'l
						0.00
Busy Bee Dump Fees			12.0	load	60.00	720.00
Spokane Rock Products - 5/8 Gravel			122.9	tn	5.50	676.06
Total Material						1,396.06
LABOR						
Trade				Total base		Total
Labor Category		Hours	Rate	Burden	W/ Burden	Fringe
Loaders -front end		16.5	29.79	6.42	36.21	12.76
Excavators		15.5	29.79	6.42	36.21	12.76
Truck Single		33.3	28.69	6.27	34.96	12.29
Total Labor		65.25				3,138.10
EQUIPMENT						
Equipment Item		These rates based on actual hours used - not standby				
Grading & Excavation:				Hours Used	Rate	
4.75 - 5.0 cy loader				16.5	\$93.00	1,534.50
20-29 ton excavator				15.5	\$112.00	1,736.00
Trucks & Vehicles:						
On RD 4 axle dump				33.3	\$90.72	3,016.44
Total Equipment						6,286.94
				Subtotals:		
				a	Subcontractor Cost	0.00
				b	8% markup of Sub	0.00
				c	Total Subcontractor	0.00
				d	Material Cost	1,396.06
				e	Labor Cost	3,138.10
				f	Equipment Cost	6,286.94
				g	Subtotal d-f	10,821.10
				h	15% markup of (d-f)	1,623.17
				i	Total d-f w/ markup	12,444.27
				j	Sub Total (c+i)	12,444.27
				k	Liability ins. @ 1%	124.44
				l	Bond	248.89
				m	Total Change (c+h+k+l)	\$12,818

61209

Name	Job Name	Work Performed	Date	Equipment #	Hours	Office Use Only
Harin Kaplan			4-6-17			
	30-30	Side walk grade		3195	8	
		Lunch		—	.5	
Foreman Signature			Shift Start: 7:00		Shift End: 3:30	

Piersol Construction Inc.

21702
4906

Name	Job Name	Work Performed	Date	Equipment #	Hours	Office Use Only
Robert Woodward			4-6-17			
	Load	Load trucks / strip path site		380 Loader	9	
		Lunch			.5	
Foreman Signature			Shift Start: 7		Shift End: 4:30	

Piersol Construction Inc.

21702
7906

Name: Kevin Kaplan		Date: 4-7-17		Office Use Only
Job Name	Work Performed	Equipment #	Hours	
Foot path	30-30 sidewalk	3195	7.5	Shovel
	lunch	—	.5	
Foreman Signature		Shift Start: 7:00	Shift End: 3:00	

Piersol Construction Inc.

R5 02.5

21702
7906

Name: Robert Woodward		Date: 4-7-17		Office Use Only
Job Name	Work Performed	Equipment #	Hours	
Loof	Transport S/S + Load trucks with Hammered Rock	3225 350 Rammer/Loader	7.5	Loader
		Lunch	.5	
Foreman Signature		Shift Start: 7	Shift End: 3	

Piersol Construction Inc.

R1 0-6.5

230347

INVOICE

SOLD TO:

PIERSOL CONSTRUCTION INC
 2233 S GARFIELD ROAD
 AIRWAY HEIGHTS, WA 99001-9026

SHIP TO:

RIVERFRONT PARK
 SPOKANE, WA

PAGE: 1

CUSTOMER		INVOICE	INVOICE DATE	JOB NUMBER	
00000304		230347	04/07/2017	000240	
DATE	PRODUCT	PRODUCT DESCRIPTION	QUANTITY UM	PRICE	AMOUNT
04/07	C100N1	5/8 CRUSHED (CSTC)	122.92 TN	5,500	676.08
TICKETS: 047-172702 047-172703 047-172704 047-172746 047-172749 047-172762 047-172763 047-172782 047-172783					



PAYH C.V.
 21704-99.01
 gr

TOTAL CUBIC YARDS:	0.00	SUB TOTAL:	676.08
TOTAL CUBIC METERS:	0.00	TAX:	0.00
		NET DUE:	676.08

	A	B	C	D	E	F	G	H	I
1	Job:	Date:	Time:	Truck#:	Product:	CY:	Import/Export:	Who:	Driver:
58950	Looff Carousel	4/6/2017	9:13	24	Native Soil	10	Export	Busy Bee	John
58951	Looff Carousel	4/6/2017	10:30	24	Native Soil	10	Export	Busy Bee	John
58952	Looff Carousel	4/6/2017	11:35	24	Native Soil	10	Export	Busy Bee	John
58953	Looff Carousel	4/6/2017	13:09	24	Native Soil	10	Export	Busy Bee	John
58954	Looff Carousel	4/6/2017	14:14	24	Native Soil	10	Export	Busy Bee	John
58955	Looff Carousel	4/6/2017	15:17	24	Native Soil	10	Export	Busy Bee	John
58956	Looff Carousel	4/6/2017	9:10	31	Native Soil	10	Export	Busy Bee	Steve
58957	Looff Carousel	4/6/2017	10:20	31	Native Soil	10	Export	Busy Bee	Steve
58958	Looff Carousel	4/6/2017	11:25	31	Native Soil	10	Export	Busy Bee	Steve
58959	Looff Carousel	4/6/2017	13:08	31	Native Soil	10	Export	Busy Bee	Steve
58960	Looff Carousel	4/6/2017	14:07	31	Native Soil	10	Export	Busy Bee	Steve
58961	Looff Carousel	4/6/2017	15:14	31	Native Soil	10	Export	Busy Bee	Steve
58962	Looff Carousel	4/7/2017	9:05	28	5/8" Crushed	13.35	Import	SRP	Aaron H.
58963	Looff Carousel	4/7/2017	11:54	28	5/8" Crushed	13.17	Import	SRP	Aaron H.
58964	Looff Carousel	4/7/2017	12:57	28	5/8" Crushed	14.72	Import	SRP	Aaron H.
58965	Looff Carousel	4/7/2017	13:58	28	5/8" Crushed	13.78	Import	SRP	Aaron H.
58976	Looff Carousel	4/7/2017	9:04	23	5/8" Crushed	12.29	Import	SRP	Jasen
58977	Looff Carousel	4/7/2017	11:59	23	5/8" Crushed	14.59	Import	SRP	Jasen
58978	Looff Carousel	4/7/2017	12:58	23	5/8" Crushed	14.24	Import	SRP	Jasen
58979	Looff Carousel	4/7/2017	13:58	23	5/8" Crushed	13.42	Import	SRP	Jasen
58980	Looff Carousel	4/7/2017	9:05	24	5/8" Crushed	13.36	Import	SRP	John
59021									

Name <u>John Borowell</u>		Date <u>4-6-2017</u>		Office Use Only
Job Name	Work Performed	Equipment #	Hours	
21704	HAULED ^{VEHICLE} TO BUSH BEE (6)	24	8	<div style="color: red;"> 21704 1st Trip Post Trip MISC LUNCH (Couldnt be on site by 7:30 AM → PRE TRIP Set time, waited at yard) POST TRIP </div>
		24	.50	
			.50	
Foreman Signature		Shift Start: <u>7:30 AM</u>		Shift End: <u>4:00 PM</u>

Piersol Construction Inc.

Piersol Construction Inc.

Driver

JOHN BROWELL

Truck#

24

Pup #

Date

4-6-2017

Beg Mileage:

78078

End Mileage:

78257 ✓

Job

Total Fuel

29.8 ✓

Pump Start:

Pump End:

	Load Time	From	To	What	Comments
1	8:30	21704	BUSY SEE	NATIVE SOIL	CHANGE ORDER
2	9:50	"			
3	11:00	"			
4	11:55	"			
5	1:35	"			
6	2:40	"			
7					
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40					

Name: <u>STEVE DUQUILL</u>		Date: <u>3-6-17</u>		Office Use Only
Job Name	Work Performed	Equipment #	Hours	
21704	HAUL OUT NATIVE SOIL	31-5010	7	Dumping
30-56	650KDS		1	Transfer
	(wait in yard for dirt to be on site)			
	PRE TRIP		.75	
	POST TRIP		.25	
Foreman Signature		Shift Start: 7:30	Shift End: 4:00	

Piersol Construction Inc.

8

Piersol Construction Inc.

Driver

STEVE DIJONIS

Truck#

31

Pup #

5016

Date

4-6-17

Beg Mileage:

108154

Job

21704

End Mileage:

108329

Total Fuel

27.2

Pump Start:

Pump End:

	Load Time	From	To	What	Comments
1	7:30		Pre trip		
2	8:10	SHOP	21704		
3	8:40	21704	BUSY BEAR	Active Soil	TRAIL CHANGE ORDER
4	9:55				
5	11:00				
6			LUNCH		1/2 HR
7	12:35	21704	BUSY BEAR	Active Soil	
8	1:40				
9	2:40				
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[illegible]

Name JOHN BORDWELL		Date 4-7-2017		Office Use Only
Job Name	Work Performed	Equipment #	Hours	
21704	CHANGE ORDER ROCK HAULED FROM CAROSELT TO PATHWAY (4)	24	2.0 1.5	Dump
21704	HAULED 5/8 TOP COARSE FROM SRP (1)	24	1	Tracked
21631	HAULED SELECT FROM SRP (7)	24-1084	4.5 4.15	Tracked
Shop	SAT IN YARD CLEAN TRK (7 AR)	24	2.6	
	PRETRIP POSTTRIP Misc	24-1084	.50	
	LUNCH		-.50	
	PRE TRIP		.4	
	POST TRIP		.45	
Foreman Signature		Shift Start: 6:30 AM	Shift End: 4:15 PM	

Piersol Construction Inc.

R 7.25

02

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32				
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34				
35				

Piersol Construction Inc.

Driver

JOHN BORDWELL

Truck#

24

Pup #

Date

4-7-2017

Beg Mileage:

78257

Job

End Mileage:

78350

Total Fuel

25.7

Pump Start:

Pump End:

	Load Time	From	To	What	Comments
1	7:10	21704	21704	Rock- 21704	CHANGE ORDER
2	7:40	"			"
3	7:55	"			"
4	8:10	"			"
5	9:00	SRP	21704	5/8 Top	"
6	12:25	SRP	21631	SELECT	"
7	12:50	"		"	"
8	1:20	"		"	"
9	1:50	"		"	"
10	2:15	"		"	"
11	2:40	"		"	"
12	3:15	"		"	"
13					
14					
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40					

9:10 YARD

Inland Asphalt Company

P O BOX 3366 • SPOKANE, WA 99220-3366

OFFICE: 509-534-2657 • FAX: 509-536-3051

An Equal Opportunity Employer • Contractor Registration #INLANAC9840K

To: Walker Construction Inc.

PO Box 3901

Spokane

WA 99220

Invoice: 30 -347399-008

Date: 5/16/2017

Job Number: 347399.008

Terms: Net 30 Days

Account: 18029

Customer Reference:

Bill No: 18

Page 1 of 1

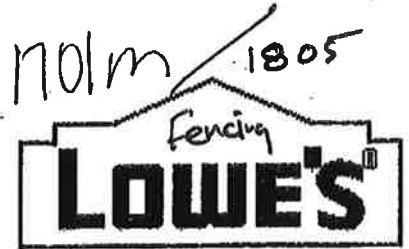
Please remit payment to: Inland Asphalt Company PO Box 742421 Los Angeles CA 90074

Job Name: Spokane Falls Blvd.

Item	Description	Contract				Completed to Date		Previous Invoices		Current Invoice	
		Units	U/M	Unit Price	Amount	Units	Amount	Units	Amount	Units	Amount
1	Riverfront Park Patching	0.00	LS	0.00	0.00	0.00	11,800.00	0.00	0.00	0.00	11,800.00
Original Contract		\$0.00				Subtotal		\$0.00		\$11,800.00	
Change Orders		\$0.00				Retention		\$0.00		\$0.00	
Total Contract		\$0.00				Sales Tax/GRT		\$0.00		\$0.00	
						WA100		\$11,800.00		\$0.00	
						Total Due This Invoice				\$11,800.00	

Invoice Notes

A late charge of 1 1/2 % per month which is an annual percentage rate of 18% or \$2.00 whichever is greater, will be charged on all accounts not paid per the terms of the agreement.



LOWE'S HOME CENTERS, LLC
E. 5204 SPRAGUE AVENUE
SPOKANE, WA 99212 (509) 533-0066

- SALE -

SALES#: S0172RC2 1973630 TRANS#: 70898610 03-30-17

92079 24-IN STEEL POST DRIVER W 26.50
27.97 DISCOUNT EACH -1.39

SUBTOTAL: 26.50

TAX: 2.31

INVOICE 15289 TOTAL: 28.89

LAR: 28.89

TOTAL DISCOUNT: 1.39

LAR:XXXXXXXXXX7691 AMOUNT:28.89 AUTHCD:000887

KEYED REF:085076 03/30/17 11:30:20

LAR PQ: 1701

ACCOUNT NAME: WALKER CONSTRUCTION

AUTH BUYER: SCHROEDER DAVE

ACCOUNT WILL BE BILLED UPON MERCHANDISE TRANSACTION
DATE FOR STOCK MERCHANDISE AND NO LATER THAN 90 DAYS
FROM TRANSACTION DATE FOR SOS OR DIRECT DELIVERY
MERCHANDISE.



STORE: 0172 TERMINAL: 15 03/30/17 11:30:20

OF ITEMS PURCHASED: 1

EXCLUDES FEES, SERVICES AND SPECIAL ORDER ITEMS



THANK YOU FOR SHOPPING LOWE'S.
SEE REVERSE SIDE FOR RETURN POLICY.
STORE MANAGER: ZANE DENISON

WE HAVE THE LOWEST PRICES, GUARANTEED!
IF YOU FIND A LOWER PRICE, WE WILL BEAT IT BY 10%.
SEE STORE FOR DETAILS.

* YOUR OPINIONS COUNT! *
* REGISTER FOR A CHANCE TO BE *
* ONE OF FIVE \$300 WINNERS DRAWN MONTHLY! *
* REGISTRESE EN EL SORTEO MENSUAL *
* PARA SER UNO DE LOS CINCO GANADORES DE \$300! *
* REGISTER BY COMPLETING A GUEST SATISFACTION SURVEY *
* WITHIN ONE WEEK AT: www.lowes.com/survey *
* Y O U R I D # 15289 0172 089 *
* NO PURCHASE NECESSARY TO ENTER OR WIN. *
* VOID WHERE PROHIBITED. MUST BE 18 OR OLDER TO ENTER. *
* OFFICIAL RULES & WINNERS AT: www.lowes.com/survey *

231664

INVOICE

SOLD TO:

WALKER CONSTRUCTION INC
PO BOX 3901
SPOKANE, WA 99220-3901

SHIP TO:

LOOFF CARROUSEL (QPW) 610 W
610 W SPOKANE FALLS BLVD
CITY OF SPOKANE - RIVERFRONT
PARK JOB #1701
SPOKANE, WA 99201
PO: 1701

PAGE: 1

CUSTOMER	INVOICE	INVOICE DATE	JOB NUMBER
00000846	231664	04/24/2017	000166

DATE	PRODUCT	PRODUCT DESCRIPTION	QUANTITY UM	PRICE	AMOUNT
04/24	110113	1 SACK CDF	17.00 CY	70.500	1,198.50
	9949	ENVIRONMENTAL FEE	17.00 CY	0.000	0.00
	9870	FUEL SURCHARGE	2.00 LD	0.000	0.00
	9852	STANDING TIME - REDI MIX	0.15 HR	0.000	0.00

TICKETS: 061-120186 071-118170

IF PAYMENT IS MADE BY 05/15/2017, DISCOUNT FOR INVOICE IS 11.99.

APR 27 2017

Job # 1701

Cal M

Est 2000 1805

TOTAL CUBIC YARDS: 17.00
TOTAL CUBIC METERS: 13.00

SUB TOTAL: 1,198.50
TAX: 0.00
NET DUE: 1,198.50

Remit To:

STAR RENTALS INC
PO BOX 3876
SEATTLE WA 98124-3876
www.starrentals.com

Invoice

Closed	Invoice#
Tue 4/18/2017	209606-13

Bill to:

Customer #: 152928

WALKER CONSTRUCTION
WALKER CONSTRUCTION
P.O. BOX 3901
SPOKANE WA 99220 3901

Job Descr: will call

PO #: 1701

Job No: 1701

Date Out Tue 4/18/2017

Terms	Aging Date
Net 10th	Tue 4/18/2017

Fold Here

Fold Here

Ordered By: Dave

Qty	Key	Items Sold	Each	Price
2	4763-0337-13	.PLACER, CONCRETE W/HOOK	\$29.95	\$59.90

1 For CDF placement

WALKER CONSTRUCTION INC.

APR 21 2017
Job # 1701
M
1805

Please pay from this invoice.

Rental and Sales:				SPOKANE VALLEY:
\$59.90				\$5.27

Current Net 10th

Total Amount:	\$65.17	Total Paid	\$0.00	Total Due	\$65.17
509-924-8080 Phone					

Open Monday through Friday 7:00 am to 5:00 PM, Closed Saturday + Sunday
Printed On Wed 4/19/2017 7:32:40AM

Software by Point-of-Rental Software www.point-of-rental.com

Modification #1
Contract-Params.8QL.rpt (10)

Remit To:

STAR RENTALS INC
PO BOX 3875
SEATTLE WA 98124-3875
www.starrentals.com

Invoice

Closed	Invoice#
Fri 4/21/2017	210695-13

Bill to:

Customer #: 152928

WALKER CONSTRUCTION
WALKER CONSTRUCTION
P.O. BOX 3901
SPOKANE WA 99220 3901

Job Descr: 1701
PO #: 1701
Job No: 1701
Date Out: Fri 4/21/2017

Terms	Aging Date
Net 10th	Fri 4/21/2017

Fold Here

Fold Here

Ordered By: Mark

Qty	Key	Items Rented	Ser#	Disc%	Returned Date	Price
1	060-0030#G7081	VIBR PLATE, MEDIUM WACKER W	30094860		Fri 4/21/2017 1:09PM	\$70.00
		1day \$70.00 1week \$280.00 4weeks \$650.00				

WALKER CONSTRUCTION INC.

APR 21 2017

Job # 1701B
Cat. ER
PM 1805

Location: Carrousel

Used at Address: Spokane Falls and Howard ; SPOKANE, WA 99212

Please pay from this invoice.

Rental and Sales:				SPOKANE VALLEY:
\$70.00				\$8.16

Current Net 10th

Total Amount:	\$76.16	Total Paid	\$0.00	Total Due	\$76.16
509-924-8080 Phone					

Open Monday through Friday 7:00 am to 5:00 PM, Closed Saturday + Sunday
Printed On Mon 4/24/2017 8:38:31AM

Software by Point-of-Rental Software www.point-of-rental.com

Modification #2
Contract-Params.BQL.rpt (10)

Remit To:

STAR RENTALS INC
PO BOX 3875
SEATTLE WA 98124-3875
www.starrentals.com

Invoice

Closed	Invoice#
Tue 4/25/2017	211047-13

Bill to:

Customer #: 182928

WALKER CONSTRUCTION
WALKER CONSTRUCTION
P.O. BOX 3901
SPOKANE WA 99220 3901

Job Descr: Carousel Job / N. Howard St.

PO #: 1701

Job No: 1701

Date Out Mon 4/24/2017

Terms	Aging Date
Net 10th	Tue 4/25/2017

Fold Here

Fold Here

Ordered By: Mark

Qty	Key	Items Rented	Serial	Disc%	Returned Date	Price
1	230-0010#G9094	LOADER, SKID MEDIUM BOBCAT	AUVB13219		Tue 4/25/2017 8:11AM	\$170.00
	Meter Out: 2.2	Meter In: 12.6	Total hours on meter: 10.4			
	1day \$170.00	1week \$870.00	4weeks \$1,450.00			

Qty	Key	Items Sold	Each	Price
7.2	4738-0020-13	.DIESEL OFF-ROAD	\$5.30	\$38.16
1	MISC-13	DELIVERY / P-U CHARGE	\$80.00	\$80.00

WALKER CONSTRUCTION INC.

4/24/2017

1701

ER

1805

Delivery

Delivery: Mon 4/24/2017 8:10AM

Contact: Mark

Phone: 509-251-7909

Location: Carousel Job

Used at Address: 507 N. Howard St. ; SPOKANE, WA 99201

Delivery Notes:

Please pay from this invoice.

Rental and Sales:				SPOKANE CITY:
\$288.16				\$23.60

Current Net 10th

Total Amount:	\$291.76	Total Paid	\$0.00	Total Due	\$291.76
509-924-8080 Phone					

Open Monday through Friday 7:00 am to 6:00 PM, Closed Saturday + Sunday

Printed On Wed 4/25/2017 7:20:49AM

Software by Point-of-Rental Software www.point-of-rental.com

Modification #4

Contract-Params.SQL.rpt (10)

AGENDA SHEET FOR PARK BOARD MEETING OF: March 9, 2017



Submitting Division
Parks & Recreation

Contact Person
Berry Ellison

Phone No.
625-6276

Department: ☐ Finance ☐ Operations ☐ Recreation/Golf ☒ Riverfront Park

Committee: ☐ Finance ☐ Golf ☐ Land ☐ Recreation ☒ Riverfront ☐ UFTC

Type of contract: ☐ New ☐ Renewal ☒ Amendment ☐ Extension ☐ Other

Beginning date: 3/10/17 Expiration date: 12/31/17 Open ended ☐

OPR-17-0143
CLERKS' FILE
RENEWAL
CROSS REF
ENG
BID
REQUISITION

AGENDA WORDING:

South Bank East Improvements - Walker Construction change order for asphalt, landscaping, grading and irrigation. Estimated \$70,000.00 plus tax. Budget allocation from 5 major projects: \$15,218.00 from each (includes tax) North Bank, Pavilion, Promenades, Looff and Rec Rink.

BACKGROUND:

(Attach additional sheet if necessary)

RFP Committee recommends for approval for NTE \$70,000.00, PMO Office requests \$70,000.00, plus tax. PMO requests tax amount be added to change order.

Encumbered amt - \$76,090.00 w/tax

RECOMMENDATION:

Review and Approve Walker Construction change order & budget reallocation.

ATTACHMENTS: Include in packets. See back of Agenda Sheet for specific supporting document requirements.

SIGNATURES:

Berry Ellison

Requester -

Garrett Jones

Dept. Manager

Leroy Eadie

Director of Parks & Rec - Leroy Eadie

Parks Acct'ing - Nathaniel Newscomb

Legal Dept. - Hunt

Whaley **DISTRIBUTION:** Parks: Accounting

Parks: Pamela Clarke

Budget Manager: Tim Dunivant

Requester: Berry Ellison

Jo-Lynn Brown

PARK BOARD ACTION:

APPROVED BY SPOKANE PARK BOARD

President

March 9, 2017

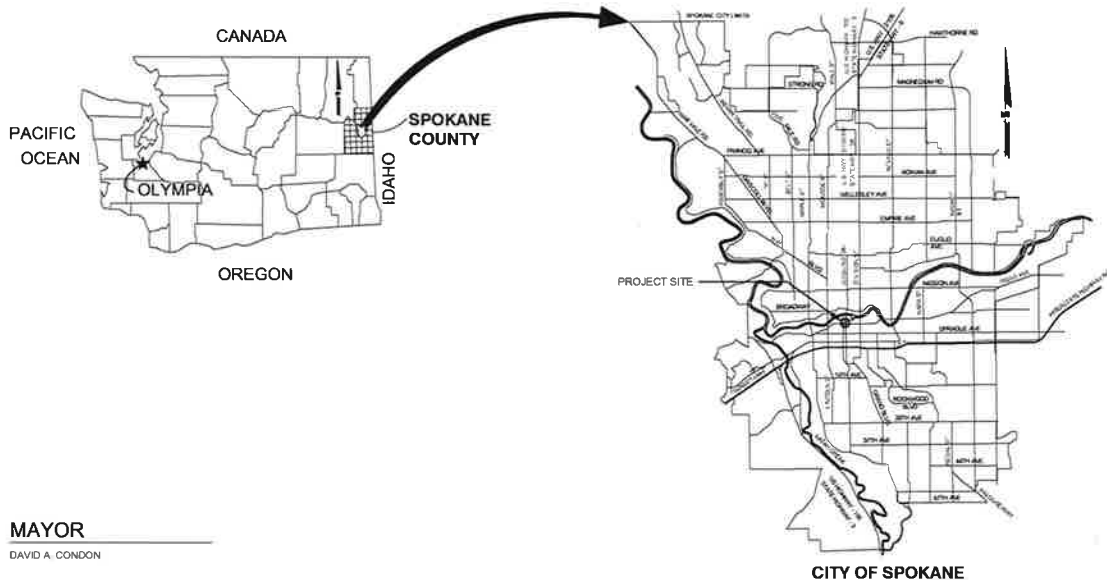
Budget Reallocations

Rec Rink	\$ 14,000.00	\$ 493,050.00
	0.087	
Tax	\$ 1,218.00	
Reallocation	\$ 15,218.00	\$ 477,832.00
Looff	\$ 14,000.00	\$ 257,500.00
	0.087	
Tax	\$ 1,218.00	
Reallocation	\$ 15,218.00	\$ 242,282.00
Pavilion	\$ 14,000.00	\$ 698,629.00
	0.087	
Tax	\$ 1,218.00	
Reallocation	\$ 15,218.00	\$ 683,411.00
Promenades	\$ 14,000.00	\$ 231,525.00
	0.087	
Tax	\$ 1,218.00	
Reallocation	\$ 15,218.00	\$ 216,307.00
N Bank	\$ 14,000.00	\$ 255,000.00
	\$ 0.087	
Tax	\$ 1,218.00	
Reallocation	\$ 15,218.00	\$ 239,782.00
Budget	\$ 70,000.00	
Including Tax	\$ 76,090.00	

CITY OF SPOKANE, WASHINGTON

DEPARTMENT OF PARKS AND RECREATION

RIVERFRONT PARK SOUTH BANK EAST PATHWAY PERMIT SET - NOT FOR CONSTRUCTION



MAYOR

DAVID A. CONDON

COUNCIL MEMBERS

BEN STUCKART, CITY COUNCIL PRESIDENT
LORI KINNEAR
AMBER WALDREF
CANDACE MUMM
KAREN STRATTON
BREEN BEGGS

CITY ADMINISTRATOR

THERESA SANDERS

DIRECTOR OF PARKS

LEROY EADIE

PROJECT CONTACT(S)

PATRICK MCCORD
HILL INTERNATIONAL, INC.
PROJECT MANAGER, (509) 747-8031

DESCRIPTION OF WORK

BASE BID SCOPE
BASE BID CONSTRUCTS (2) NEW 6' WIDE ASPHALT PARK WALKWAYS INTO RIVERFRONT PARK FROM THE CORNER OF SPOKANE FALLS BLVD. & WASHINGTON ST.
• WORK INCLUDES, BUT IS NOT LIMITED TO, CLEARING AND GRUBBING OF EXISTING TURF SOD AND SUBSOIL, DEMO & DISPOSAL OF EXISTING ASPHALT, BASE MATERIAL, CONCRETE SITE WALL, TREE STUMPS AND ASSOCIATED ROOT STRUCTURE, IMPORT & PLACEMENT OF STRUCTURAL FILL, PLACEMENT OF CSTC & CDF BASE MATERIAL, INSTALLATION OF NEW 6' WIDE (MIN) ASPHALT WALKWAYS, AND REPAIR OF LANDSCAPE AND IRRIGATION SYSTEMS IMPACTED BY CONSTRUCTION.

ADD'L T 1
SUPPLY & INSTALL 4" THICK CONCRETE WALKWAY ATOP 6" CSTC BASE IN LIEU OF ASPHALT PATHWAY.

ADD'L T 2
DEMOLISH (2) EX. CURB RAMPS AND INSTALL (2) NEW ADA CURB RAMPS, INCLUDING TEMPORARY TRAFFIC CONTROL AND FLAGGING AS REQUIRED. SEE NOTE 5 BELOW FOR TRAFFIC CONTROL DETAILS.

ADD'L T 3
SUPPLY & INSTALL ADDITIONAL IRRIGATION IMPROVEMENTS PER SHEET L1 &.

ADDITIONAL WORK REQUIREMENTS
WORK SHALL BE EXECUTED ACCORDING TO THE ATTACHED CONSTRUCTION DRAWINGS, NOTES, AND IN THE ABSENCE OF DIRECTION ON THESE DRAWINGS, THE TECHNICAL SPECIFICATIONS & DETAILS AS CONTRACTED FOR THE 'RIVERFRONT PARK LOOFF CARROUSEL FACILITY' PROJECT.

ALL WORK, INCLUDING APPROXIMATE QUANTITIES FOR EACH SITE, SHALL BE MUTUALLY AGREED UPON BY THE CONTRACTOR AND OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORK.

REQUIRED COMPLETION DATE
ALL WORK SHALL BE COMPLETED BY APRIL 19, 2017.

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO BID SUBMISSION. ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND PROJECT INTENT / CONTRACT DOCUMENTS AFFECTING THE COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. COST OF LOCATES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY OBTAINING ALL PERMITS, INCLUDING RIGHT-OF-WAY OBSTRUCTION PERMITS WHERE APPLICABLE.
- CONTRACTOR IS RESPONSIBLE FOR INCIDENTAL TRAFFIC CONTROL MEASURES AS REQUIRED IN ACCORDANCE WITH THE MANUAL ON TRAFFIC CONTROL DEVICES (MUTCD) AND WASHINGTON STATE MODIFICATIONS TO THE MUTCD.
- PRESERVE AND PROTECT EXISTING IMPROVEMENTS TO REMAIN. REPAIR OR REPLACE ALL HARDSCAPE AND SOFTSCAPE DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY.
- TREE PRUNING, AIR SPADING AND ROOT PRUNING SHALL BE PERFORMED BY CITY OF SPOKANE ARBORIST. CONTRACTOR SHALL COORDINATE DIRECTLY WITH C.O.S. ARBORIST TO SCHEDULE WORK.
- OWNER WILL FURNISH COMPACTION & MATERIAL TESTING. IF CONTRACTOR FAILS TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL TESTING UNTIL COMPACTION AND MATERIALS MEET SPECIFICATION.

WORK LOCATIONS

SITE	WORK LOCATION	TYPE OF IMPROVEMENT
1.0	RIVERFRONT PARK @10 W. SPOKANE FALL BLVD. SPOKANE, WA 99201	NEW PATHWAY INSTALLATION





1. INSTALL (2) NEW CONCRETE CURB RAMPS PER CITY OF SPOKANE STD. DETAIL F-105.
2. FIRST CURB RAMP SHALL BE LOCATED AS SHOWN PER PLANS AND THE SECOND LOCATION SHALL BE LOCATED ACROSS WASHINGTON STREET TO THE EAST FROM PROJECT SITE.
3. INCLUDE ALL TEMPORARY TRAFFIC CONTROL AS REQUIRED TO ACCOMPLISH WORK.

ADDITIONAL 2: SEE NOTES

SITE PLAN





○ TREE PROTECTION PLAN

0' 10' 20' 40' 80'

SCALE: 1" = 20'-0"

TREE PROTECTION ZONE LEGEND

SYMBOL DESCRIPTION

- 12 TREE PROTECTION ZONE (TPZ) - INSTALL 6" HT ORANGE CONSTRUCTION FENCING TO DELINEATE ZONE. NO CONSTRUCTION EQUIPMENT ALLOWED WITHIN ZONE EXCEPT FOR PAVING EQUIPMENT AS REQ'D. ALL DEMOLITION ACTIVITY WITHIN TPZ SHALL BE PERFORMED BY HAND AS ALLOWED BY URBAN FORESTER AT PRE-CONSTRUCTION CONFERENCE.
- 13 MODIFIED TREE PROTECTION ZONE (MTPZ) - NO FENCING REQUIRED TO DELINEATE MTPZ AS SUCH FENCING IS EXCEEDINGLY PROHIBITIVE TO CONSTRUCTION ACTIVITY. DELINEATE MTPZ WITH PINK MARKING PAINT. ALL OTHER TPZ REQUIREMENTS APPLY WITHIN MTPZ.
- 14 NO TREE PROTECTION ZONE (TPZ) REQUIRED, TYP.
- 15 EXTENT OF PROPOSED PATHWAY. SEE SITE PLAN FOR DETAILS.

TREE PROTECTION NOTES

1. ESTABLISH TREE PROTECTION ZONE (TPZ) AREA BY ADDING 1' RADIUS PER 1" IN TREE CALIPER AS MEASURED IN DIAMETER AT BREAST HEIGHT (DBH).
2. TPZ RADII HAVE BEEN ESTABLISHED FOR THE CONTRACTOR BY THE URBAN FORESTER.
3. NO MACHINE EXCAVATION SHALL OCCUR WITHIN THE TPZ WITHOUT PRIOR WRITTEN AUTHORIZATION OF THE URBAN FORESTER.
4. DEMOLITION, CLEAR & GRUB ACTIVITY WITHIN TPZS SHALL BE CONDUCTED BY HAND IN A MANNER TO LIMIT DAMAGE TO SURFACE ROOTS GREATER THAN 1" IN DIAMETER. NO TEARING, CUTTING, OR DAMAGE TO ROOT BARK IS PERMITTED.
5. IN THE CASE OF ACCIDENTAL ROOT DAMAGE, CONTACT THE URBAN FORESTER IMMEDIATELY FOR INSPECTION AND DIRECTION. DO NOT BACKFILL OVER ROOTS IMPACTED BY CONSTRUCTION ACTIVITY.
6. NO GRADE CUTS ARE PERMITTED WITHIN TPZS.
7. EARTHEN FILLS WITHIN TPZS SHALL BE PLACED WITH MINIMAL EQUIPMENT.
8. TRACKING AS REQUIRED TO MEET GRADES PER GRADING PLAN.
9. TPZ FENCING SHALL BE REMOVED TEMPORARILY DURING CONSTRUCTION ACTIVITIES WITHIN THE ZONES AND REPLACED IMMEDIATELY UPON COMPLETION OF ACTIVITIES.
10. TPZS MAY BE REDUCED AT THE SOLE DISCRETION OF THE URBAN FORESTER.
11. LIMIT DAMAGE TO ADJACENT TREES. ANY DAMAGE TO ADJACENT TREES AS A RESULT OF EXCAVATION, CLEARING, GRUBBING, OR ROOT WAD REMOVAL SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR.

PRE CONSTRUCTION CONFERENCE

1. CONDUCT AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH THE URBAN FORESTER, OWNER, CONTRACTOR, AND LANDSCAPE ARCHITECT ONCE TPZS HAVE BEEN INSTALLED BUT PRIOR TO OTHER CONSTRUCTION ACTIVITY - INCLUDING CLEARING GRUBBING & DEMOLITION.

PERMIT SET - NOT FOR CONSTRUCTION



CITY OF
SPOKANE
PARKS & RECREATION



STATE OF
WASHINGTON
LICENSED
LANDSCAPE ARCHITECT
NICHOLAS A. HAMAD
LICENSE NO. 1388
EXPIRATION 06/17/2018

RFP SOUTH BANK EAST
610 W. SPOKANE FALLS BLVD., SPOKANE, WA 99201

TREE PROTECTION PLAN

BAR IS ONE INCH ON ORIGINAL
DRAWING. IF NOT ONE INCH ON
THIS SHEET, ADJUST SCALES
ACCORDINGLY.

DATE: 2017.03.07
DRAWN BY: NAH
CHECKED BY: NAH
PROJECT NO. -

REVISION

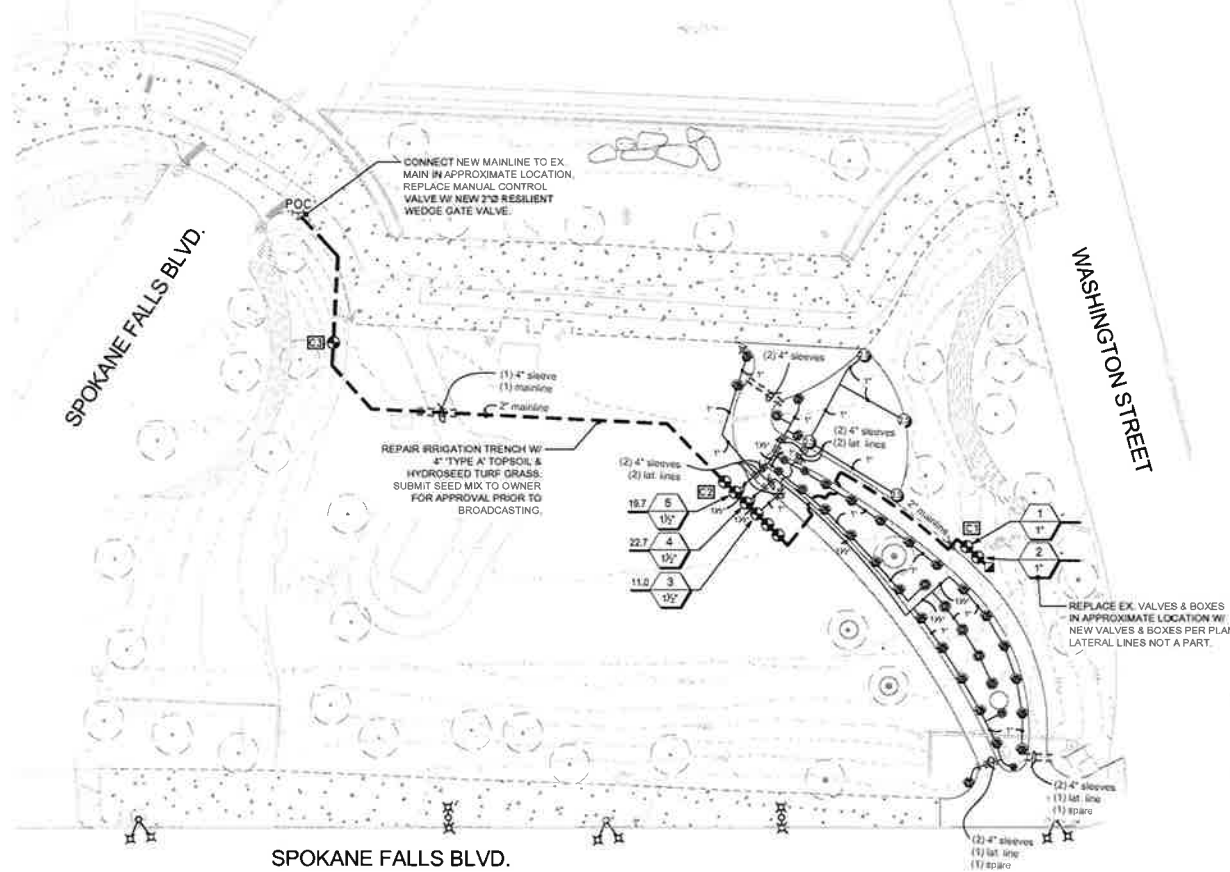
1
2

SHEET 2 OF 8

L1.1
TREE PROTECTION



Know what's below.
Call before you dig.



IRRIGATION PLAN - BASE BID

IRRIGATION SCOPE - BASE BID

- TRENCH, INSTALL, & BACKFILL, FLUSH & TEST ALL MAINLINE, AUTOMATIC CONTROL VALVES (9 EA), AND MANUAL CONTROL VALVES (1 EA), AND QUICK COUPLING VALVES (1 EA).
- INSTALL 2-WIRE PATH CONTINUOUS WITH ALL MAINLINE, & SUPPLY 12" LOOP INTO EACH VALVE BOX FOR FUTURE USE. DO NOT CONNECT VALVES TO 2-WIRE PATHWAY.
- INSTALL DETECTOR TAPE TO ALL MAINLINE LOCATIONS.
- INSTALL ALL SLEEVING.
- INSTALL ALL BATTERY OPERATED CONTROLLERS (3 EA) & CONNECT TO VALVES.
- INSTALL LATERAL LINES AND HEADS PER SHEET L1.5.
- ABANDON (CUT & CAP) EXISTING MAINLINE DOWNSTREAM OF P.O.C. PRESSURE TEST ALL LINES PER WSDOT STANDARD SPECIFICATIONS.
- FLUSH AND ADJUST ALL LINES & HEADS.
- PROVIDE AS-BUILTS OF ALL IRRIGATION COMPONENT LOCATIONS.
- REPAIR ALL LANDSCAPE DAMAGED BY IRRIGATION INSTALLATION.

IRRIGATION INSTALL NOTES

- IRRIGATION ROUTING IS DIAGRAMMATIC. DO NOT PLACE IRRIGATION COMPONENTS BENEATH IMPERVIOUS SURFACES UNLESS LOCATED WITHIN SLEEVING.
- MATCH INSTALLATION DETAILS FOR HEADS, PIPE, VALVES, AND SLEEVING TO DETAILS FROM LOOFF CARROUSEL DRAWINGS. INSTALL DETECTOR TAPE TO ALL MAINLINE LOCATIONS.
- ALL TRENCHING WITHIN TREE PROTECTION ZONES SHALL BE CONDUCTED BY HAND IN A MANNER TO LIMIT DAMAGE TO SURFACE ROOTS GREATER THAN 1" IN DIAMETER. NO TEARING, CUTTING, OR DAMAGE TO ROOT BARK IS PERMITTED.
- IN THE CASE OF ACCIDENTAL ROOT DAMAGE, CONTACT THE URBAN FORESTER IMMEDIATELY FOR INSPECTION AND DIRECTION. DO NOT BACKFILL OVER ROOTS IMPACTED BY CONSTRUCTION ACTIVITY.
- AIR-SPADE OR HYDRO-EXCAVATE TRENCHES WITHIN TPZs, & ROOT PRUNE (BY CERTIFIED ARBORIST) IF REQUIRED BY URBAN FORESTER.
- MAINLINE TO HAVE 24" SOIL COVER - MIN.
- LATERAL LINES TO HAVE 12" SOIL COVER - MIN.
- CONTRACTOR TO CONDUCT COVERAGE TEST WITH LANDSCAPE ARCHITECT UPON COMPLETION OF PIPING INSTALLATION. 100% HEAD-TO-HEAD COVERAGE IS REQUIRED FOR NEW ZONES TO ACHIEVE SUBSTANTIAL COMPLETION.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
	Rain Bird 1800 5 Series MPR Turf Spray 5.0" Pop-Up Sprinkler with Co-Molded Wiper Seal Use Bottom Inlet. 1/2" NPT Female Threaded Inlet.	30
	Rain Bird 1800 6 Series MPR Turf Spray 5.0" Pop-Up Sprinkler with Co-Molded Wiper Seal Use Bottom Inlet. 1/2" NPT Female Threaded Inlet.	30
	Rain Bird 1800 10 Series MPR Turf Spray 5.0" Pop-Up Sprinkler with Co-Molded Wiper Seal Use Bottom Inlet. 1/2" NPT Female Threaded Inlet.	30
	Rain Bird 1800 12 Series MPR Turf Spray 5.0" Pop-Up Sprinkler with Co-Molded Wiper Seal Use Bottom Inlet. 1/2" NPT Female Threaded Inlet.	30
	Rain Bird 1800 15 Series MPR Turf Spray 5.0" Pop-Up Sprinkler with Co-Molded Wiper Seal Use Bottom Inlet. 1/2" NPT Female Threaded Inlet.	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	GPM	RADIUS
	Rain Bird 500S-PC, FC-SS Turf Rotor, 5.0" Pop-Up, Stainless Steel Rotor, Adjustable and Full Circle, Standard Angle Nozzle. Match nozzle to number listed on heads per plan.	55	2.30	37'
	Rain Bird 500S-PC, FC-SS Turf Rotor, 5.0" Pop-Up, Stainless Steel Rotor, Adjustable and Full Circle, Standard Angle Nozzle. Match nozzle to number listed on heads per plan.	55	2.78	37'
	Rain Bird 500S-PC, FC-SS Turf Rotor, 5.0" Pop-Up, Stainless Steel Rotor, Adjustable and Full Circle, Standard Angle Nozzle. Match nozzle to number listed on heads per plan.	55	3.47	47'
	Rain Bird 500S-PC, FC-SS Turf Rotor, 5.0" Pop-Up, Stainless Steel Rotor, Adjustable and Full Circle, Standard Angle Nozzle. Match nozzle to number listed on heads per plan.	55	8.83	47'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Rain Bird POA-PRS-D Angle 1" - 1/2" 2" Electric Remote Control Valve, Angle, With Pressure Regulator Module
	Rain Bird 5-URG 1" Brass Quick-Coupling Valve, with Corrosion-Resistant, Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 1-Piece Body
	Rain Bird TB052-CM5 5 station battery operated controller, commercial grade
	Rain Bird TB052-CM4 6 station battery operated controller, commercial grade
	Rain Bird TB052-CM2 and TB052-FTUS 2 station battery operated controller, with field transmitter, commercial grade
	2" Irrigation main located near garbage pool. Pressure obtained from Spokane Water Dept. for hydrant located @ NW corner of Washington and Spokane Falls Blvd on 03/08/2017.
	Irrigation Lateral Line: PVC Schedule 40 Solvent weld SCH 40 PVC. Only lateral transition pipe slope 1 1/2" and above are indicated on the plan, with all others being 1" in size. No 1 1/4" pipe allowed.
	Irrigation Mainline: PVC Schedule 40 PVC Schedule 40 irrigation pipe
	Pipe Sleeve: PVC Schedule 40 4" DIAMETER (MIN)

CRITICAL ANALYSIS

Generated: 2017-03-09 19:40
P.O.C. NUMBER: 01
Water Source Information: Pressure reading of 84 psi obtained from Spokane Water Dept. at hydrant located @ NW corner of Washington and Spokane Falls Blvd on 03/08/2017.

FLOW AVAILABLE
Existing 2" Mainline: 60.00 gpm
Flow Available: 60.00 gpm

PRESSURE AVAILABLE
Static Pressure at P.O.C.: 78.00 psi
Pressure Available: 75.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 48.41 gpm
Flow Available at P.O.C.: 60.00 gpm
Residual Flow Available: 3.58 gpm

Pressure Req. at Critical Station: 63.45 psi
Loss for Friction: 0.33 psi
Loss for Main Line: 3.28 psi
Loss for P.O.C. to Valve Elevation: 0.00 psi
Loss for Backflow: 0.00 psi
Critical Station Pressure at P.O.C.: 67.07 psi
Pressure Available: 78.00 psi
Residual Pressure Available: 7.93 psi

PERMIT SET - NOT FOR CONSTRUCTION



CITY OF
SPOKANE
PARKS
& RECREATION



STATE OF
WASHINGTON
CENTERED
LANDSCAPE ARCHITECT
NICHOLAS A. HAMAD
LICENSE NO. 12172019

RFP SOUTH BANK EAST
610 W. SPOKANE FALLS BLVD. SPOKANE, WA 99201

IRRIGATION PLAN

BAR IS ONE INCH ON ORIGINAL
DRAWING. IF NOT ONE INCH ON
THIS SHEET, ADJUST SCALES
ACCORDINGLY.

DATE: 2017.03.07

DRAWN BY: NAH

CHECKED BY: NAH

PROJECT NO: -

REVISION

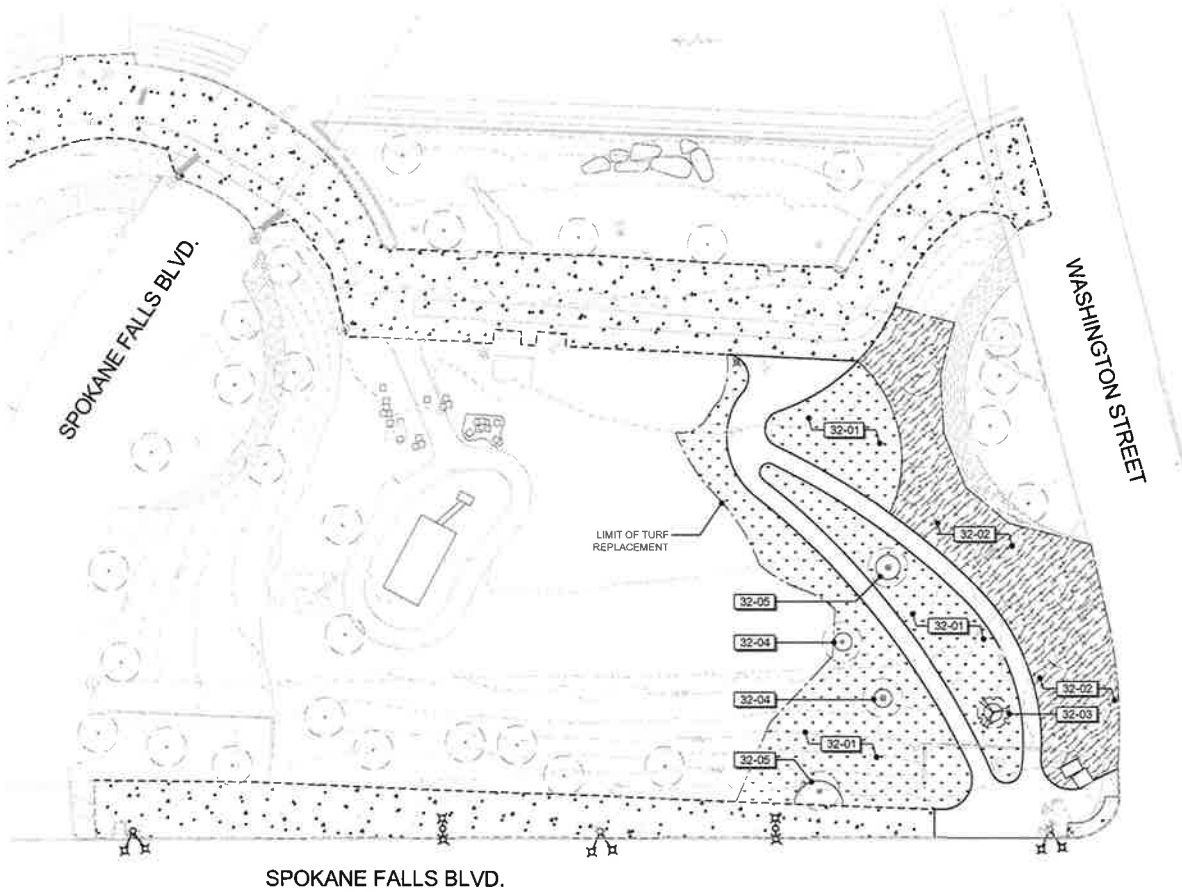
REVISION

SHEET 6 OF 9

L1.5

IRRIGATION PLAN - BASE





○ LANDSCAPE REPAIR




LANDSCAPE REPAIR SCHEDULE

SYMBOL	DESCRIPTION
32-01	NEW TURF 800 ATOP 4" DEPTH TYPE 'A' TOPSOIL. FEATHER TOPSOIL TO ADJACENT EXISTING TURF. TOP TURF 1" BELOW F.G. OF ADJACENT HARDSCAPE
32-02	NEW SHREDDED BARK MULCH. PLACE 2" DEPTH WHERE NO MULCH IS PRESENT. PLACE 1" DEPTH ATOP EXISTING MULCH
32-03	SPECIMEN TREE, TRANSPLANTED BY OTHERS
32-04	MULCH RING AROUND TREE W/ NATURAL EDGE - 8" DIAMETER. PLACE 2" DEPTH SHREDDED BARK MULCH. TAPER TO TREE TRUNK. DO NOT BURY TRUNK
32-05	MULCH RING AROUND TREE - 8" DIAMETER W/ NATURAL EDGE. PLACE 2" DEPTH SHREDDED BARK MULCH. TAPER TO TREE TRUNK. DO NOT BURY TRUNK

PERMIT SET - NOT FOR CONSTRUCTION



CITY OF
SPOKANE
PARKS & RECREATION



STATE OF
WASHINGTON
OFFICIAL
LANDSCAPE ARCHITECT
[Signature]
MICHAEL A. HANNA
LICENSE NO. 1889
EXPIRATION 02/17/2019

RFP SOUTH BANK EAST
610 W. SPOKANE FALLS BLVD. SPOKANE, WA 99201

LANDSCAPE REPAIR

BAR IS ONE INCH ON ORIGINAL
DRAWING. IF NOT ONE INCH ON
THIS SHEET, ADJUST SCALES
ACCORDINGLY

DATE	2017.03.07
DRAWN BY	NAH
CHECKED BY	NAH
PROJECT NO.	

REVISION	
A	
B	
C	

811
Know what's below.
Call before you dig.

SHEET 8 OF 9

L1.7

LANDSCAPE REPAIR



July 5, 2017

Berry Ellison
Spokane Parks and Recreation
808 W. Spokane Falls Blvd., 5th Floor
Spokane, WA 99201

RE: Looff Carrousel Facility
111-16004-01Aa

Dear Berry:

I write this as a letter of proposal requesting additional services for the time required to address added scope changes (or changes directed by others that were beyond our control) that have been made during the construction of the Looff. In general, time noted covers coordination with consultants and/or the City and time to develop and issue the CP, CCD and then the CO (in some cases, revisions and reissuing the CP). In most cases the time is minor, but it has started to add up. NACE has also spent notable time on changes, which is included. The list of the CP's and CCD's is noted below:

- **CP-01:** ADA Pathway by Red Wagon- **\$500**
- **CP-06:** Add CenturyLink Conduit and Vaults- **\$1280**
- **CP-07:** Paver Joint Sand- **\$500** (revisions to modify waterproof membrane not included)
- **CP-08:** Revise Electrical Service per new Avista Requirements- **\$2435**
- **CP-09:** Omit Geotextile Fabric under Topsoil- **\$500**
- **CP-11:** Park Wide Lighting Controls- **\$1935**
- **CP-12:** Permit Revisions to South Gateway and Rotary Fountain Work- **\$500**
- **CP-13:** Park Standards (incorporate arch and plumbing changes...this is beyond the original amendment which was just for analysis) - **\$2165**
- **CP-14:** Modify/Add Utility Conduit and Vaults- **\$1920**
- **CP-15:** Revise Electrical Service to Existing Panels per new Avista Requirements- **\$1255**
- **CCD-04:** Light Fixture Relocation- **\$250**
- **CCD-05:** Remove Existing Below Grade Pipe- **\$250**
- **CCD-06:** Additional Excavation for Gas and Water Lines per COS Water Dept. - **\$250**

The total for all of the changes noted above is **\$13,740**.



July 5, 2017
2 of 2

If acceptable, please prepare an appropriate amendment to our contract. And please call if you have questions.

A handwritten signature in black ink that reads "Keith M. Comes". The signature is written in a cursive, flowing style.

Keith M. Comes
Principal Architect

P:\111-16004\01_Contracts_Finance\A_Fee_Documents_Contracts\A_Client\Amendment7-Added Scope Changes-170705.docx





July 13, 2017

Berry Ellison
Spokane Parks and Recreation
808 W. Spokane Falls Blvd., 5th Floor
Spokane, WA 99201

RE: Looff Carrousel Facility
111-16004-01Aa

Dear Berry:

I write this as a letter of proposal requesting additional services for design and documentation of a replacement deck or platform for the existing carrousel. The additional services include:

- Discussions with Bette Largent to confirm requirements for the deck
- Investigation of the construction and dimensions of the existing deck now stored off-site
- Structural design of the new deck by DCI Engineers
- Coordination with DCI
- Documentation and detailing of the new deck
- Issuing a CP to Walker Construction for the construction

Total estimated cost for this additional work is \$3700. It is assumed that Hill International would review and evaluate the cost of the proposal submitted by Walker Construction. This proposal does not anticipate development of multiple options for pricing or significant revisions from the original concepts (which have already been developed as directed).

If acceptable, please prepare an appropriate amendment to our contract. And please call if you have questions.

A handwritten signature in black ink that reads "Keith M. Comes".

Keith M. Comes
Principal Architect



CITY OF SPOKANE
PARKS AND RECREATION DEPARTMENT
CHANGE ORDER NO. 7

NAME OF CONTRACTOR: Contractors Northwest Inc.

PROJECT TITLE: Recreation Rink & Skyride Facility

CITY CLERK CONTRACT NUMBER: OPR 2017-0051

=====

<u>DESCRIPTION OF CHANGE:</u>	<u>AMOUNT: \$31,525.86</u>
Change H-VAC controls to automated Logic DDC controls per Riverfront Park Parkwide Standards.	

=====

=====

TOTAL AMOUNT: \$31,525.86

=====

CONTRACT SUM (EXCLUDE SALES TAX)	
ORIGINAL CONTRACT SUM (INCLUDE ALTERNATES)	\$6,793,400.00
NET AMOUNT OF PREVIOUS CHANGE ORDERS	\$303,799.87
CURRENT CONTRACT AMOUNT	\$7,097,199.87
CURRENT CHANGE ORDER (EXCLUDES SALES TAX)	\$31,525.86
REVISED CONTRACT SUM	\$7,128,725.73

CONTRACT COMPLETION DATE	
ORIGINAL CONTRACT COMPLETION DATE	11/03/17
CURRENT COMPLETION DATE	11/03/17
REVISED COMPLETION DATE	11/03/17

Contractor's Acceptance: _____

Date: _____

City Approval: _____

Date: _____

Attest: _____

City Clerk

Pre-Approved as to form: Hunt M. Whaley, Assistant City Attorney

PROJECT: Rivefront Ice Rink & Skyride Facility

JOB#: 836

PCO #: 27

DATE: Friday, June 09, 2017

SUBJECT: PR#8 HVAC Control System

Scope of Change Request:

PR#8 requests pricing to add a DDC control system to the HVAC RTUs and Exhaust Fans


Work is to be completed by the Owners preferred contractor, Standard Plumbing and Heating

RECAP OF CHANGE ORDER PRICING DETAIL

Total Charges for Labor	\$97.75
Total Charges for Material	
Total Charges for Subcontractor	\$30,972.70
Subtotal:	\$31,070.45
Bonding and Insurance	\$455.41
TOTAL CHARGES FOR CHANGE ORDER PER CONTRACT:	\$31,525.86

Contract Pricing Certification:

We hereby certify that the pricing in this change order proposal is current, accurate, and in accordance with the contract agreement.

CNI Submitted by:  Date Submitted: 7/10/17
Matt Nason, Project Manager

Stantec Recommended for Payment by: _____ Date Approved: _____

Owner Approved by: _____ Date Approved: _____



PROJECT: Rivefront Ice Rink & Skyride Facility
JOB#: 836
PCO #: 27
PR #:
DATE: 06/09/17
SUBJECT: PR#8 HVAC Control System

ITEM	QTY	UNIT	LABOR		MATERIAL		SUBCONTRACTORS		TOTALS
			\$/UNIT	AMOUNT	\$/UNIT	AMOUNT	\$/UNIT	AMOUNT	
Project Manager (Change Order Compilation / Contract Mods)	1	HRS	85.00	85.00					85.00
Superintendent		HRS	75.00						
Accounting (Contract Adjustments)		HRS	30.00						
PR#8 DDC Control System - Pro-Mechanical Services	1	LS					24,840.00	24,840.00	24,840.00
Electrical Conduit for DDC Control System - Colvico	1	LS					3,317.00	3,317.00	3,317.00
Direct Expense Subtotal				85.00				28,157.00	28,242.00
Bond						229.17			229.17
Liability Insurance						128.67			128.67
Builders Risk Insurance						38.17			38.17
Direct Expense + Overheads Subtotal				85.00		396.01		28,157.00	28,638.01
Mark-up				12.75		59.40		2,815.70	2,887.85

Sales Tax: Not Included
Total: \$ 31,525.86

Cost Estimate Detail Sheet

Project	Riverfront Park Ice Rink	Scope
Job Number	C17-6	Add DDC Temperature Controls to entire project.
Pro MSI Change Proposal #	1	
Date	6/21/2017	
Reference # / RFP # / RFI #		
Area		
Schedule Impact	None	
Originator Pro MSI	Craig Graves	
submitted to	Matt Nason	
Company	Contractors NW	


Pro Mechanical Services, Inc.
The future of Smart Energy
 4911 N Rebecca PO Box 6526 Spokane, WA 99217
 (509) 483-1305 Main (509) 483-1805 Fax
 pro-msi.com 24 Hr Service (509) 455-3872

Item	Description	Unit	Quantity	Unit Costs		Material Costs	Labor Costs	Total
				Material	Labor			
1			0	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2			0	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3			0	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
4						\$0.00	\$0.00	\$0.00
5						\$0.00	\$0.00	\$0.00
6						\$0.00	\$0.00	\$0.00
7						\$0.00	\$0.00	\$0.00
8						\$0.00	\$0.00	\$0.00
9						\$0.00	\$0.00	\$0.00
10						\$0.00	\$0.00	\$0.00
11						\$0.00	\$0.00	\$0.00
12						\$0.00	\$0.00	\$0.00
13						\$0.00	\$0.00	\$0.00
14						\$0.00	\$0.00	\$0.00
15						\$0.00	\$0.00	\$0.00
16						\$0.00	\$0.00	\$0.00
17						\$0.00	\$0.00	\$0.00
18						\$0.00	\$0.00	\$0.00
19						\$0.00	\$0.00	\$0.00
20						\$0.00	\$0.00	\$0.00
Subtotal						\$0.00	\$0.00	\$0.00
Sub-Contractor Costs			Costs					
1	Standard Plumbing and Heating		\$21,600.00					
2								
3								
4								
			Subtotal		\$21,600.00			
			15% OH & P		\$3,240.00			
			Sub-Contractor Total		\$24,840.00			
					0%	Overhead	\$0.00	
						Subtotal	\$0.00	
						Subcontractor(s)	\$24,840.00	
						Subtotal	\$24,840.00	
					0%	Profit	\$0.00	
						Grand Total	\$24,840.00	



2812 N. Pittsburg
Spokane, WA 99207

Phone: (509) 536-1875
Fax: (509) 534-3551

Date: July 10, 2017
Attention: CNI
Reference: Riverfront Recreational Ice Rink & Skyride
Subject: Electrical Proposal & Pricing
Mechanical Changes – Standard Plumbing

Lump Sum Price – Base Bid: \$3,317.00

The following is a summary of our Scope of Work

Included:

-daisy chain conduit to interconnect all units

Excluded:

-sales tax
-roof penetrations
-cutting, patching and painting
-overtime/off hours work
-unforeseen and or existing conditions

-add 2% for bond rate if required

On-site parking will be provided for all employee vehicles.

Restroom facilities will be provided for all employees.

If you have any questions regarding the above information, please feel free to contact me immediately.

Respectfully submitted,

Terry Den Boer
Estimator/Project Manager
Colvico Inc.
Email: terry@colvicoinc.com

Office 509-252-5843
cell-509-342-4060

Standard Plumbing					
ITEM	QTY.	UNIT PR.	EXT. PR.	LAB UNI	EXT. LAB
3/4 emt	350	\$ 0.50	\$ 175.00	0.08	28
3/4 emt conn	20	\$ 0.29	\$ 5.80	0.2	4
3/4 emt couplings	45	\$ 0.30	\$ 13.50	0.2	9
3/4 emt strap	45	\$ 0.15	\$ 6.75	0.02	0.9
Junction Boxes	10	\$ 2.25	\$ 22.50	0.35	3.5
MATERIAL subTOTALS			\$ 223.55		
LABOR TOTAL HOURS					45.4
LABOR TOTAL HOURS					45.4
LABOR \$ PER HOUR					\$ 57.00
LABOR TOTAL			\$ 2,587.80		
Small tools 3% of direct Labor			\$ -		
Rental Cost			\$ -		
TAX					
SUB TOTALS			\$ 2,811.35		
Overhead- 18%			\$ 506.04		
			\$ 3,317.39		



Proposal Request for Construction Contract Changes

Owner:	City of Spokane Parks and Recreation Department	Project:	Spokane Riverfront Park Recreation Ice Rink and SkyRide Facility, Stantec Work # 2046055600
Address:	808 W. Spokane Falls Blvd., #5 Spokane, Washington 99201	Contractor:	Contractor Northwest Inc. 3731 N Ramsey Road, Suite 200 Coeur d'Alene, ID 83815
PR #:	8	Date:	June 20, 2017

THIS IS NEITHER A CHANGE ORDER NOR A NOTICE TO PROCEED FOR THE WORK DESCRIBED HEREIN.

You are requested to submit an itemized quotation for any changes in the contract amount and/or time required by the provision of the proposed contract modifications listed below.

Written Description of Proposed Work:

- Provide a direct digital controls system to replace stand-alone controls for HVAC and ice pit ice melting systems. Work with the owners preferred contractor, Standard Plumbing and Heating Controls to accomplish this.
- Integrate the digital controls system into the digital controls system being provided for the Loeff Carousel project. The head-end controls computer is already incorporated into that project. Extend the digital controls system to the Recreation Ice Rink and Skyride Facility building to control and monitor Rooftop HVAC units, Exhaust fans, Unit heaters, and the Ice melt boiler system. Both buildings will then be controlled and monitored through a single web-based digital controls system located in the Loeff Carousel building.
- Provide direct digital controls system by Automated Logic, installed by Standard Plumbing and Heating Controls per the attached submittal data. Include all control systems described therein, including the indicated sequence of operations and programming. Network wiring connecting to the Loeff Carousel building will be by the owner.
- Refund to the owner, costs for any components not yet purchased, and no longer required for stand-alone controls. For example, thermostats, temperature sensors, interlock relays and devices to control the rooftop HVAC units, unit heaters, toilet room exhaust fan and ice melt pit. If any stand-alone control components are already purchased, surrender those items, in like new condition with all instructions and packaging, to the owner at time of completion.

**CITY OF SPOKANE
PARKS AND RECREATION DEPARTMENT
CHANGE ORDER NO. 8**

NAME OF CONTRACTOR: Contractors Northwest Inc.

PROJECT TITLE: Recreation Rink & Skyride Facility

CITY CLERK CONTRACT NUMBER: OPR 2017-0051

=====

<u>DESCRIPTION OF CHANGE:</u>	<u>AMOUNT: \$29,392.37</u>
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Provide Wiscap lighting controls for the ice ribbon lights \$11,834.06

Electrical revisions for security cameras, door control card reader and future amusement ride
\$17,558.31

=====

TOTAL AMOUNT: \$29,392.37

CONTRACT SUM (EXCLUDE SALES TAX)	
ORIGINAL CONTRACT SUM (INCLUDE ALTERNATES)	\$6,793,400.00
NET AMOUNT OF PREVIOUS CHANGE ORDERS	\$335,325.73
CURRENT CONTRACT AMOUNT	\$7,128,725.73
CURRENT CHANGE ORDER (EXCLUDES SALES TAX)	\$29,392.37
REVISED CONTRACT SUM	\$7,158,118.10

CONTRACT COMPLETION DATE	
ORIGINAL CONTRACT COMPLETION DATE	11/03/17
CURRENT COMPLETION DATE	11/03/17
REVISED COMPLETION DATE	11/03/17

Contractor's Acceptance: _____ Date: _____

City Approval: _____ Date: _____

Attest: _____ City Clerk

Pre-Approved as to form: Hunt M. Whaley, Assistant City Attorney

**CITY OF SPOKANE
PARKS AND RECREATION DEPARTMENT
CHANGE ORDER NO. 11**

NAME OF CONTRACTOR: Contractors Northwest Inc.

PROJECT TITLE: Recreation Rink & Skyride Facility

CITY CLERK CONTRACT NUMBER: OPR 2017-0051

=====

DESCRIPTION OF CHANGE:

AMOUNT: \$66,620.78

Export unsuitable and excess soil from Ice rink jobsite to stock pile (PCO 17) Remaining on PCO 17) \$21,691.47

Stockpile management by CNI for May and June, 2017 (PCO 3A) \$11,140.88

Screening and final grading of the stockpile (PCO 28) \$33,788.43

=====

TOTAL AMOUNT: \$66,620.78

CONTRACT SUM (EXCLUDE SALES TAX)	
ORIGINAL CONTRACT SUM (INCLUDE ALTERNATES)	\$6,793,400.00
NET AMOUNT OF PREVIOUS CHANGE ORDERS	\$470,655.48
CURRENT CONTRACT AMOUNT	\$7,264,055.48
CURRENT CHANGE ORDER (EXCLUDES SALES TAX)	\$66,620.78
REVISED CONTRACT SUM	\$7,330,676.26

CONTRACT COMPLETION DATE	
ORIGINAL CONTRACT COMPLETION DATE	11/03/17
CURRENT COMPLETION DATE	11/03/17
REVISED COMPLETION DATE	11/03/17

Contractor's Acceptance: _____

Date: 7/25/17

City Approval: _____

Date: _____

Attest: _____

City Clerk

Pre-Approved as to form: Hunt M. Whaley, Assistant City Attorney

CITY OF SPOKANE
PARKS AND RECREATION DEPARTMENT
CHANGE ORDER NO. 10

NAME OF CONTRACTOR: Contractors Northwest Inc.

PROJECT TITLE: Recreation Rink & Skyride Facility

CITY CLERK CONTRACT NUMBER: OPR 2017-0051

=====

DESCRIPTION OF CHANGE:

AMOUNT: \$16,187.38

Export unsuitable and excess soil from Ice rink jobsite to stock pile portion of PCO 17
 \$37,878.85 - \$16,187.38 remaining balance PCO 17 \$21,691.47

=====

TOTAL AMOUNT: \$16,187.38

CONTRACT SUM (EXCLUDE SALES TAX)	
ORIGINAL CONTRACT SUM (INCLUDE ALTERNATES)	\$6,793,400.00
NET AMOUNT OF PREVIOUS CHANGE ORDERS	\$454,468.10
CURRENT CONTRACT AMOUNT	\$7,247,868.10
CURRENT CHANGE ORDER (EXCLUDES SALES TAX)	\$16,187.38
REVISED CONTRACT SUM	\$7,264,055.48

CONTRACT COMPLETION DATE	
ORIGINAL CONTRACT COMPLETION DATE	11/03/17
CURRENT COMPLETION DATE	11/03/17
REVISED COMPLETION DATE	11/03/17

Contractor's Acceptance: _____

Date: 7/25/17

City Approval: _____

Date: _____

Attest: _____

City Clerk

Pre-Approved as to form: Hunt M. Whaley, Assistant City Attorney

PROJECT: Rivefront Ice Rink & Skyride Facility
JOB#: 836
PCO #: 17

DATE: Monday, May 08, 2017
SUBJECT: Export Unsuitable Fill To Stockpile

Scope of Change Request:

Cost to export unsuitable fill to City Stockpile

Total Lower Stockpile Yardage	6742 CY
Contaminated Soil Fill Under Stockpile	400 CY
Export In Bid	(1500 CY)
Export by Walker Construction	(1881 CY)
Extra Total	<u>3761 CY</u>

*Does not include dirt in the upper stockpile lot.

RECAP OF CHANGE ORDER PRICING DETAIL

Total Charges for Labor	\$97.75
Total Charges for Material	
Total Charges for Subcontractor	\$37,233.90
Subtotal:	\$37,331.65
Bonding and Insurance	\$547.20
TOTAL CHARGES FOR CHANGE ORDER PER CONTRACT:	<u>\$37,878.85</u>

Contract Pricing Certification:

Split Between 2 change orders-

We hereby certify that the pricing in this change order proposal is current, accurate, and in accordance with the contract agreement.

CNI Submitted by: Matt Nason Date Submitted: 6/5/17
 Matt Nason, Project Manager

Stantec Recommended for Payment by: _____ Date Approved: _____

Owner Approved by: _____ Date Approved: _____

Change Order # 10 \$16,187.38
 Change Order # 11 \$21,691.47
\$37,878.85



PROJECT: Rivefront Ice Rink & Skyride Facility
JOB#: 836
PCO #: 17
PR #:
DATE: 05/08/17
SUBJECT: Export Unsuitable Fill To Stockpile

ITEM	QTY	UNIT	LABOR		MATERIAL		SUBCONTRACTORS		TOTALS
			\$/UNIT	AMOUNT	\$/UNIT	AMOUNT	\$/UNIT	AMOUNT	
Project Manager (Change Order Compilation / Contract Mods)	1	HRS	85.00	85.00					85.00
Superintendent		HRS	75.00						
Accounting (Contract Adjustments)		HRS	30.00						
Export additional unsuitable fill to stockpile - T. Lariviere	3761	CY					9.00	33,849.00	33,849.00
Direct Expense Subtotal				85.00				33,849.00	33,934.00
Bond						275.36			275.36
Liability Insurance						154.61			154.61
Builders Risk Insurance						45.86			45.86
Direct Expense + Overheads Subtotal				85.00		475.83		33,849.00	34,409.83
Mark-up				12.75		71.37		3,384.90	3,469.02

Sales Tax: Not Included
Total: \$ 37,878.85

HEET
ESTIMATOR D. KEES

ESTIMATOR

D. KEES

ESTIMATE NO.

EXTENSIONS

SHEET NO. 7.

DATE 5-16-17

CHECKED

CLASSIFICATION SOIL PILE QUANTITY

DESCRIPTION	NO.	DIMENSIONS	SOIL
			BCY
SOIL SPOIL PILE TOPO			<u>6742 BCY</u>
GRAHAM ROAD HAUL OFF			400 CY
BIO EXPORT			<1500 CY>
WALKER IMPORT			<u><1881 CY></u>
TOTAL			3761 CY

SOIL CLASSIFICATION 1 12 3 4 5 6 7 8 9 10 11 12

I	A	B	C	D	E	F	G	H	I	J
1	Job:	Date:	Time:	Truck#:	Product:	CY:	Import/Export:	Who:	Driver:	Inv Ck.
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58032	Looff Carousel	3/13/2017	11:30	28	Concrete	10	Export	Busy Bee	Dave	3427
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58048	Looff Carousel	3/13/2017	11:24	24	Rock	11	Export	Cataldo Dumpsite	John	
58049	Looff Carousel	3/13/2017	13:30	24	Concrete	10	Export	Busy Bee	John	3432
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58084	Looff Carousel	3/14/2017	13:21	24	Asphalt	11	Export	J.C. Sandbox	John	
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30

LOWER STOCKPILE 3/13 - 4/26 171 LOADS x 11 cy = 1881 cy

P1/1

3/13-14
121cy

P2/7

58798	Looff Carousel	4/3/2017	8:30	31	Rock	11	Export	Cataldo Dumpsite	Jasen	
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A B C D E F G H I J											
1	Job:	Date:	Time:	Truck#:	Product:	CY:	Import/Export:	Who:	Driver:	Inv Ck.	
58871	Looff Carousel	4/3/2017	12:44	28	Rock	11	Export	Cataldo Dumpsite	Nick		
58872	Looff Carousel	4/3/2017	13:01	28	Rock	11	Export	Cataldo Dumpsite	Nick		
58873	Looff Carousel	4/3/2017	13:13	28	Rock	11	Export	Cataldo Dumpsite	Nick		
58874	Looff Carousel	4/3/2017	13:28	28	Rock	11	Export	Cataldo Dumpsite	Nick		
58875	Looff Carousel	4/3/2017	13:45	28	Rock	11	Export	Cataldo Dumpsite	Nick		
58876	Looff Carousel	4/6/2017	9:13	24	Debris	10	Export	Busy Bee	John	4169	
58875	Looff Carousel	4/6/2017	10:30	24	Debris	10	Export	Busy Bee	John	4172	
58876	Looff Carousel	4/6/2017	11:35	24	Debris	10	Export	Busy Bee	John	4177	
58877	Looff Carousel	4/6/2017	13:09	24	Debris	10	Export	Busy Bee	John	4182	
58878	Looff Carousel	4/6/2017	14:14	24	Debris	10	Export	Busy Bee	John	4185	
58879	Looff Carousel	4/6/2017	15:17	24	Debris	10	Export	Busy Bee	John	4187	
58880	Looff Carousel	4/6/2017	9:10	31	Debris	10	Export	Busy Bee	Sieve	4168	
58881	Looff Carousel	4/6/2017	10:20	31	Debris	10	Export	Busy Bee	Sieve	4170	
58882	Looff Carousel	4/6/2017	11:25	31	Debris	10	Export	Busy Bee	Sieve	4176	
58883	Looff Carousel	4/6/2017	13:08	31	Debris	10	Export	Busy Bee	Sieve	4181	
58884	Looff Carousel	4/6/2017	14:07	31	Debris	10	Export	Busy Bee	Sieve	4184	
58885	Looff Carousel	4/6/2017	15:14	31	Debris	10	Export	Busy Bee	Sieve	4186	
58886	Looff Carousel	4/7/2017	9:05	28	5/8" Top Coarse	13.35	Import	SRP	Aaron H.	172704	
58887	Looff Carousel	4/7/2017	11:54	28	5/8" Top Coarse	13.17	Import	SRP	Aaron H.	172746	
58888	Looff Carousel	4/7/2017	12:57	28	5/8" Top Coarse	14.72	Import	SRP	Aaron H.	172762	
58889	Looff Carousel	4/7/2017	13:58	28	5/8" Top Coarse	13.78	Import	SRP	Aaron H.	172783	
59004	Looff Carousel	4/7/2017	9:04	23	5/8" Top Coarse	12.29	Import	SRP	Jasen	172703	
59005	Looff Carousel	4/7/2017	11:59	23	5/8" Top Coarse	14.59	Import	SRP	Jasen	172749	
59006	Looff Carousel	4/7/2017	12:58	23	5/8" Top Coarse	14.24	Import	SRP	Jasen	172763	
59007	Looff Carousel	4/7/2017	13:58	23	5/8" Top Coarse	13.42	Import	SRP	Jasen	172783	
59008	Looff Carousel	4/7/2017	9:05	24	5/8" Top Coarse	13.36	Import	SRP	John	172704	
59100	Looff Carousel	4/11/2017	7:51	31	3/4" Chips	22	Import	J.C. Sandbox	Jasen		
59101	Looff Carousel	4/11/2017	9:35	31	3/4" Chips	22	Import	J.C. Sandbox	Jasen		
59102	Looff Carousel	4/11/2017	10:50	31	3/4" Chips	22	Import	J.C. Sandbox	Jasen		
59159	Looff Carousel	4/12/2017	7:21	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59160	Looff Carousel	4/12/2017	7:40	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59161	Looff Carousel	4/12/2017	7:53	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59162	Looff Carousel	4/12/2017	8:08	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59163	Looff Carousel	4/12/2017	8:23	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59164	Looff Carousel	4/12/2017	8:42	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59165	Looff Carousel	4/12/2017	8:57	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59166	Looff Carousel	4/12/2017	9:14	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59167	Looff Carousel	4/12/2017	9:39	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59168	Looff Carousel	4/12/2017	9:55	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59169	Looff Carousel	4/12/2017	10:11	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59170	Looff Carousel	4/12/2017	10:31	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
A B C D E F G H I J											
1	Job:	Date:	Time:	Truck#:	Product:	CY:	Import/Export:	Who:	Driver:	Inv Ck.	
59171	Looff Carousel	4/12/2017	10:46	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59172	Looff Carousel	4/12/2017	11:02	28	Rock	11	Export	Cataldo Dumpsite	Aaron H.		
59186	Looff Carousel	4/12/2017	7:09	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59187	Looff Carousel	4/12/2017	7:32	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59188	Looff Carousel	4/12/2017	7:56	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59189	Looff Carousel	4/12/2017	8:04	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59190	Looff Carousel	4/12/2017	8:20	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59191	Looff Carousel	4/12/2017	8:37	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59192	Looff Carousel	4/12/2017	8:54	23	Rock	11	Export	Cataldo Dumpsite	Greg		

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59193	Looff Carousel	4/12/2017	9:07	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59194	Looff Carousel	4/12/2017	9:31	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59195	Looff Carousel	4/12/2017	9:44	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59196	Looff Carousel	4/12/2017	9:59	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59197	Looff Carousel	4/12/2017	10:11	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59198	Looff Carousel	4/12/2017	10:32	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59199	Looff Carousel	4/12/2017	10:48	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59200	Looff Carousel	4/12/2017	11:04	23	Rock	11	Export	Cataldo Dumpsite	Greg		
59201	Looff Carousel	4/12/2017	7:10	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59202	Looff Carousel	4/12/2017	7:29	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59203	Looff Carousel	4/12/2017	7:44	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59204	Looff Carousel	4/12/2017	7:59	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59205	Looff Carousel	4/12/2017	8:14	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59206	Looff Carousel	4/12/2017	8:31	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59207	Looff Carousel	4/12/2017	8:46	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59208	Looff Carousel	4/12/2017	9:00	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59209	Looff Carousel	4/12/2017	9:17	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59210	Looff Carousel	4/12/2017	9:36	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59211	Looff Carousel	4/12/2017	9:49	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59212	Looff Carousel	4/12/2017	10:04	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59213	Looff Carousel	4/12/2017	10:22	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59214	Looff Carousel	4/12/2017	10:38	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59215	Looff Carousel	4/12/2017	10:52	31	Rock	11	Export	Cataldo Dumpsite	Jasen		
59216	Looff Carousel	4/12/2017	7:09	24	Rock	11	Export	Cataldo Dumpsite	John		
59220	Looff Carousel	4/12/2017	7:32	24	Rock	11	Export	Cataldo Dumpsite	John		
59221	Looff Carousel	4/12/2017	7:50	24	Rock	11	Export	Cataldo Dumpsite	John		
59222	Looff Carousel	4/12/2017	8:04	24	Rock	11	Export	Cataldo Dumpsite	John		
59223	Looff Carousel	4/12/2017	8:20	24	Rock	11	Export	Cataldo Dumpsite	John		
59224	Looff Carousel	4/12/2017	8:37	24	Rock	11	Export	Cataldo Dumpsite	John		
59225	Looff Carousel	4/12/2017	8:54	24	Rock	11	Export	Cataldo Dumpsite	John		
59226	Looff Carousel	4/12/2017	9:07	24	Rock	11	Export	Cataldo Dumpsite	John		
59227	Looff Carousel	4/12/2017	9:31	24	Rock	11	Export	Cataldo Dumpsite	John		
1	Job:	Date:	Time:	Truck#:	Product:	CY:	Import/Export:	Who:	Driver:	Inv Ck.	
59228	Looff Carousel	4/12/2017	9:44	24	Rock	11	Export	Cataldo Dumpsite	John		
59229	Looff Carousel	4/12/2017	9:59	24	Rock	11	Export	Cataldo Dumpsite	John		
59230	Looff Carousel	4/12/2017	10:11	24	Rock	11	Export	Cataldo Dumpsite	John		
59231	Looff Carousel	4/12/2017	10:32	24	Rock	11	Export	Cataldo Dumpsite	John		
59232	Looff Carousel	4/12/2017	10:48	24	Rock	11	Export	Cataldo Dumpsite	John		
59233	Looff Carousel	4/12/2017	11:04	24	Rock	11	Export	Cataldo Dumpsite	John		
59380	Looff Carousel	4/17/2017	8:12	9	5/8" Top Course	29.2	Import	SRP	Dave	173421	
59381	Looff Carousel	4/17/2017	8:57	9	Asphalt	22	Export	J.C. Sandbox	Dave		
59382	Looff Carousel	4/17/2017	10:13	9	5/8" Top Course	27.27	Import	SRP	Dave	173440	
59383	Looff Carousel	4/17/2017	11:06	9	5/8" Top Course	28.8	Import	SRP	Dave	173447	
59438	Looff Carousel	4/17/2017	6:55	22	5/8" Top Course	24.46	Import	SRP	Sieve	173468	
59439	Looff Carousel	4/17/2017	8:08	22	5/8" Top Course	27.09	Import	SRP	Sieve	173419	
59440	Looff Carousel	4/17/2017	9:47	22	Bedding	23.04	Import	SRP	Sieve	173435	
59441	Looff Carousel	4/17/2017	10:59	22	Asphalt	22	Export	J.C. Sandbox	Sieve		
59442	Looff Carousel	4/17/2017	11:23	22	5/8" Top Course	25.32	Import	SRP	Sieve	173451	
59443	Looff Carousel	4/17/2017	13:32	22	Asphalt	22	Export	J.C. Sandbox	Sieve		
59444	Looff Carousel	4/17/2017	14:27	22	5/8" Top Course	24.52	Import	SRP	Sieve	173476	
59452	Looff Carousel	4/18/2017	10:00	9	5/8" Top Course	28.26	Import	SRP	Dave	173514	
59453	Looff Carousel	4/18/2017	10:59	9	5/8" Top Course	28.33	Import	SRP	Dave	173528	
59454	Looff Carousel	4/18/2017	11:57	9	5/8" Top Course	28.25	Import	SRP	Dave	173539	
59455	Looff Carousel	4/18/2017	13:20	9	5/8" Top Course	25.76	Import	SRP	Dave	173557	
59456	Looff Carousel	4/18/2017	14:24	9	5/8" Top Course	28.47	Import	SRP	Dave	173571	
59457	Looff Carousel	4/18/2017	14:58	9	Asphalt	22	Export	J.C. Sandbox	Dave		
59458	Looff Carousel	4/18/2017	15:54	9	5/8" Top Course	25.8	Import	SRP	Dave	173584	
59472	Looff Carousel	4/18/2017	9:44	11	5/8" Top Course	27.43	Import	SRP	Nick	173510	
59473	Looff Carousel	4/18/2017	10:54	11	Asphalt	22	Export	J.C. Sandbox	Nick		
59474	Looff Carousel	4/18/2017	11:21	11	5/8" Top Course	26.2	Import	SRP	Nick	173532	

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59475	Looff Carousel	4/18/2017	12:57	11	5/8" Top Course	25.69	Import	SRP	Nick	173551
59476	Looff Carousel	4/18/2017	13:53	11	5/8" Top Course	24.29	Import	SRP	Nick	173561
59477	Looff Carousel	4/18/2017	14:51	11	Asphalt	22	Export	J.C. Sandhox	Nick	
59478	Looff Carousel	4/18/2017	15:25	11	5/8" Top Course	23.7	Import	SRP	Nick	173581
59495	Looff Carousel	4/19/2017	7:36	22	Harding	23.04	Import	SRP	Steve	173591
59517	Looff Carousel	4/20/2017	10:04	28	5/8" Top Course	14.03	Import	Sullivan CPM	Dave	569637
59518	Looff Carousel	4/20/2017	11:46	11	5/8" Top Course	29.47	Import	SRP	Dave	173741
59519	Looff Carousel	4/20/2017	12:39	11	5/8" Top Course	25.03	Import	SRP	Dave	173761
59520	Looff Carousel	4/20/2017	13:39	11	5/8" Top Course	25.76	Import	SRP	Dave	173769
59521	Looff Carousel	4/20/2017	12:50	28	3/4" Chips	11	Import	J.C. Sandhox	Greg	
59522	Looff Carousel	4/20/2017	14:24	22	5/8" Top Course	25.72	Import	SRP	Greg	173771
59531	Looff Carousel	4/21/2017	7:44	9	3/4" Chips	22	Import	J.C. Sandhox	Dave	
59583	Looff Carousel	4/24/2017	8:53	11	Select Fill	23.04	Import	SRP	Steve	173901
59584	Looff Carousel	4/24/2017	9:26	11	Asphalt	22	Export	J.C. Sandhox	Steve	
A B C D E F G H I J										
1	Job:	Date:	Time:	Truck#:	Products:	CY:	Import/Export:	Who:	Driver:	Inv Ck.
59585	Looff Carousel	4/24/2017	10:58	11	Select Fill	23.53	Import	SRP	Steve	173951
59586	Looff Carousel	4/24/2017	11:24	11	Asphalt	22	Export	J.C. Sandhox	Steve	
59587	Looff Carousel	4/24/2017	13:45	11	Select Fill	21.71	Import	SRP	Steve	174011
59588	Looff Carousel	4/24/2017	14:14	11	Asphalt	22	Export	J.C. Sandhox	Steve	
59589	Looff Carousel	4/24/2017	15:33	11	Select Fill	22.57	Import	SRP	Steve	174061
59590	Looff Carousel	4/24/2017	16:03	11	Concrete	22	Export	J.C. Sandhox	Steve	
59592	Looff Carousel	4/25/2017	10:13	28	5/8" Top Course	12.95	Import	Sullivan CPM	Aaron H.	569688
59593	Looff Carousel	4/25/2017	11:11	28	5/8" Top Course	11.96	Import	SRP	Aaron H.	174181
59594	Looff Carousel	4/25/2017	12:06	28	5/8" Top Course	12.6	Import	SRP	Aaron H.	174201
59595	Looff Carousel	4/25/2017	13:18	28	5/8" Top Course	12.41	Import	SRP	Aaron H.	174231
59596	Looff Carousel	4/25/2017	14:37	28	5/8" Top Course	13.92	Import	SRP	Aaron H.	174261
59597	Looff Carousel	4/25/2017	15:40	28	5/8" Top Course	13.05	Import	SRP	Aaron H.	174291
59610	Looff Carousel	4/25/2017	7:24	23	5/8" Top Course	14.73	Import	SRP	Greg	174081
59611	Looff Carousel	4/25/2017	8:23	23	5/8" Top Course	15.08	Import	SRP	Greg	174101
59612	Looff Carousel	4/25/2017	9:11	23	5/8" Top Course	14.05	Import	SRP	Greg	174131
59613	Looff Carousel	4/25/2017	10:03	23	5/8" Top Course	13.98	Import	SRP	Greg	174151
59614	Looff Carousel	4/25/2017	10:53	23	5/8" Top Course	14.34	Import	SRP	Greg	174171
59615	Looff Carousel	4/25/2017	11:33	23	5/8" Top Course	13.57	Import	SRP	Greg	174191
59616	Looff Carousel	4/25/2017	12:23	23	5/8" Top Course	14.76	Import	SRP	Greg	174211
59617	Looff Carousel	4/25/2017	13:47	23	5/8" Top Course	15.67	Import	SRP	Greg	174241
59618	Looff Carousel	4/25/2017	14:48	23	5/8" Top Course	15.35	Import	SRP	Greg	174271
59619	Looff Carousel	4/25/2017	15:42	23	5/8" Top Course	14.9	Import	SRP	Greg	174291
59633	Looff Carousel	4/25/2017	7:23	24	5/8" Top Course	31.14	Import	SRP	John	174081
59635	Looff Carousel	4/25/2017	8:43	24	5/8" Top Course	27.6	Import	SRP	John	174111
59638	Looff Carousel	4/25/2017	10:54	24	5/8" Top Course	14.7	Import	SRP	John	174171
59639	Looff Carousel	4/25/2017	11:41	24	5/8" Top Course	14.38	Import	SRP	John	174191
59640	Looff Carousel	4/25/2017	12:36	24	5/8" Top Course	14.76	Import	SRP	John	174211
59641	Looff Carousel	4/25/2017	13:23	24	5/8" Top Course	14.17	Import	SRP	John	174231
59642	Looff Carousel	4/25/2017	14:20	24	5/8" Top Course	12.91	Import	SRP	John	174251
59643	Looff Carousel	4/25/2017	15:23	24	5/8" Top Course	12.79	Import	SRP	John	174281
59669	Looff Carousel	4/26/2017	7:06	28	Top Soil	12	Import	J.C. Sandhox	Aaron H.	
59670	Looff Carousel	4/26/2017	8:24	28	Top Soil	12	Import	J.C. Sandhox	Aaron H.	
59671	Looff Carousel	4/26/2017	9:27	28	Top Soil	12	Import	J.C. Sandhox	Aaron H.	
59672	Looff Carousel	4/26/2017	10:27	28	Top Soil	12	Import	J.C. Sandhox	Aaron H.	
59673	Looff Carousel	4/26/2017	11:30	28	Top Soil	12	Import	J.C. Sandhox	Aaron H.	
59674	Looff Carousel	4/26/2017	12:46	28	Top Soil	12	Import	J.C. Sandhox	Aaron H.	
59675	Looff Carousel	4/26/2017	14:03	28	Top Soil	12	Import	J.C. Sandhox	Aaron H.	
59691	Looff Carousel	4/26/2017	7:04	23	Top Soil	12	Import	J.C. Sandhox	Greg	
59692	Looff Carousel	4/26/2017	8:13	23	Top Soil	12	Import	J.C. Sandhox	Greg	
59693	Looff Carousel	4/26/2017	9:08	23	Top Soil	12	Import	J.C. Sandhox	Greg	
59694	Looff Carousel	4/26/2017	10:07	23	Top Soil	12	Import	J.C. Sandhox	Greg	
A B C D E F G H I J										
1	Job:	Date:	Time:	Truck#:	Products:	CY:	Import/Export:	Who:	Driver:	Inv Ck.
59695	Looff Carousel	4/26/2017	11:11	23	Top Soil	12	Import	J.C. Sandhox	Greg	
59696	Looff Carousel	4/26/2017	12:49	23	Top Soil	12	Import	J.C. Sandhox	Greg	

59697	Looff Carousel	4/26/2017	14:07	23	Top Soil	12	Import	J.C. Sandhox	Greg		
59712	Looff Carousel	4/26/2017	7:03	24	Top Soil	12	Import	J.C. Sandhox	John		
59713	Looff Carousel	4/26/2017	8:07	24	Top Soil	12	Import	J.C. Sandhox	John		
59714	Looff Carousel	4/26/2017	9:06	24	Top Soil	12	Import	J.C. Sandhox	John		
59715	Looff Carousel	4/26/2017	10:03	24	Top Soil	12	Import	J.C. Sandhox	John		
59716	Looff Carousel	4/26/2017	11:10	24	Top Soil	12	Import	J.C. Sandhox	John		
59717	Looff Carousel	4/26/2017	12:48	24	Top Soil	12	Import	J.C. Sandhox	John		
59718	Looff Carousel	4/26/2017	14:05	24	Top Soil	12	Import	J.C. Sandhox	John		
59810	Looff Carousel	4/28/2017	11:02	9	Asphalt	22	Export	J.C. Sandhox	Dave		
59811	Looff Carousel	4/28/2017	13:22	9	Asphalt	22	Export	J.C. Sandhox	Dave		
59812	Looff Carousel	4/28/2017	15:08	9	Asphalt	22	Export	J.C. Sandhox	Dave		
59813	Looff Carousel	4/28/2017	7:11	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59814	Looff Carousel	4/28/2017	7:41	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59815	Looff Carousel	4/28/2017	7:57	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59816	Looff Carousel	4/28/2017	8:11	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59817	Looff Carousel	4/28/2017	8:25	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59818	Looff Carousel	4/28/2017	8:39	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59819	Looff Carousel	4/28/2017	9:01	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59820	Looff Carousel	4/28/2017	9:18	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59821	Looff Carousel	4/28/2017	10:00	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59822	Looff Carousel	4/28/2017	10:17	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59823	Looff Carousel	4/28/2017	10:33	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59824	Looff Carousel	4/28/2017	10:57	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59825	Looff Carousel	4/28/2017	11:50	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59826	Looff Carousel	4/28/2017	13:12	23	Native Soil	22	Export	Cataldo Dumpsite	Greg		
59827	Looff Carousel	4/28/2017	13:37	23	Asphalt	22	Export	J.C. Sandhox	Greg		
59828	Looff Carousel	4/28/2017	7:10	31	Native Soil	11	Export	Cataldo Dumpsite	Jasen		
59829	Looff Carousel	4/28/2017	7:41	31	Native Soil	11	Export	Cataldo Dumpsite	Jasen		
59830	Looff Carousel	4/28/2017	7:56	31	Native Soil	11	Export	Cataldo Dumpsite	Jasen		
59831	Looff Carousel	4/28/2017	8:11	31	Native Soil	11	Export	Cataldo Dumpsite	Jasen		
59832	Looff Carousel	4/28/2017	8:24	31	Native Soil	11	Export	Cataldo Dumpsite	Jasen		
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59840	Looff Carousel	4/28/2017	11:22	31	Native Soil	11	Export	Cataldo Dumpsite	Jasen		
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1	Job:	Date:	Time:	Truck#:	Product:	CY:	Import/Export:	Who:	Driver:	Inv. Ck.	
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59844	Looff Carousel	4/28/2017	13:40	31	Native Soil	11	Export	Cataldo Dumpsite	Jasen		
59845	Looff Carousel	4/28/2017	7:10	24	Native Soil	12	Export	Cataldo Dumpsite	John		
59846	Looff Carousel	4/28/2017	7:15	24	Native Soil	12	Export	Cataldo Dumpsite	John		
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59848	Looff Carousel	4/28/2017	8:16	24	Native Soil	12	Export	Cataldo Dumpsite	John		
59849	Looff Carousel	4/28/2017	8:30	24	Native Soil	12	Export	Cataldo Dumpsite	John		
59850	Looff Carousel	4/28/2017	8:44	24	Native Soil	12	Export	Cataldo Dumpsite	John		
59851	Looff Carousel	4/28/2017	9:04	24	Native Soil	12	Export	Cataldo Dumpsite	John		
59852	Looff Carousel	4/28/2017	9:29	24	Native Soil	12	Export	Cataldo Dumpsite	John		
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PL7

59863	Looff Carousel	4/28/2017	8:01	28	Native Soil	11	Export	Cataldo Dumpsite	Nick	
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A B C D E F G H I J										
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59886	Looff Carousel	5/1/2017	7:23	9	Asphalt	22	Export	J.C. Sandbox	Dave	
59897	Looff Carousel	5/1/2017	8:47	9	Asphalt	22	Export	J.C. Sandbox	Dave	
59898	Looff Carousel	5/1/2017	9:59	9	Asphalt	22	Export	J.C. Sandbox	Dave	
60147	Looff Carousel	5/5/2017	6:57	9	3/4" Chips	22	Import	J.C. Sandbox	Dave	
60197	Looff Carousel	5/8/2017	16:04	9	Rock	22	Export	J.C. Sandbox	Dave	
60213	Looff Carousel	5/8/2017	16:16	28	Rock	22	Export	J.C. Sandbox	Dave	
60235	Looff Carousel	5/8/2017	15:49	22	Rock	22	Export	J.C. Sandbox	Steve	
60234	Looff Carousel	5/9/2017	7:02	11	Rock	22	Export	J.C. Sandbox	Aaron H.	
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60238	Looff Carousel	5/9/2017	10:02	11	Rock	22	Export	J.C. Sandbox	Aaron H.	
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60240	Looff Carousel	5/9/2017	12:16	11	Rock	22	Export	J.C. Sandbox	Aaron H.	
60241	Looff Carousel	5/9/2017	7:01	9	Rock	22	Export	J.C. Sandbox	Dave	
60242	Looff Carousel	5/9/2017	8:17	9	LOF Rock	22	Import	J.C. Sandbox	Dave	
60243	Looff Carousel	5/9/2017	9:52	9	Rock	22	Export	J.C. Sandbox	Dave	
60244	Looff Carousel	5/9/2017	10:15	9	LOF Rock	22	Import	J.C. Sandbox	Dave	
60245	Looff Carousel	5/9/2017	12:09	9	Debris	15	Export	Busy Bee	Dave	4692
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60276	Looff Carousel	5/9/2017	10:02	22	LOF Rock	22	Import	J.C. Sandbox	Steve	
60277	Looff Carousel	5/9/2017	10:39	22	Rock	22	Export	J.C. Sandbox	Steve	
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60430	Looff Carousel	5/12/2017	6:	Import	J.C. Sandbox	Steve	
60431	Looff Carousel	5/12/2017	8:	Import	SRP	Steve	176007
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Riverfront Park Redevelopment Pavilion Budget Summary of Proposed Reallocations

Current Budget:

- \$19,562,236 Base Project Budget
- \$1,873,363 Program Level Budget Allocated to Pavilion (based on 28% of total)
- **\$21,435,599 Total (Base and Program Level)**

Goal:

- \$24,000,000 Restore Budget to Master Plan Budget
 - \$2,564,401 Delta

Proposed Reallocations to Pavilion:

- \$1,955,000 Current and Forecasted Interest Income
- \$610,000 Program Level Staff and Consultant Fees

Proposed Budget:

- **\$24,000,599 Budget**
- \$2,000,000 Additional Allocated to Construction
 - **\$16,500,000 New Design-Build Budget**
- \$500,599 Allocated to Project Contingency



City of Spokane

Pavilion Reimagining

Program Components and Options

Aug 3, 2017

Program Component and Options	Unit	Area/ Quantity	Unit Cost	Cost	Enhancement
Pavilion Floor					
Switchback paving	SF	300	6	1,800	
Eddy paving	SF	1,200	6	7,200	
Structural Switchback Paving	SF	500	200	100,000	
Battered NE portal Walls	FF	5,000	40	200,000	
Flexible floor paving	SF	15,000	6	90,000	
West Building Paving	SF	8,000	12	96,000	
Lawn areas	SF	30,000	6	165,000	
Planting areas	SF	10,000	8	80,000	
Irrigation	SF	40,000	3	120,000	
Utility outposts	EA	5	10,000	50,000	
Terraced performance bowl	FF	2,700	15	40,500	
Absurd topography	FF	10,000	20	200,000	
South Permanent fencing	LF	180	15	2,700	
South temporary fencing	SF	300	30	9,000	
Painting/surface of ring/Mast	Allow	1	50,000	50,000	
Maint. Of net	Allow	1	50,000	50,000	
Sandblast/Treat Concrete	SF	45,000	3.35	150,750	
West Building Renovation					
Current interior renovation concept		20,000	200	4,000,000	
Riverview Terrace					
Current vision		5,000	90	450,000	
Shade and Shelter					
Freestanding structure		6,000	0	0	
Extension from west building		15,000	15	225,000	
Enhanced Shade & Shelter		15,000	15	0 \$	225,000
Pavilion Illumination					
Cable lighting		105,000	5.25	551,250	
Reflectors		500	250.00	0 \$	125,000
Mast and crown ring lighting		30,000	0	0	
Building Column illumination		60	4,000	0 \$	240,000
Partial roof membrane illumination		0	10	0	
Projection					
On partial roof membrane		0	10	0	
Permanent built surface		0	10	0	
Operable projection screen		0	50	0	
Elevation within Pavilion					
Sculptural stair		0	20	0	
Reduced sculptural stair		0	15	0	
Elevated platform(s)		2,000	250	0 \$	500,000
Bridge to elevated platform		2,000	200	0 \$	400,000
Active Event on Platform		1	0	0 \$	60,000
Central Green and Central Plaza					
Current vision		20,000	25	500,000	
Landscape and paving only		0	10	0	

Green Roof

With landscape	15,000	55	825,000	
With landscape and access path	15,000	10	0	\$ 150,000
With roof terrace and stair	0	10	0	
Landscape Only	0	10	0	

Service Yard

Service Yard	5,000	100	500,000	
Loading Dock	0	100	0	

Budget Estimating

Site Grading/Utilities	SF	160,000	\$	3.50	\$	560,000	
Demo Cover	SF	29,500	\$	2.25	\$	66,375	
Demo East Buildings	SF	40,000	\$	7.00	\$	280,000	
Demo Imax	SF	34,000	\$	10.00	\$	340,000	
Overall Abatement	SF	60,000	\$	5.00	\$	300,000	
Selective Demo West Bldg	SF	24,000	\$	4.00	\$	96,000	
Crush Concrete	Ton	40,000	\$	9.00	\$	360,000	
Import Fill	CY	20,000	\$	9.00	\$	180,000	
Specified GCS	LS	1.0	\$	625,000	\$	625,000	\$ 40,000
Negotiated Support Services	MO	18	\$	22,500	\$	405,000	\$ 20,000
Design Fees	%	9.0		1,305,000		1,305,000	\$ 140,000
B&O Tax	%	1.0		68,295		68,295	\$ 9,420
D/B Fee	LS	1.0		655,000		655,000	\$ 90,000
Contingency	%	5.0		725,000		725,000	
Escalation - (Jan 18')	%	0.5		72,500		72,500	

TOTAL PROJECT BUDGET 14,502,370 \$ 1,999,420

2017 Balance 61,718,089

Hill International Projected Cash flow			Scenario 2			Scenario 3			Scenario 4		
2017	25,504,191	41.3%	2017	15,429,522	25.0%	2017	12,343,618	20.0%	2017	9,257,713	15.0%
2018	28,180,963	45.7%	2018	21,601,331	35.0%	2018	18,515,427	30.0%	2018	15,429,522	25.0%
2019	5,534,619	9.0%	2019	21,601,331	35.0%	2019	21,601,331	35.0%	2019	18,515,427	30.0%
2020	2,498,315	4.0%	2020	3,085,904	5.0%	2020	9,257,713	15.0%	2020	12,343,618	20.0%
2021			2021			2021			2021	6,171,809	10.0%
	61,718,088	100.0%		61,718,089	100.0%		61,718,089	100.0%		61,718,089	100.0%

Interest Rate

1.75%	\$ 878,385	\$ 1,332,898	\$ 1,595,535	\$ 2,020,181
1.85%	\$ 928,578	\$ 1,409,064	\$ 1,686,708	\$ 2,135,620

RFP - US PAVILION

49575 - Budget Estimate

PROJECT BUDGET ITEMS			Current Budget	Non-Bond Funding	Cost to Date	NOTES
1.0 PROJECT CONSTRUCTION - (56202)	1a	Grounds	4,107,663			Moved 1.385M to the Roof Demo
	1b	Pavilion Building	7,200,000			
	1c	IMAX/Rink/Roof Structure demo	1,635,000			Estimate for Roof Demo, Added 1.385M
	1d	Maintenance Facility	0			Removed this scope (1.8M)
	1g	A/E Pavilion - Basic Services	1,600,208			Included here as part of the Design Build Contract execution (Sales Tax)
	1	Construction	14,542,871	0	-	
	2	Design Contingency + Escalation	0			Moved to OMR
	3	Construction Contingency	698,629			
	4	Environmental / Rock Contingency	606,717			Moved 100k to Program Lvl Environmental Rock (\$91,911.77 + WSST of \$8,088.23 = 100k)
	5	WSST on Construction, CO's, Contingency 8.7% (Increased to 8.8% April 1st, 2017)	1,394,643			Decrease in ST due to Construction, Increase due to Design/Build A/E Fee, Moved Associated ST from Design Contingency to OMR \$29,580. Sales Tax Adjustment from 8.7 to 8.8% = Increase of Remaining Construction at \$15,940,129 x .01% or \$15,940.13 from OMR, Deduct WSST for Rotary Fountain Bond Funding.
		Sub-total Construction	17,242,860	0	-	
	6	Other Owner Construction Expenses	45,000			Tree Removal -45k, Moved Bud for Arch Exc & Monitor to Program Level
Subtotal ALL Construction			17,287,860	0	-	
2.0 PROJECT DESIGN - (56522)	7	BERGER Thru 2A	0			Moved to Program Level
	8	A/E Grounds - Basic Services	0			
	9	Interior Design	75,000			Added Category
	10	A/E Pavilion - Basic Services	0			Included with Construction as part of the DB contract execution
	11	A/E Pavilion - Additional Services	0			
	12	A/E Pavilion - Reimbursable Expenses	0			
	13	Other Design (CR's - CSA/Envelope, Exhibit)	0			
Subtotal Design			75,000		-	
3.0 CONSTRUCTION SERVICES + FF&E - (56520)	14	PM/CM Services (Internal/External)	314,000		38,522	Hill Procurement - 39.9k Transferred Hill CM Fee from Program Owner Lvl Cost - 275k
	15	Site/Field Survey Topo Map	0			Additional work done Post Berger (See item 7 above)
	16	Geotechnical Services	73,300		43,403	Add \$3300 to match the Geo Contract
	17	Environmental/Labwork	95,000			
	23	Commissioning	50,000			
	24	NREC Owner Inspection Fee	5,000			
	25	Inspection/Testing	75,000			
	26	Legal Fees	30,000		7,728	Moved Robynne Thaxton fee from Program Lvl
	27	Other Consultants	0			See Program Level Owner Cost
	28	FF&E + Technology + WSST @8.8%	438,750			
	29	Way Finding and Interpretative Signage	40,000			Design & Installation - Estimate 100k
Subtotal Project Services, FF&E			1,121,050		89,652	
4.0 OTHER CAPITALIZED COSTS - (56504)	30	Artwork	500,000		0	Added 500k from Program Level Owner Cost, 50k Artist Design & 450k for Constr & Install
	31	Advertisements+Printing+Temp Signage	2,500			Temp Signage - See Program Level; Public Outreach Costs
	32	L&I Electrical Review	1,250			
	33	Plan Review+Permits	120,226			Increase due to increase in Construction Cost, \$5050.00
	34	Health District Review	3,000			
	35	Certification of Storm Drainage	3,000			
	36	Moving /Temporary Facilities	62,228			
	39	RFP Predesign Studies	0			Moved to Program Lvl, See Predesign Cost Tab
	40	OMR Contingency	386,122			Added 340k from Design Contingency, Add Associated ST from Design Contingency \$29,580, Deduct 25k for SBE Pedestrian Areas, Deduct \$3300 for Geo Contract, Deduct for WSST rate increase
Subtotal Other Development Fees			1,078,326		-	
5.0 BOND FEES	42	Bond Service Fees	0			See Program Level Owner Cost
Subtotal Bond Services			0		-	
			19,562,236	0	89,652	



Design-Build Change Order Form

For Use with DBIA Document No. 525, *Standard Form of Agreement Between Owner and Design-Builder – Lump Sum* (2010 Edition) and DBIA Document No. 530, *Standard Form of Agreement Between Owner and Design-Builder – Cost Plus Fee with an Option for A Guaranteed Maximum Price* (2010 Edition)

Change Order Number: ONE	Change Order Effective Date: AUGUST 10, 2017 (date when executed by both parties)
Project: PAVILION DESIGN BUILD PROJECT	Design-Builder's Project No:
	Date of Agreement: APRIL 13, 2017
Owner: CITY OF SPOKANE - PARKS & RECREATION DIVISION	Design-Builder: GARCO CONSTRUCTION, INC.

INCREASE GMP FROM \$14.5M TO \$16.5M EXTEND VALIDATION PHASE

The GMP is revised to: \$16,500,000

Scope of the Change:

Design-Builder's Fixed Fee as calculated pursuant to Section 6.2.1 of the Design-Build Agreement is revised to: \$745,000.

The estimated Cost of the Work as defined in Section 6.3 of the Design-Build Agreement, inclusive of any Design-Builder's Contingency as defined in Section 6.4.4 of the Design-Build Agreement is revised to: \$15,755,000.

Design-Builder's Fixed General Conditions Costs pursuant to Section 6.4.5 of the Design-Build Agreement is revised to: \$665,000.

Original Contract (Validation Phase) Price: \$ 250,000

Net Change by Change Order No One: \$ 0

New Contract Price: \$ 250,000

Original Contract (Validation Phase) Completion Date:

SEP 14, 2017

Adjustments by Change Order No One: 28 (calendar days)

Revised Validation Completion Date:

OCT 12, 2017

By executing this Change Order, Owner and Design-Builder agree to modify the Agreement's Scope of Work, Contract Price and Contract Time as stated above. Upon execution, this Change Order becomes a Contract Document issued in accordance with DBIA Document No. 535, *Standard Form of General Conditions of Contract Between Owner and Design-Builder*, (2010 Edition).

OWNER:

By: _____
Printed Name: _____
Title: _____
Date: _____

DESIGN-BUILDER:

By: _____
Printed Name: _____
Title: _____
Date: _____



August Update to the Board

Garrett Jones, Parks Planning & Development Manager

Berry Ellison, Program Manager

Jo-Lynn Brown, Program Coordinator

RIVERFRONTPARK**NOW.COM**

View from Above



Howard Street Bridge South

The first phase of the Promenades



Deck poured in two sets.
Completed first layer of pour
last week.

Timeline: Fall 2017



Howard Street South Channel Bridge Construction Status August 2017

Contractor: **T. LaRiviere Equipment**
Project Manager: Thomas Haroldsen
Superintendent: Bryce Heitman

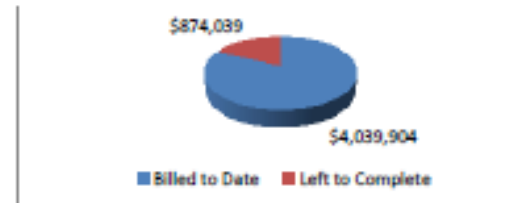
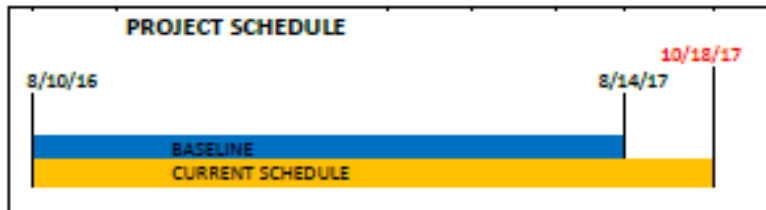
Engineer: CH2M
Inspector Clark Cosby

Owner PM: Berry Ellison - Parks
Owner CM: Lorraine Mead - Hill Intl



SCHEDULE/UPDATE:

- Poured Deck in two pours – finished on 8/4/17.
- Contractor's CPM Schedule has pushed out due to Pier 4 (unforeseen conditions). TL showing 10/23/17 completion.
- Contractor working to turn over the south side after Labor Day, and then the Bridge deck on 9/12/17 for Final Paving



Base Bid Amount	Change Order #1 -5	Current Expenditures (Thru June 2017)	Remaining Contract Amount	Percent Complete by Budget	Schedule Percent Complete	Contract End Date*
\$4,737,101.50	\$199,419.35	\$4,062,481.83	\$874,039.02	81.8%	81%	9/29/17

*With Time Extension C0#4



RIVERFRONTPARKNOW.COM

Recreational Ice Ribbon and SkyRide



Ice ribbon pathway is
50% poured.
Exterior patios and
retaining walls being
constructed.

Construction:
Fall 2017





Recreational Rink & Sky Ride Construction Status August 2017

Contractor: **Contractors Northwest Inc.**
Project Manager: Matt Nason
Superintendent: Rick Welker

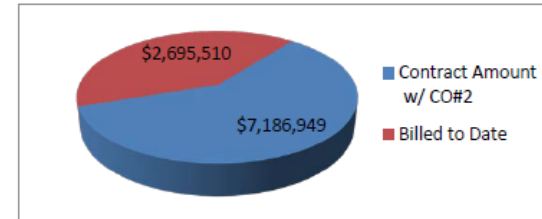
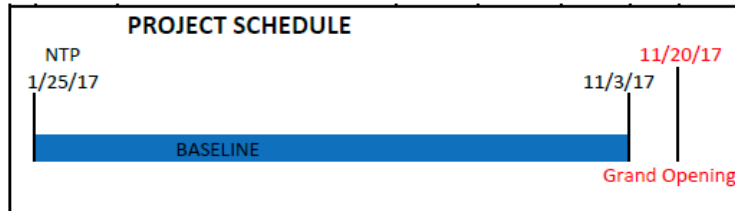
Engineer/Arch: Stantec

Owner PM: Berry Ellison - Parks
Owner CM: Harvey Morrison



SCHEDULE/CONCERNS:

- 50% of the ice ribbon is poured, the balance should be done by the end of August.
- Roofing is underway and should be complete by mid-month.
- Exterior patios and retaining walls are being constructed.
- Landscape contractor is working on the ribbon island.



Contract Amount Includes C/O 1-6, 9	Current Expenditures	Remaining Contract Amount	Percent Complete by Budget*	Schedule Percent Complete	Contract End Date**
\$7,186,949.87	\$2,695,510.62	\$4,491,439.25	40%	52%	11/3/17



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Looff Carrousel



Rotunda and tree in place;
upper dome being installed.
Construction: Spring 2018





Looff Carrousel Construction Status August 2017

Contractor: **Walker Construction**
Project Manager: Justin Paine
Superintendent: Mark Anderson

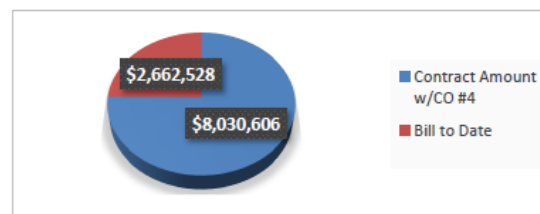
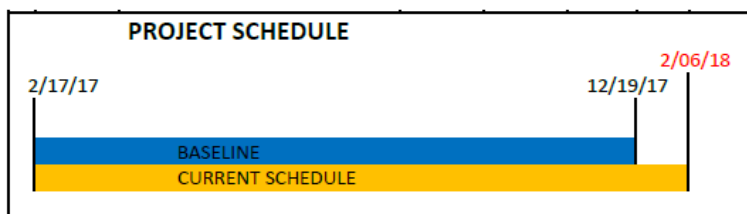
Architect: **NAC**

Owner PM: Berry Ellison - Parks
Owner CM: Patrick McCord - Hill International



SCHEDULE/CONCERNS:

- 7 weeks behind schedule due to rock and contaminated soils.
- Carrousel building concrete slabs have been poured. Center tree and scaffold installed.
- Upper dome steel being installed.
- Wedge building area underslab plumbing and electric being completed.
- Fountain completion Spring 2018.
- Donor plaques install next Spring.



Base Bid Amount	Change Orders Total w/#4	Current Expenditures (Thru July 2017)	Remaining Contract Amount	Percent Complete by Budget	Schedule Percent Complete	Contract End Date
\$7,064,600	\$966,006	\$2,662,528	\$5,368,078	33.0%	49.2%	12/26/17



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Pavilion



Garco/NAC/Berger team in design validation phase.

Will share revised preliminary concepts in September/Oct Open House, with Park Board and other internal stakeholders.

Early demolition could begin September. Validation phase will conclude mid-October.



Pavilion Project Design Status August 2017

Design Builder: Garco Construction
Project Director: Clancy Welsh
Project Manager: Rich Wagoner

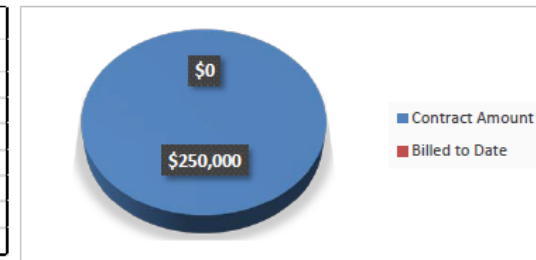
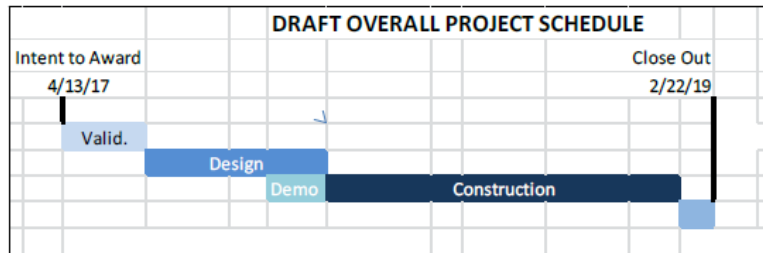
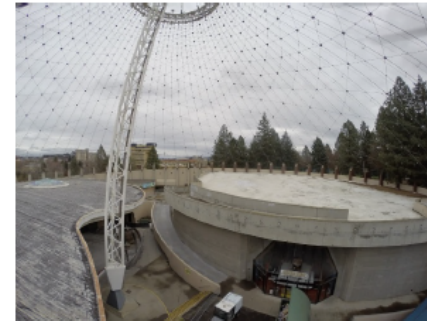
Architect: NAC
Landscape Architect: Berger Partnership
Civil: CH2M

Program Manager: Berry Ellison - Parks
Project Manager: Matt Walker- Hill Intl.



VALIDATION SCHEDULE

- Open House Meeting: 7/11/17
- Initial Design Approval: 7/13/17
- ET/Ad Hoc Meeting: 8/3/17
- ET/Ad Hoc Meeting: 8/31/17
- Design Meeting: 09/07/17
- Early Demolition Contract: 9/14/17
- Validation Submittal: 09/28/17
- ET Meeting: 10/02/17
- Final Validation Submittal: 10/05/17
- Board Meeting: 10/12/17

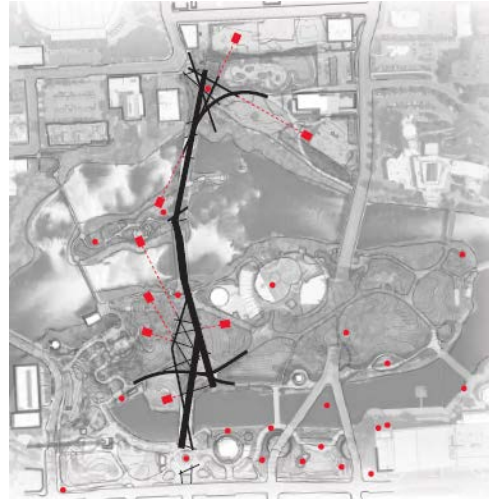


Validation Amount	Change Order	Current Expenditures	Remaining Contract Amount	Percent Complete by Budget	Schedule Percent Complete	Contract End Date
\$250,000	\$0	\$0	\$250,000	0%	57%	10/12/17



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Lead Artist Meejin Yoon

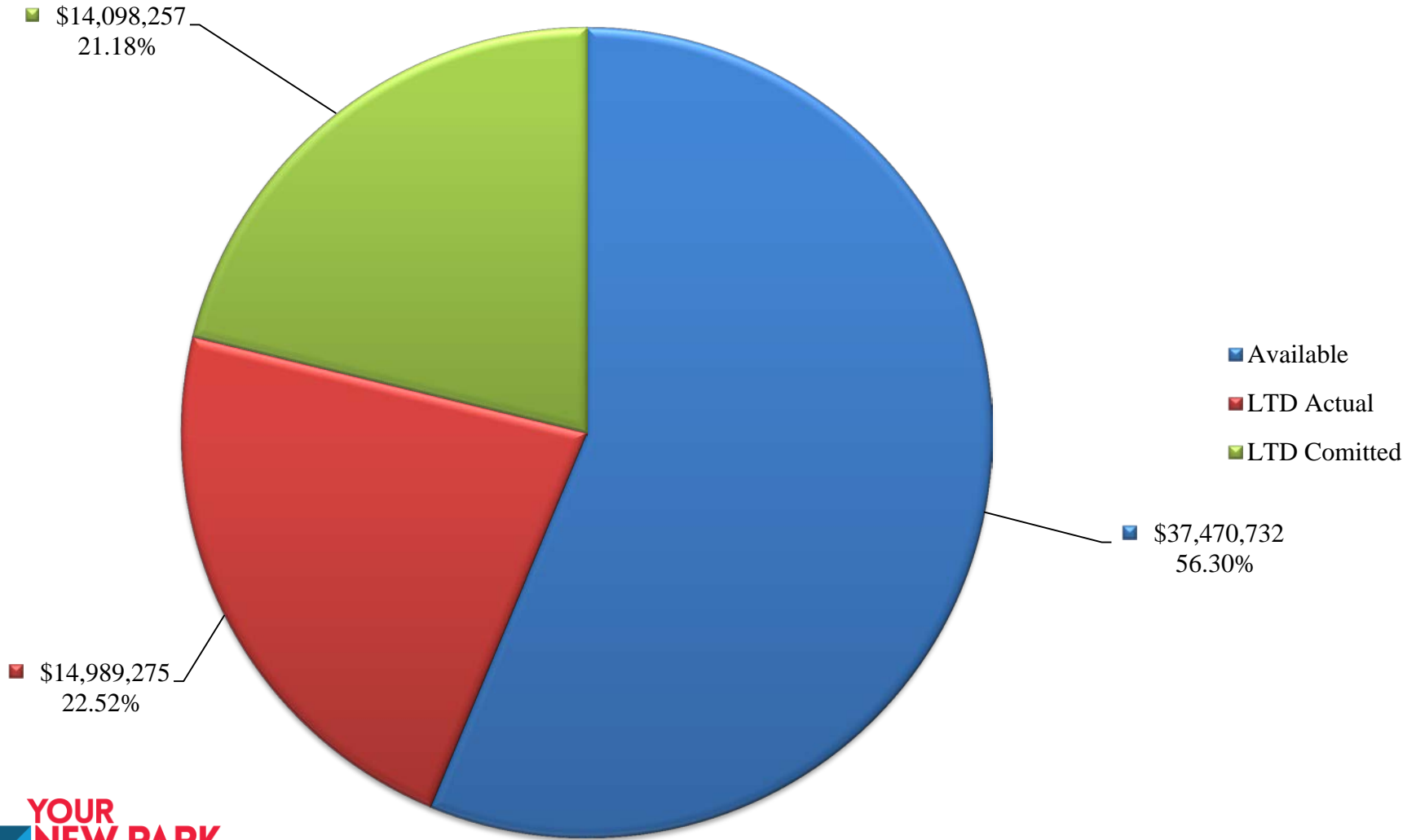


Meejin Yoon visited RFP Committee and Joint Arts Committee to share preliminary concepts for an art plan and signature art piece.

She will return late September/early October for an Open House.

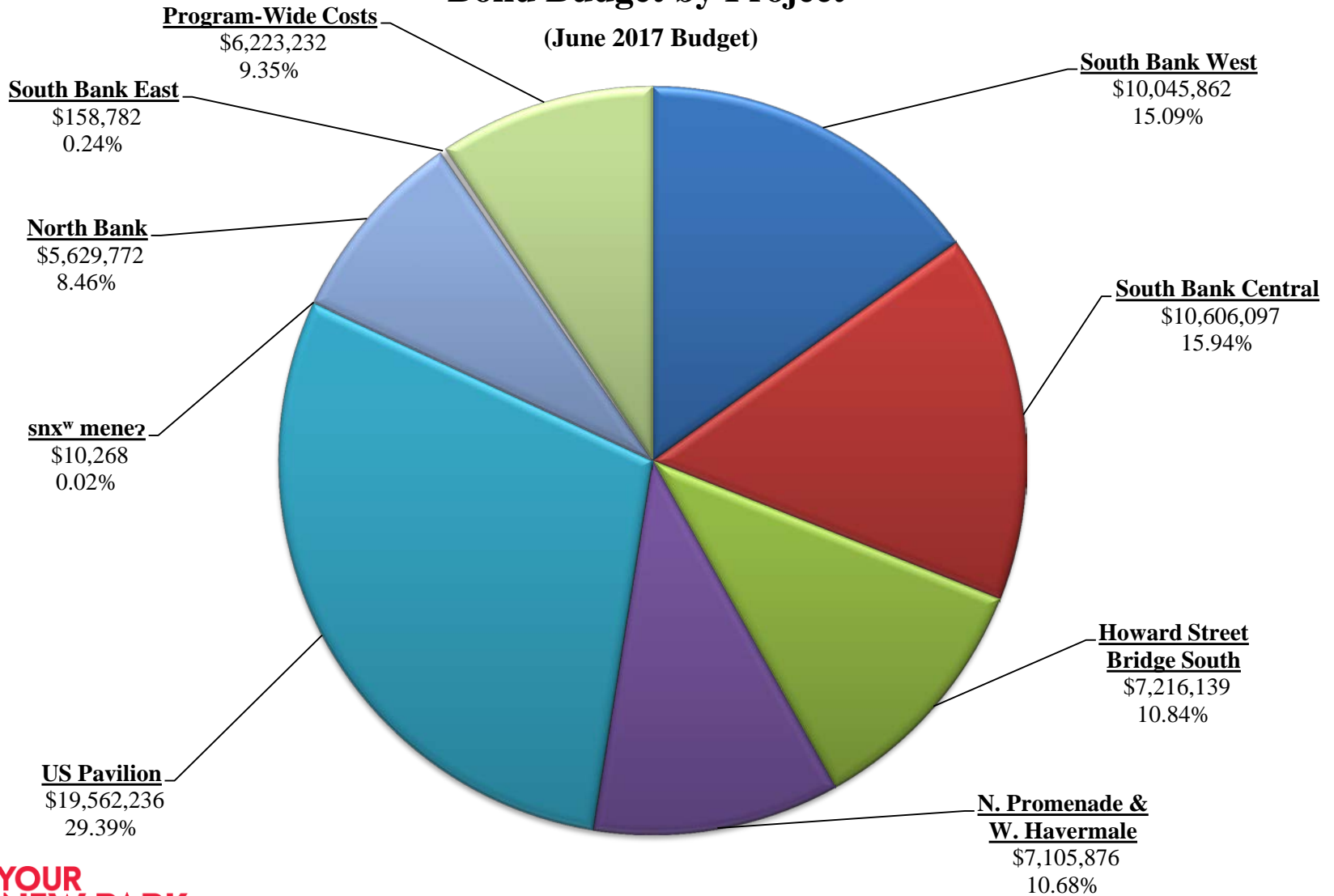
Full art plan presented to Park Board before the end of the year.

Bond Budget Utilization Through July 2017 (June 2017 Budget)



Bond Budget by Project

(June 2017 Budget)





Questions/Comments?

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Programming for the Future

Jonathan Moog

Riverfront Park Director

We Know It Well





What If...





Mission Statement

To create a vibrant urban park dedicated to connecting our community and visitors through activities, nature, culture and traditions that meaningfully contribute to the livability and enjoyment for all.

Our Values

Inspire & Innovate ♦ Respect & Represent ♦
Accountability & Ownership ♦ Delight & Surprise



Goals

- Demonstrate excellence in programming and commitment to our community
- Serve as City's Showcase and play a leading role in bringing major events to Spokane
- Streamline and simplify an events permitting process
- Host over one hundred events or activities annually

What is Programming

Any activity which activates Riverfront Park, establishes placemaking or creates a compelling experience.

- Licensee Events
- Partner supported activities
- RFP developed content
- Promotional Sampling (Product displays)
- Fixed Attractions



Programming Categories

Entertainment

- Movie Nights
- Local Band & Brew Thursdays

Arts & Culture

- Acrobatic Performances
- Craft and Arts Fair
- Living Art (performers, paint)

Families & Children

- Skate with Santa Claus
- Kids Disco Party
- Storytime Tuesday

Heathy Living

- Class/demo (Parkour, Zumba)
- Recycle Saturdays
- Farmers Market

Special Events

- Holiday Tree Lighting
- Grand Opening Parties

Other Public Events (Licensee)

- Hoopfest
- Pig Out

Approach





Communications

- New look and feel
- Contemporary & fresh website
- Seek opportunities for cross-promotions
- Seasonal programming calendar & brochures
- Social media connected promotions & activities
- Marketing
- Community outreach



Financial Model

- Parking fees
- Fixed attractions ticketing
- Exclusive beverage agreement
- Food, beverage and alcohol services
- Sponsorship and grant supported programming
- Gift shop sales
- Venue leasing
- Future Membership sales

Long Term Strategies

- Cultivate local event planners
 - Training Sessions
 - Risk sharing for new events
- Develop volunteer or docent program
- Acquire events and entertainment liquor license (fewer beer gardens)
- Venue collaboration with convention center
- Integrated socially connected mobile application with POS and historical and event wayfinding
- Develop fund to sponsor licensee events



End

- Thank you
- Comments or Questions

White Paper

New Parks and Recreation Enterprise Fund

The goal is to create a new enterprise fund in Parks and Recreation that will cover Riverfront Park, Golf and potentially trails. The idea is that these regional economic assets are positioned to take advantage of outside revenue opportunities and share risks across city and regional stakeholders. Revenue bonds will be a valuable way to fund additional improvements like a parking structure on the north bank of Riverfront Park.

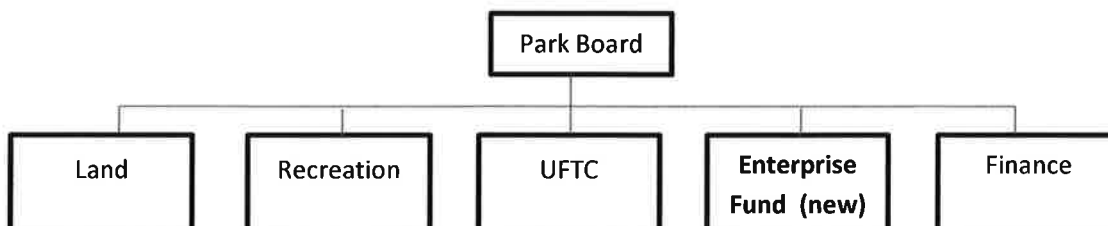
It is expected that the new Parks Enterprise Fund as defined would at least meet 100% cost recovery by the end of 2020 for all areas except for potentially grounds maintenance in Riverfront Park.

In order to take advantage of the leadership and resources of the entire City of Spokane, a new governance structure is proposed. A new Park Board committee would be created under the authority of the Park Board that would consist of representatives of the City Council (2), Park Board (3), and Mayor's Cabinet/Staff (2). This new Parks and Recreation Enterprise Committee would replace the existing Golf and RFP Committees and would be advisory to the Park Board just like all the existing committees.

It is anticipated that Parks and Recreation Enterprise Fund would be created in the fall of 2017 through a three party agreement between the Park Board, City Council, and Mayor. It is not anticipated that any Charter Changes will be needed although there may need to be some Spokane Municipal Code changes approved by City Council and some bylaw changes by the Park Board.

Parks and Recreation may consider different organization and staffing structures to support the Parks and Recreation Enterprise Fund, but regardless of that structure all staff will report up the current chain of command to the Parks and Recreation Director, the City Administrator and Mayor.

The Park Board Committee Structure would look like:



Date: 8/10/2017

To: Spokane Park Board

From: Eileen Martin, 1124 w. 10th, Spokane 99204

Topic: Development of Bosch Lot for a Climbing Wall

At previous meetings I have mentioned the Letter of Intent approved at the park board 4/13/2017 meeting specifying the proposed climbing gym to be constructed on the Bosch Lot. Board members have acted like they did not know much about this. Mr. Wright's feedback to them seemed vague.

-Bernardo Wills design firm did a preliminary cso site feasibility study detailed in his contract of 4/15. He offered various recreational options for the site including running stairs, restrooms, bicycle storage, picnic areas etc. (see attached sheet.) One idea was a climbing wall.

-Bernardo Wills (BWA) was hired again in 4/17, this time for the "Bosch Lot Climbing Facility." This work includes detailed plans for development of the gym with the developer Dustin Buckthal of Salt Lake City. The two teams planned together, their team presented to our city's administration, our mayor and city council president visited The Front in Salt Lake City. BWA writes that he will work quickly, that they want "Dustin to have a high level of comfort with locating his facility on the Bosch Lot." (see attached sheet.)

-RCO board minutes of May, 10-11 Conversion Briefing: City of Spokane Parks and Recreation, Central City Riverfront 72 (RCO #72-040A). Pg 3. Conversion Area: "Parks intends to convey this conversion area to the City of Spokane's Public Works and Utilities Department. Public Works will lease or sell all or a portion of the property for an indoor climbing facility." The document describes the two areas to be transferred which are Summit/Bridge St. and the land in front of the library, and they meet eligibility requirements. IS THIS A DONE DEAL?

-STOP: there is no public input, this is park land purchased with HUD money

for outdoor recreation, and the mayor cannot hand pick a developer. This has nothing to do with a master plan, but rather is revenue driven.



January 25, 2017

Mr. Rick Romero
The Mayor's Office

Mr. LeRoy Eadie
Parks and Recreation Director
City of Spokane
808 W. Spokane Falls Blvd.
Spokane, WA 99201

Re: Proposal of Professional Design Services for:
Evaluation and Suitability of the Bosch Lot to Include Private Commercial Development

Dear Rick and LeRoy:

We are pleased to be asked to again assist the City of Spokane with the continued evaluation for enhancement opportunities to the Bosch Lot. This is a dynamic location and has the potential to meet the goal of the Integrated Clean Water Plan of achieve multiple benefits on a CSO site. The prospect to realize numerous active, enhanced public recreation and community benefits exist, such as; creation of a public trail-head for the Downtown Centennial Trail and Gorge Loop Trail, improvements to Veterans' Park, an impressive overlook/viewing point to the Spokane River Falls, and improved parking for public access. These improvements will also strengthen the linkage and access to Riverfront Park, creating a new Northwest entry. Along with these noted public enhancements, the opportunity to explore the siting of a climbing gym/facility, as envisioned by the Riverfront Master Plan, adds to this exciting vision for the future of the Bosch Lot.

This proposal is structured to include the combined efforts of the Bernardo|Wills Landscape Architecture group with other professionals representing Dustin Buckthal. Dustin is the owner and developer of *The Front*, a climbing and fitness club with facilities in Salt Lake City, and Ogden, Utah. His design/development group is represented by architects Hannah Vaughn, Thomas Bath and Jen Dalley of *Parallel Lines*, climbing wall specialist Jaime Garza of *Vertical Solutions*, and Allison Roskelley. We have also extended an invitation to Dan Sullivan to participate in design discussions and review study findings.

We are committed to the timely completion of this work, knowing it is critical and that the City is eager to consider the opportunities that this suitability study could present. It is also crucial for Dustin to have a high level of comfort with locating his facility on the Bosch Lot from a financial and operational perspective. As such, we view this endeavor as an accelerated effort, targeting our studies to be completed by February 1, 2017. Dustin and his team have had the opportunity to present to both of you, the Mayor, Gavin Cooley, Theresa Sanders and other City Staff and community members, giving a background on his business and goals for possibly locating in Spokane. The following Scope of Services outlines the specific tasks our team will complete.

153 South Jefferson Street
Spokane, WA 99201
509 838.4511 | phone
509 838.4605 | fax
WWW.BERNARDOWILLS.COM

subject to federal protection as provided for in the Land and Water Conservation Fund Act. Attachment C, Map of All Riverfront Park Properties, shows all of the park properties purchased since 1967 for Riverfront Park. The federal protection areas, commonly described as the "section 6(f) boundary" is shown on the map. The proposed conversion site, acquired with funding from state bonds and the U.S. Department of Housing and Urban Development (HUD), is located outside of the federal 6(f) boundary.

Conversion Area

Spokane Parks plans to convert the property known as the Bosch Lot, which contains five parcels totaling 1.13 acres (Attachment D, Conversion Area and the Proposed Replacement Properties). Spokane Parks intends to convey this conversion area to the City of Spokane's Public Works and Utilities Department (Public Works). Public Works will lease or sell all or a portion of the property for an indoor climbing facility, which would be located on the south edge of the property. Development plans for the remainder of the Bosch Lot include surface parking, a multi-story public parking garage, and retail development. The parking will serve the retail area, Riverfront Park, Veterans Park (located adjacent to the Bosch Lot), and function as another trailhead for the Centennial Trail and the South Gorge Trail. Attachment E, Conceptual Plan for the Bosch Lot, displays a schematic of the future development of the conversion area.

Spokane Parks submitted a formal allowable use request to the RCO Director in 2015 for consideration of installing a Combined Sewer Overflow (CSO) Tank underneath the Bosch Lot (conversion area). The Director conditionally approved this request pending board consideration of waiving the policy limiting temporary closure of the funded site in excess of 180 days. At the February 2016 meeting, the board approved this request for a 12-month period while the CSO tank was installed on the site.

Replacement Properties

The proposed replacement parcels are both located in downtown Spokane, in close proximity to the Bosch Lot and other park properties. Public Works owns and manages both of the proposed replacement properties. In general, property that already is under public ownership or management is not eligible for RCO grant funding³. There is one exception to this policy that allows existing public property to be eligible for RCO grant funding (or in this instance as replacement properties), if the following conditions are satisfied:

1. State law requires that the agency selling the land must receive compensation; and
2. The land was not originally acquired by the selling agency for habitat conservation (for habitat conservation proposals), salmon habitat recovery (for salmon habitat recovery proposals), or recreation use (for outdoor recreation proposals); and
3. The land has never been publicly managed for habitat conservation (for habitat conservation proposals), salmon habitat recovery (for salmon habitat recovery proposals), or recreation (for outdoor recreation proposals).

RCO staff conducted an initial review of the proposed replacement properties; it appears the properties will meet the eligibility requirements. However, further consultation with the Attorney General's office is underway and RCO staff will provide an update at the upcoming May meeting.

³ Manual 3, Acquisition Projects, Section 2

PARK BOARD STATEMENT

PROBLEM

This is a story that has taken a dramatic turn in the last month.

- ③ On the July 4th weekend there were several incidents that finally got the attention of SPD. Now they are very present in our neighborhood and park. This is proof that patrols make a difference.

The concerned citizens in BA have a problem.

- ① TRANSIENTS. Not homeless families but adult men that choose to live outside and have taken up residence all around our neighborhood. We come to you today to talk about the Cd'A Park aspect of it.

The Friends of Cd'A Park presented a master plan to the Parks Board over a year ago that was accepted.

- ④ Since then a promise was made to do phase I which is putting in new entrances at the cardinal directions. When that is implemented there will probably be some shrub removal.

With the up-tic in the city wide transient population and the lack of supervision in our park for most of each day Cd'A park has become one of the homes to this population.

- ② Occupying the bathrooms, picnic area, basketball court, tennis court, gazebo and even the playground and splash pad.

We want the park to be usable by everyone through the course of each summer day.

SOLUTION:

There is ~~wide spread~~ support for change in the park. Parks / Wreck have proposed wide spread shrub removal. We are well acquainted with CPTED and understand the thinking behind it but we believe that plan is best used in a new design or "make-over". To go into an established park and clear out the under growth is not a solution.

into replacing it w/ anything

Budget is always Parks / Wreck first concern. We understand this but I think the Parks Citizens Advisory Board owes it to the citizens to consider the aesthetics of the parks as well as the safety. In our case we can have both.

*Trim the shrubs so the low to the ground over growth is eliminated.

* Extend the hours of staffing. Now our park attendant leaves at 2:30 just about the time of day it gets hot and families living in tiny apartments are likely to migrate to the park for the afternoons.

* Assign Park Rangers from RiverFront park to make a pass through every afternoon for a week or 10 days then randomly for the rest of the summer.

* If we don't do this people wanting to visit the park will see that it is trashed and just go away. Then the transient population will have won the park and the whole neighborhood looses.

Remember summer will be over in just a few weeks.

We were promised bicycle cops early this year. No sign of them because, as we know the SPD is down 40 officers. Until they are staffed up ~~they should let~~ the Rangers *should be used to* make parks safe and enjoyable for everyone just like they do in the RiverFront.

We are aware that there is a turf war around using Park Rangers in neighborhood parks because of the SPD union. These men need to get over that for the well being of Cd'A Park and the citizens.

Cd'A Park is practically next door to RiverFront. Let those Rangers help us. We need them.

August 7, 2017

Spokane Parks and Recreation
Spokane Parks Board
City of Spokane
800 W. Spokane Falls Blvd. #5
Spokane WA 99201

RE: Coeur d'Alene Park

Dear Park Board Members,

We are writing to express our deep concerns over a pending proposal to remove plants, bushes, and shrubbery from the park in order to help resolve the transient problems in the park. We understand that this proposal is being put forward in order to aid law enforcement's efforts to patrol the park by increasing visibility. Although we applaud the efforts to improve the safety and enjoyment of the park, we question whether this course of action is the best way to achieve that goal.

Upon hearing of this proposal we took a walk through the park and noticed that just about every bush, shrub and lilac bush on the west, north, and east perimeter of the park was circled with white paint. It was clear that these plants, many quite old have already been marked for removal. Upon seeing this, it was a bit shocking to see the volume of plant life that had been marked for removal.

We believe that removing so many plants from the park will be both ineffective and somewhat counterintuitive: ineffective in that transients will always seek places to sleep-even out in the open as they often do, and many of those marked areas have ample visibility from the ground up; counterintuitive in that it would constitute removing the very features that make it a park. In other words, protecting a park by eliminating the items that define it as a park makes no sense.

We ask that you to abandon the idea of removing plant life from the park in favor of other measures to help resolve the issue of transients camping in the park. We ask that you work with the Police by seeking additional patrols or use Rangers to help monitor activities in the park. If you feel you must remove some vegetation then we implore that you truly evaluate the level of removal and make it as minimal as possible. In addition we believe it would have been

prudent to have consulted the neighborhood in a formal way before formulating this plan. The Park Board, the Police, and we neighbors all have the same goal: to make Coeur d'Alene Park as pleasant and safe as it can be for all who use it. However in our efforts to work together towards that goal we would hate to see measures taken that diminish the park in the process. We wish we could have been at your meeting to express our concerns in person, but our work schedules did not permit that. Nonetheless we appreciate your consideration of our thoughts on this tremendous, old, beautiful park. Thank you.

Sincerely,

Lee Williams

Dave Williams

2213 W. 4th Ave

Spokane WA 99201

cc: Rick Biggerstaff, President, Browne's Addition Neighborhood Council

Safety Improvements at Coeur d'Alene Park, Browne's Addition

On Friday, August 4, four people representing the Browne's Addition Garden Group (BAGG) and one from the Friends of Coeur d'Alene Park walked around the park to look at the low lying vegetation that have been marked to be removed. Input was given by Christine White, Andy Boyd, Karen Ssebanakitta, and MaryLou Sproul. Mary Fulton and Christine White met on Thursday and wandered the park so Mary's input is presumed to be included with this group.

General and specific comments about safety improvements in CdA Park, Browne's Addition:

1. Historic urns around the gazebo: The purpose of the bushes around the urns is to keep the kids out and to prevent vandalism. They need to be trimmed up but not taken out. *(The urns are the only original feature of the park and need to be preserved.)*
2. Bushes on either side of the path on Spruce: These bushes are already trimmed up so that the park can be seen through them. They are pretty in the Spring when in full view so taking them out would take away from the park ambiance. If absolutely necessary, take out the 2nd row, rather than the entire set of bushes.
3. Groups of lilacs and single bushes in the NW and NE quadrants: It seems that all of the lilac bushes in the park are marked for removal. Spokane is the lilac city and that identity should be honored in CdA Park. The flowering lilac bushes are stunning when in full bloom so removing them would not only dim the aesthetics of the park, but would lessen the texture to the park that these plantings provide. Please don't sacrifice the aesthetics for safety when other measures can be taken. All of the lilac trees/bushes could be trimmed up and the wood in the bushes thinned out. This would provide space among the lilacs and make campers visible, while providing shade on hot days. Several people in the BAGG have volunteered to do this. It seems that the single plantings/bushes are often too small to hide anyone so taking them out seems completely pointless. Take out only the ones that are scrubby or seem to be dying.
4. Bushes around the tennis courts: It's true that this area seems to harbor most campers so culling them should be a priority. (We even found a needle next to the fence.) We suggest taking out only as many as possible for safety reasons and trimming the rest.
5. SE Quadrant:
 - a. Large group of bushes near the paths: Thin these out but don't eliminate them.
 - b. Foliage near the basketball court: Take out. They are very dense.
 - c. Clear out the foliage around the bathrooms.
 - d. Keep the small snowberry bush next to the path. It is good for pollinators.
 - e. Other clumps of bushes in this area could be trimmed up. At the very least, some should be left to keep the plant variety and aesthetics in the park.

Other suggestions for park safety were brought up:

1. Put timed locks on the bathrooms so they automatically open in the morning and close at night.
2. Change the hours that the park is open.
3. Put in more signage so that people know the expectation.

In general, the shrubbery, bushes and trees are what make the park a pleasant place to go. The comprehensive plan calls for bio-diversity and taking out the plantings works against this plan. If the Parks Department takes out bushes and trees, a bare spot is left to scar the park. While it's true that some removal is necessary to prevent the park transients/campers from hiding and vandalizing the park, this is an opportunity to plant appropriate foliage that would add to the bio-diversity, the ambience and keep the park's historic integrity while creating a safe place for visitors during all hours that the park is open.

Questions:

What plantings will be removed and when?

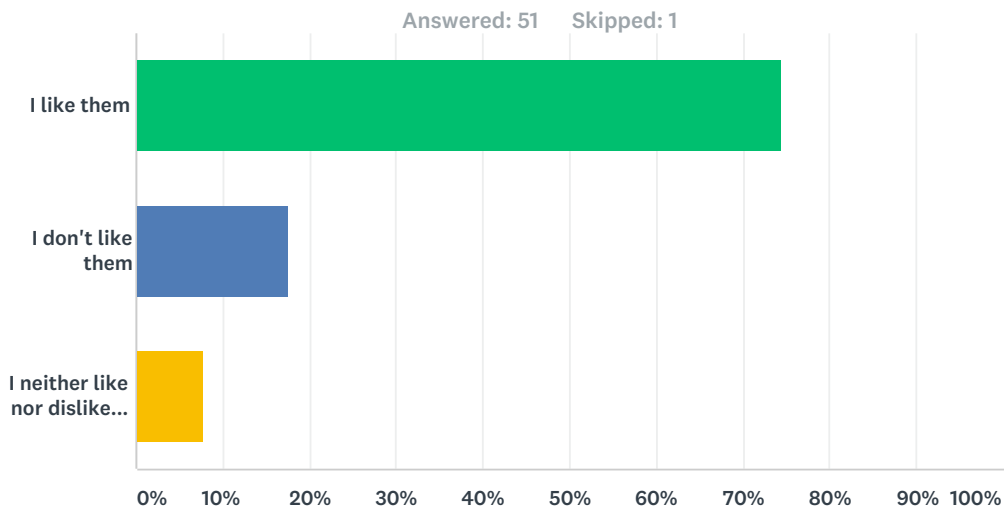
What plantings will be trimmed up and when?

Can the BAGG help with the trimming up?

What plants will cover the bare spots that will scar the places where foliage is removed?

When will these plants be planted? (The BAGG would like to have input into plantings in the park.)

Q1 What do you think of the preliminary concepts for the U.S. Pavilion?



Answer Choices	Responses	
I like them	74.51%	38
I don't like them	17.65%	9
I neither like nor dislike them	7.84%	4
TOTAL		51

Q2 How do you think these preliminary concepts could be improved?

Answered: 39 Skipped: 13

COMPLETE

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Started: Friday, July 28, 2017 5:11:13 PM
Last Modified: Friday, July 28, 2017 5:12:09 PM
Time Spent: 00:00:55
IP Address: 73.254.18.164

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S.
Pavilion?

Q2

How do you think these preliminary concepts could be improved?

LOVE the lighted pavilion idea! Much better than covering it!

COMPLETE

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Last Modified: Friday, July 28, 2017 5:38:18 PM
Time Spent: 00:04:58
IP Address: 73.97.64.25

Page 1

Q1

I like them,

What do you think of the preliminary concepts for the U.S.
Pavilion?

Why?

As the City grows and densifies, people do not seek more covered interior spaces, rather natural spaces. The concepts offer a unique tie to the river and programmable space.

Q2

How do you think these preliminary concepts could be improved?

The concepts are bold! Keep being bold and provide ability for winter uses too... sledding hill? Other ideas?

COMPLETE

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Last Modified: Friday, July 28, 2017 5:38:28 PM
Time Spent: 00:02:24
IP Address: 97.115.159.16

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S. Pavilion?

Q2

Respondent skipped this question

How do you think these preliminary concepts could be improved?

COMPLETE

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Last Modified: Friday, July 28, 2017 5:45:38 PM
Time Spent: 00:01:19
IP Address: 68.62.182.87

Page 1

Q1

I like them,

What do you think of the preliminary concepts for the U.S. Pavilion?

Why?
I love the partial cover idea. Being able to see the river from almost anywhere in the pavilion is great. A full covering it would be an eye-sore as we're so used to the current wire-frame view.

Q2

How do you think these preliminary concepts could be improved?

I would like to eventually see more detail on seating for events and how flexible the space can really be.

COMPLETE

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Time Spent: 00:02:43
IP Address: 73.42.211.89

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I like them,

Why?

The pavilion is not covered and the designs are very contemporary. I would love to attend an event at that pavilion.

Q2

How do you think these preliminary concepts could be improved?

A zipline

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Friday, July 28, 2017 6:07:05 PM
Last Modified: Friday, July 28, 2017 6:09:57 PM
Time Spent: 00:02:52
IP Address: 107.77.205.35

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I like them,

Why? Beautiful, modern, not blocking views

Q2

How do you think these preliminary concepts could be improved?

Make sure that design elements are fully accessible

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Friday, July 28, 2017 8:30:36 PM
Last Modified: Friday, July 28, 2017 8:30:50 PM
Time Spent: 00:00:14
IP Address: 172.58.44.13

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S.
Pavilion?

Q2

Respondent skipped this
question

How do you think these preliminary concepts could be
improved?

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Friday, July 28, 2017 8:35:09 PM
Last Modified: Friday, July 28, 2017 8:50:23 PM
Time Spent: 00:15:13
IP Address: 73.11.98.57

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I neither like nor dislike them,

Why?

I do like the office administration building concept. I feel that you can move the overlook and put it over the Central Plaza and perhaps add a Zip Line from the Overlook to the people of Salmon Island, which can get over the Spokane River. Within the Pavilion, I wish to see less green space. I love the concept of the Worlds Fair of having a amphitheater on the right side and event center on the left. Depending if you put a permanent cover over the Amphitheater, i can see putting a climbing rock wall on one side and green space over the roof with an overlook. Keep the event center as is without a permanent cover, but have the ability to put up temporary roofing in case of ran. This might work for pig out in the park. The event can be used for Food Vendors while the Amphitheater can be used for performances.

Q2

How do you think these preliminary concepts could be improved?

See if there is a way to add more for event space. Have less green space, but put in temporary green space when not in use. Had more seating for events and Amphitheater.

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Friday, July 28, 2017 8:47:08 PM
Last Modified: Friday, July 28, 2017 8:50:47 PM
Time Spent: 00:03:38
IP Address: 98.247.104.153

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I neither like nor dislike them,

Why?

I think that the pavilion won't get enough use if it isn't covered. I do like the lighting ideas and the green space ideas. I actually think the thing you go up to see views is a dumb idea, it just seems unnecessary to me.

Q2

How do you think these preliminary concepts could be improved?

More green space. Make sure the plan for the pavilion allows it to be used year round.

COMPLETE

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Last Modified: Friday, July 28, 2017 9:21:58 PM
Time Spent: 00:00:18
IP Address: 98.247.187.1

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S.
Pavilion?

Q2

Respondent skipped this
question

How do you think these preliminary concepts could be
improved?

COMPLETE

Collector: Web Link 1 (Web Link)
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Last Modified: Friday, July 28, 2017 9:36:07 PM
Time Spent: 00:00:15
IP Address: 98.232.116.221

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S.
Pavilion?

Q2

Respondent skipped this
question

How do you think these preliminary concepts could be
improved?

COMPLETE

Collector: Web Link 1 (Web Link)
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Last Modified: Friday, July 28, 2017 9:55:15 PM
Time Spent: 00:02:53
IP Address: 73.53.84.7

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I don't like them,

Why?

We don't need another grassy knoll to sit on. Give us covered area like we voted on. This is a bait and switch typical of Spokane politics.

Q2

How do you think these preliminary concepts could be improved?

Fully covered pavilion.

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Friday, July 28, 2017 11:28:48 PM
Last Modified: Friday, July 28, 2017 11:30:33 PM
Time Spent: 00:01:45
IP Address: 67.185.31.163

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I like them,

Why?

It is something different and NEW But some kind of cover would be nice so it could be used year round

Q2

How do you think these preliminary concepts could be improved?

Nothing maybe some kind of retractable cover so it could be used year round

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Friday, July 28, 2017 11:45:51 PM
Last Modified: Saturday, July 29, 2017 12:02:08 AM
Time Spent: 00:16:17
IP Address: 174.31.6.19

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I like them,

Why?

The view of the Spokane River will be incredible especially with the elevated overlook. Also, a great space for fun events!

Q2

How do you think these preliminary concepts could be improved?

More inside seating especially for events

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Saturday, July 29, 2017 12:41:29 AM
Last Modified: Saturday, July 29, 2017 12:41:42 AM
Time Spent: 00:00:12
IP Address: 24.17.207.129

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I like them

Q2

How do you think these preliminary concepts could be improved?

Respondent skipped this question

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Saturday, July 29, 2017 2:41:44 AM
Last Modified: Saturday, July 29, 2017 2:43:20 AM
Time Spent: 00:01:35
IP Address: 67.185.210.132

Page 1

Q1

I like them,

What do you think of the preliminary concepts for the U.S. Pavilion? Why? A full cover is not feasible.

Q2

How do you think these preliminary concepts could be improved?

Keep it simple.

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Saturday, July 29, 2017 9:24:37 AM
Last Modified: Saturday, July 29, 2017 9:27:35 AM
Time Spent: 00:02:58
IP Address: 65.103.137.249

Page 1

Q1

I neither like nor dislike them

What do you think of the preliminary concepts for the U.S. Pavilion?

Q2

How do you think these preliminary concepts could be improved?

Could the pavilion be covered with clear plastic, such as skylight material? That would provide shelter from rain and snow without ruining the view (until the plastic weathers and gets covered with bird droppings), and you could still use LED lights. It wouldn't provide shade though.

COMPLETE

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Started: Saturday, July 29, 2017 9:53:07 AM
Last Modified: Saturday, July 29, 2017 9:53:45 AM
Time Spent: 00:00:37
IP Address: 67.185.132.114

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S.
Pavilion?

Q2

How do you think these preliminary concepts could be improved?

The design looks good but maybe a little too modern.

COMPLETE

Collector: Web Link 1 (Web Link)
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Last Modified: Saturday, July 29, 2017 10:14:05 AM
Time Spent: 00:06:14
IP Address: 174.31.9.109

Page 1

Q1

I like them,

What do you think of the preliminary concepts for the U.S.
Pavilion?

Why?

I like the idea of having a view point up inside the pavilion and I like the idea of being able to see and hear the river while inside the pavilion. If there is no cover I would like a thoughtful design on how to use the space during the fall and winter, such as designing it to be a sledding hill when it snows and/or design it to create waterfalls over the different levels when it rains.

Q2

How do you think these preliminary concepts could be improved?

I would like to see an investment in a very high quality lighting system, so that the pavilion can be lit up at night and have the ability for interactive light shows. I am thinking like the Great Wheel in Seattle that has LED's which can do all sorts of cool shows and be seen from long distances away.

COMPLETE

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Last Modified: Saturday, July 29, 2017 10:18:13 AM
Time Spent: 00:14:46
IP Address: 73.169.161.192

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I don't like them,

Why?

I think the issue of visual access to river is irrelevant. The building itself blocks the view from the south in front of the river. I also think the idea of somehow elevating guests for a river view is much less of interest than being able to project lighting and effects on a pavilion cover or partial cover as was shown in drawings used to promote the bond issue. I also question whether using pavilion as an event space is realistic given the existing event space in the Spokane area for the types of events listed. Has a study been done to determine if there is a market for and interest in such event space? Finally, I am strongly in favor of an ice rink for hockey and skating lessons. The ice ribbon is a poor substitute for taking away a highly utilized ice hockey rink and I do not see how skating lessons can be conducted on the ice ribbon nor how beginning or unsteady skaters will access and utilize it. Beginning and unsteady skaters want something to hold onto until confident on their feet. There were so many falls and spills on the ice at the Ice Pavilion that I can see the ice ribbon having a negative and unsafe impact on other skaters using the ribbon. The ice ribbon also makes no sense in its location at Gondola Meadows because that area has been used as the main event staging area for major public events in Spokane. People want to start their Komen Race etc where the runner sculptures are. This is also the main flat area in the park and highly visible to the public making events part of the community instead of invisible in the interior of the park.

Q2

How do you think these preliminary concepts could be improved?

See previous comments to first question

COMPLETE

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Last Modified: Saturday, July 29, 2017 10:33:10 AM
Time Spent: 00:06:09
IP Address: 97.115.161.206

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I don't like them,

Why?

I am concerned the pavilion wouldn't be up for major acts (due to only one greenroom, audience walking across the stage to get to their seats), and I want to see something useable year round. I don't care about the covering issue except as a way to accomplish the year round functionality. I think keeping river views would be wonderful. I think having something with interesting beautiful lighting is a must. I also worry that this is a historic opportunity for an incredible space in this city and the movement of funds away from this project is concerning. I would much rather we go over budget now and have something we can use year round forever than skimp now and regret missing the opportunity to do something truly special for the next 50 years.

Q2

How do you think these preliminary concepts could be improved?

Work with major producers to ensure the space is truly event ready from a technical design/specifications standpoint. Make something usable year round whilst ensuring river views.

COMPLETE

Collector: Web Link 1 (Web Link)
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Last Modified: Saturday, July 29, 2017 11:01:42 AM
Time Spent: 00:00:30
IP Address: 24.16.144.151

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S. Pavilion?

Q2

Respondent skipped this question

How do you think these preliminary concepts could be improved?

COMPLETE

Collector: Web Link 1 (Web Link)
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Last Modified: Saturday, July 29, 2017 11:23:25 AM
Time Spent: 00:00:24
IP Address: 198.1.40.246

Page 1

Q1

I don't like them,

What do you think of the preliminary concepts for the U.S. Pavilion?

Why? They don't cover the pavilion

Q2

How do you think these preliminary concepts could be improved?

Cover the pavilion

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Saturday, July 29, 2017 11:26:42 AM
Last Modified: Saturday, July 29, 2017 11:26:54 AM
Time Spent: 00:00:11
IP Address: 147.222.228.160

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S. Pavilion?

Q2

Respondent skipped this question

How do you think these preliminary concepts could be improved?

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Saturday, July 29, 2017 11:42:27 AM
Last Modified: Saturday, July 29, 2017 11:45:02 AM
Time Spent: 00:02:35
IP Address: 73.169.160.126

Page 1

Q1

I neither like nor dislike them,

What do you think of the preliminary concepts for the U.S. Pavilion?

Why?
the important thing is abiding by the voters wishes - and the team has not passed that so far.

Q2

How do you think these preliminary concepts could be improved?

Options given to the voters - full explanations of costs and rationale for each design. I have failed to see this so far - mostly talk of costs but not definites. The committee should have to follow what the people voted for and not keep changing it without a vote.

COMPLETE

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Last Modified: Saturday, July 29, 2017 1:07:42 PM
Time Spent: 00:03:06
IP Address: 73.169.176.184

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I like them,

Why?

I like the openness and lighted aspect of the preliminary concept. Especially the landscaping and connection to the Spokane River. Nice job.

Q2

How do you think these preliminary concepts could be improved?

I think it's a pretty solid concept.

COMPLETE

Collector: Web Link 1 (Web Link)
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Last Modified: Saturday, July 29, 2017 2:41:16 PM
Time Spent: 00:00:26
IP Address: 73.35.149.233

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S. Pavilion?

Q2

How do you think these preliminary concepts could be improved?

Lights and uncovered

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Saturday, July 29, 2017 3:00:47 PM
Last Modified: Saturday, July 29, 2017 3:01:19 PM
Time Spent: 00:00:31
IP Address: 174.31.60.244

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S. Pavilion?

Q2

Respondent skipped this question

How do you think these preliminary concepts could be improved?

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Saturday, July 29, 2017 5:38:03 PM
Last Modified: Saturday, July 29, 2017 5:39:02 PM
Time Spent: 00:00:59
IP Address: 107.77.205.182

Page 1

Q1

I like them,
Why? Open pavilion

What do you think of the preliminary concepts for the U.S. Pavilion?

Q2

Respondent skipped this question

How do you think these preliminary concepts could be improved?

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Saturday, July 29, 2017 5:54:00 PM
Last Modified: Saturday, July 29, 2017 5:59:30 PM
Time Spent: 00:05:29
IP Address: 76.121.213.158

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I don't like them,

Why?

Spokane experiences four seasons of weather that all require some level of protection from the weather. These designs are not appropriate for a four season climate. Inadequate shade in summer, no protection from snow or rain, etc. Thus leaves the pavilion unusable much of the year.

Q2

How do you think these preliminary concepts could be improved?

I think expanding the river view and adding the light l g concepts are terrific but there has to be more coverage if the pavilion is going to be used and not just a cool piece of architecture.

COMPLETE

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Last Modified: Saturday, July 29, 2017 6:19:36 PM
Time Spent: 00:06:37
IP Address: 98.247.184.229

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I like them,

Why?

I am glad you are not completely covering the pavillion. It didn't look good the first time (although it served a purpose). The uniqueness of the structure is most appreciated with an open view. Love the reflectors on the pavillion. The crescent-shaped west building canopy shading concept ties in best. The observation deck is round, not angular. Then look at the crescent shape of the pavillion itself (on 2 sides toward the bottom). The walkways are predominantly curved, not angular. (Yes, I see the angular canopies on the sidewalks that add a MINOR complementary element of the overall design). To me, repeating design elements (the crescent shape) coalesces the overall look. Thanks for giving me a chance to weigh in. Jacy Ryan

Q2

How do you think these preliminary concepts could be improved?

Mentioned above.

COMPLETE

Collector: Web Link 1 (Web Link)
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Last Modified: Saturday, July 29, 2017 7:10:22 PM
Time Spent: 00:00:19
IP Address: 24.17.142.183

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S.
Pavilion?

Q2

Respondent skipped this
question

How do you think these preliminary concepts could be
improved?

COMPLETE

Collector: Web Link 1 (Web Link)
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Last Modified: Saturday, July 29, 2017 8:29:11 PM
Time Spent: 00:05:21
IP Address: 174.61.218.35

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I don't like them,

Why?

Because you have ruined Riverfront Park. You have destroyed something instead of just polishing it. The pavilion is iconic and beautiful. It should not be covered. That would not last, would be a waste of money, and ruin the beauty. I like the idea of lights which could be lit up for good things (NOT political things like LGBTQ crap) like 4th of July, Christmas. I'm against anything which makes part of the park, which is our park, into a pay to reserve event space which isn't open to the public. It should remain a place we can go through. Stop destroying things. The carousel building is hideous and NOT elegant like it was. You've destroyed 40 years of childhood memories. Enough. Stop wasting money. You are not in charge.

Q2

How do you think these preliminary concepts could be improved?

By throwing them away. You've destroyed the beautiful green space by the running statues and the carousel and everything.

COMPLETE

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Last Modified: Saturday, July 29, 2017 11:38:09 PM
Time Spent: 00:00:37
IP Address: 97.123.100.89

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S. Pavilion?

Q2

How do you think these preliminary concepts could be improved?

Not sure

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Sunday, July 30, 2017 5:55:14 AM
Last Modified: Sunday, July 30, 2017 5:58:09 AM
Time Spent: 00:02:55
IP Address: 73.239.195.44

Page 1

Q1 I like them,
What do you think of the preliminary concepts for the U.S. Pavilion? Why?
Omg Spokane FINALLY came up with a really big, very cool idea that makes the pavilion a world class facility!!!!

Q2
How do you think these preliminary concepts could be improved?
Does the viewing platform raise and lower? Could it be made so that it has a glass floor? Could it be made large enough to host small events or to have a cocktail bar like Smith Tower? Keep the new light configuration. It looks so amazing!

COMPLETE

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Last Modified: Sunday, July 30, 2017 9:47:33 AM
Time Spent: 00:00:18
IP Address: 168.103.30.109

Page 1

Q1 I like them
What do you think of the preliminary concepts for the U.S. Pavilion?

Q2 Respondent skipped this question
How do you think these preliminary concepts could be improved?

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Sunday, July 30, 2017 10:05:02 AM
Last Modified: Sunday, July 30, 2017 10:05:37 AM
Time Spent: 00:00:35
IP Address: 69.28.41.14

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S.
Pavilion?

Q2

How do you think these preliminary concepts could be improved?

They look good "as is"

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Sunday, July 30, 2017 10:05:01 AM
Last Modified: Sunday, July 30, 2017 10:07:25 AM
Time Spent: 00:02:23
IP Address: 50.45.215.225

Page 1

Q1

I like them,

What do you think of the preliminary concepts for the U.S.
Pavilion?

Why?
Having the pavilion refurbished will give that whole area
a lift!

Q2

How do you think these preliminary concepts could be improved?

Not sure

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Sunday, July 30, 2017 11:48:37 AM
Last Modified: Sunday, July 30, 2017 11:51:24 AM
Time Spent: 00:02:47
IP Address: 174.255.143.54

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I don't like them,

Why?

full cover of the pavilion anchors it to the park. creating a sustainable impact enhances the natural environment.

Q2

How do you think these preliminary concepts could be improved?

do the study

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Sunday, July 30, 2017 10:54:46 PM
Last Modified: Sunday, July 30, 2017 10:56:09 PM
Time Spent: 00:01:22
IP Address: 67.183.180.156

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I like them,

Why?

They highlight the beautiful architecture of the Pavilion. I LOVE standing under it and watching the sky above.

Q2

How do you think these preliminary concepts could be improved?

Please don't cover it!

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Monday, July 31, 2017 10:11:12 AM
Last Modified: Monday, July 31, 2017 10:14:04 AM
Time Spent: 00:02:52
IP Address: 69.28.47.84

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I like them,

Why?

A point where you can view the city & river from inside the pavilion sound awesome!

Q2

How do you think these preliminary concepts could be improved?

To go forth with a forensic study. It may be expensive, but shouldn't we consider all aspects so later on we can all be certain that the structure is sound for everything planned for it. How awful would it be if one major detail was overlooked by the design team? I just worry.

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Monday, July 31, 2017 1:54:12 PM
Last Modified: Monday, July 31, 2017 1:55:55 PM
Time Spent: 00:01:42
IP Address: 173.10.108.241

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

Respondent skipped this question

Q2

How do you think these preliminary concepts could be improved?

I would like to see some renderings with the retractable shade cover in place. I feel that is an essential element for summertime use of the structure given the lesser airflow the structure (as currently sits) permits.

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Monday, July 31, 2017 2:04:42 PM
Last Modified: Monday, July 31, 2017 2:07:35 PM
Time Spent: 00:02:53
IP Address: 198.1.40.116

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S.
Pavilion?

Q2

How do you think these preliminary concepts could be improved?

Maintaining its sense of place and relation to the rest of the park

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Monday, July 31, 2017 3:54:59 PM
Last Modified: Monday, July 31, 2017 3:59:01 PM
Time Spent: 00:04:01
IP Address: 63.227.99.19

Page 1

Q1

I don't like them,

What do you think of the preliminary concepts for the U.S.
Pavilion?

Why?

I have I have lived in Spokane since 1950. Have seen many changes, most for the better. However I really liked the look of the pavilion after thr cover came off. Just looks grander and more artful to me and my husband.

Q2

How do you think these preliminary concepts could be improved?

I like the idea of the led lights

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Tuesday, August 01, 2017 7:23:22 AM
Last Modified: Tuesday, August 01, 2017 7:23:39 AM
Time Spent: 00:00:16
IP Address: 73.157.72.73

Page 1

Q1

I like them

What do you think of the preliminary concepts for the U.S. Pavilion?

Q2

Respondent skipped this question

How do you think these preliminary concepts could be improved?

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Tuesday, August 01, 2017 3:52:06 PM
Last Modified: Tuesday, August 01, 2017 3:53:10 PM
Time Spent: 00:01:03
IP Address: 198.1.40.246

Page 1

Q1

I like them,

What do you think of the preliminary concepts for the U.S. Pavilion?

Why? Lighting the skyline would be great.

Q2

How do you think these preliminary concepts could be improved?

Color changing lights to highlight events, St Paddys, Hoopfest, local sports support etc.

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Wednesday, August 02, 2017 11:30:38 PM
Last Modified: Thursday, August 03, 2017 5:38:27 AM
Time Spent: 06:07:49
IP Address: 67.170.28.188

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I don't like them,

Why?

It looks from the drawings I've seen the lights in the net are 4 foot fluorescent tubes. Please dont. It would be really nice to have a network of multicolored LEDs in the net that could be programmed to "dance". A display of art similar to what some cities have done with their bridges. Ie. San Francisco Oakland Bay Bridge.

Q2

How do you think these preliminary concepts could be improved?

Programmable LEDs on the wire cage

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Thursday, August 03, 2017 2:34:57 PM
Last Modified: Thursday, August 03, 2017 2:58:24 PM
Time Spent: 00:23:27
IP Address: 207.118.66.168

Page 1

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I like them,

Why?

Before I talk about my opinion, I want to acknowledge some facts. I know the public seems to be in a bit of an uproar about the pavilion being covered. I want to go on record as saying that I am not surprised by this information at all. I am a bit of an outlier, as I have been following the park development process quite closely via their website and Facebook page. I was not surprised about this "revelation" because there have been several indications that a full cover was a poor choice and that this process had undergone much analysis and forethought. I don't really think that this decision blindsided anyone. People are working hard and taking a lot of care to do this right and I appreciate all their hard work. As for the pavilion designs: I like them overall. I most appreciate the desire to work towards a better interface with the river. Every Spring, I always head to Riverfront Park for a day and I walk down the river, trying to see it and down town from as many points of view as possible mainly for the sake of photography and personal enjoyment. I've always found the pavilion to be something of a road block. I could tell that some of the best views of the city and the river could be accessed from that spot, but a lot of the existing infrastructure prevented those views from being accessed. This and the increase in natural elements within the space (the grass terracing as seating for the performance venue) are some of my favorite aspects.

Q2

How do you think these preliminary concepts could be improved?

I do think that too much is trying to be done within the space. I am also a member of the performance industry and I see some things that might hinder the spaces use as a performance venue but are also crucial for some of the other goals laid out for the pavilion renovation and park redesign as a whole. Predominantly the grass and landscaping: I like that thought is being given to the aesthetic of the space between performance bookings, but I think too much space is being given to rocks and pathways. The more people you can get in there the better, otherwise why bother. I am also a little worried about the elevated viewing platform. The more you have in that space, the more you sacrifice sightlines.

COMPLETE

Collector:	Web Link 1 (Web Link)
Started:	Friday, August 04, 2017 9:44:47 AM
Last Modified:	Friday, August 04, 2017 9:46:37 AM
Time Spent:	00:01:50
IP Address:	148.163.176.211

Q1

What do you think of the preliminary concepts for the U.S. Pavilion?

I like them,

Why?

I think it addresses good use of the space and still provides a beacon to attract visitors.

Q2

How do you think these preliminary concepts could be improved?

I can't think of anything to improve upon it.

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Friday, August 04, 2017 11:17:01 AM
Last Modified: Friday, August 04, 2017 11:17:38 AM
Time Spent: 00:00:36
IP Address: 67.168.55.218

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Q1

I like them

What do you think of the preliminary concepts for the U.S. Pavilion?

Q2

How do you think these preliminary concepts could be improved?

Make better year round use of this structure

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Saturday, August 05, 2017 8:37:17 AM
Last Modified: Saturday, August 05, 2017 8:37:35 AM
Time Spent: 00:00:18
IP Address: 73.254.146.38

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Q1

I like them

What do you think of the preliminary concepts for the U.S. Pavilion?

Q2

Respondent skipped this question

How do you think these preliminary concepts could be improved?

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Saturday, August 05, 2017 2:14:11 PM
Last Modified: Saturday, August 05, 2017 2:22:06 PM
Time Spent: 00:07:55
IP Address: 73.157.121.138

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Q1

I like them,

What do you think of the preliminary concepts for the U.S. Pavilion?

Why?

I like the idea of being able to use that area for things like center court of Hoopfest. It needs to be open but also offer shade. I like the idea of getting people elevated to have views as well. Make it a center piece that can work for and multifunctional in all types of weather.

Q2

How do you think these preliminary concepts could be improved?

Maximize it as a venue for large groups of people. Think in the thousands not hundreds. If we could seat 10-15,000 for a concert, for center court at hoopfest, etc. that would be ideal, but it needs to be a bit of a "bowl" to actually do that.

On a side note - please forward - as am avid ice skater I'm a bit concerned about the new ice rink being exposed to the weather and how that will inhibit the ribbons functionality. Hoping this was strongly considered. Many will forever miss the Ice Rink! :-) Thanks!