



Spokane Park Board Golf Committee

8:00 a.m. Tue., Mar. 12, 2024

In-person: Conference Room "C"

The Hive, 2904 E. Sprague Ave. Spokane WA 99202

WebEx virtual meeting:

Call-in: 408-418-9388; Access code: 2485 715 4732

Mark Poirier – Golf Manager

Committee Members:

Nick Sumner – Chair

Gerry Sperling

Barb Richey

Doug Kelley

The Golf Committee meeting will be held in-person in the **Spokane Public Library, The Hive - Conference Room "C", 2904 E. Sprague Ave. Spokane WA 99202** and virtually via WebEx at 8:00 a.m. Tuesday, Mar. 12, 2024. Committee members, staff, and presenters still have the option to participate virtually via WebEx during all meetings.

The public may listen to the meeting by calling 408-418-9388 and entering access code **2485 715 4732**, when prompted.

Written public comment may be submitted via email or mail. Comments must be received no later than 1 p.m. Mar. 11 by email to: spokaneparks@spokanecity.org or mail to: Spokane Park Board, 5th floor City Hall, 808 West Spokane Falls Blvd., Spokane, Washington 99201. Submitted public comments will be presented to committee members prior to the meeting.

Agenda

Call to order – Nick Sumner

Public comment – Nick Sumner

Action items:

1. [MJ Takisaki / Qualchan Golf Course clubhouse restroom flood repair contract \\$62,100.00 \(plus applicable sales tax\)](#) – Nick Hamad/Mark Poirier
2. [John Deere equipment purchase 2750 E-Cut Hybrid Triplex Mower \\$71,028.73 \(plus applicable sales tax\)](#) – Mark Poirier

Discussion items:

1. Qualchan golf course restroom repair update – Mark Poirier

Standing reports:

1. Golf marketing report – Fianna Dickson
2. [Golf financial report](#) – Mark Poirier
3. Superintendents' report – Mark Poirier
4. What's happening at the Courses – Mark Poirier

Agenda Subject to Change

AMERICANS WITH DISABILITIES ACT (ADA) INFORMATION: The City of Spokane is committed to providing equal access to its facilities, programs and services for persons with disabilities. Individuals requesting reasonable accommodations or further information may call, write, or email Risk Management at 509.625.6221, 808 W. Spokane Falls Blvd, Spokane, WA, 99201; or mlovmaster@spokanecity.org. Persons who are deaf or hard of hearing may contact Risk Management through the Washington Relay Service at 7-1-1. Please contact us forty-eight (48) hours before the meeting date.

Spokane Park Board

Briefing Paper



Committee	Golf Committee		Committee meeting date: March 12th, 2024
Requester	Mark Poirier / Nick Hamad		Phone number: 509.363.5452
Type of agenda item	<input type="radio"/> Consent <input type="radio"/> Discussion <input type="radio"/> Information <input checked="" type="radio"/> Action		
Type of contract/agreement	<input checked="" type="radio"/> New <input type="radio"/> Renewal/ext. <input type="radio"/> Lease <input type="radio"/> Amendment/change order <input type="radio"/> Other		
City Clerks file (OPR or policy #)			
Master Plan Goal, Objective, Strategy (Click HERE for link to the adopted plan)	N/A	Master Plan Priority Tier: (pg. 171-175)	N/A
Item title: (Use exact language noted on the agenda)	MJ Takisaki / Qualchan Golf Course clubhouse restroom flood repair contract \$62,100.00 (plus applicable sales tax).		
Begin/end dates	Begins: 03/14/2024	Ends: 11/29/2024	<input type="checkbox"/> 06/01/2525
Background/history:			
Construction contract with the low responsive bidder, MJ Takisaki for the renovation of the existing flood damaged restrooms within the Qualchan Golf Course Clubhouse.			
This contract will supply & install all new insulation, wall & ceiling board and wall tile within damaged restrooms and vestibule. The contract will also clean & seal concrete flooring as well as clean and reinstall salvaged fixtures, furnishings & equipment to ensure a fully functional restrooms prior to April 12, 2024.			
Motion wording:			
Motion to approve MJ Takisaki Qualchan Golf Course clubhouse restroom flood repair construction contract (\$62,100.00 (plus applicable sales tax)			
Approvals/signatures outside Parks: <input checked="" type="radio"/> Yes <input type="radio"/> No			
If so, who/what department, agency or company:			
Name: Brian Urdahl		Email address: brianu@takisaki.com	Phone: 1.509.244.7080
Distribution:			
Parks – Accounting		Mark Poirier	
Parks – Sarah Deatrich		Jason Conley	
Requester: Nick Hamad			
Grant Management Department/Name:			
Fiscal impact: <input checked="" type="radio"/> Expenditure <input type="radio"/> Revenue			
Amount: \$62,100.00 (plus applicable sales tax)		Budget code: 4600-55100-94000-56203-48018	
Vendor: <input type="radio"/> Existing vendor <input type="radio"/> New vendor			
Supporting documents:			
<input checked="" type="checkbox"/> Quotes/solicitation (RFP, RFQ, RFB)		<input type="checkbox"/> W-9 (for new contractors/consultants/vendors)	
<input checked="" type="checkbox"/> Contractor is on the City's A&E Roster - City of Spokane		<input type="checkbox"/> ACH Forms (for new contractors/consultants/vendors)	
<input checked="" type="checkbox"/> UBI: 601-029-413 Business license expiration date: 10/31/24		<input checked="" type="checkbox"/> Insurance Certificate (min. \$1 million in General Liability)	



QUALCHAN GOLF COURSE CLUBHOUSE RESTROOM FLOOD RESTORATION					Wednesday, March 6, 2024				
	Description	Type	UOM	Quantity	MJ Takisaki	Bozco	Swinerton Construction	Interstate Restoration (First Onsite)	-
Base Bid	Flood Repairs	Base	ea	1	\$62,100.00	\$79,500.00	\$86,247.81	\$87,650.00	\$0.00
Tax	Sales Tax 9.0%	Base	ea	1	\$5,589.00	\$7,155.00	\$7,762.30	\$7,888.50	\$0.00
Total Extended					\$67,689.00	\$86,655.00	\$94,010.11	\$95,538.50	\$0.00
NOTES					addendum accepted	addendum accepted	addendum accepted	no addendum accepted	



City of Spokane Invitation To Bid

BID

TO: CITY OF SPOKANE, WASHINGTON

PROJECT NAME: _____

BIDDER'S DECLARATION. The undersigned bidder certifies that it has examined the site, read and understands the specifications for the above project, and agrees to comply with all applicable federal, state and local laws and regulations. The bidder is advised that by signature of this bid proposal it has acknowledged all bid requirements and signed all certificates contained herein.

BID OFFER. The price(s) listed in this bid proposal is tendered as an offer to furnish all labor, materials, equipment and supervision required to complete the proposed project in strict accordance with the contract documents. The bidder proposes to do the project at the following price:

BASE BID: \$ _____

SALES TAX (9 %) \$ _____

TOTAL BASE BID PRICE: \$ _____

TRENCH SAFETY SYSTEM,
if excavation greater
than four feet (4') deep: \$ _____

CONTRACTOR RESPONSIBILITY.

Washington State Contractor's Registration No. _____

U.B.I. Number _____

Washington Employment Security Department Number _____

Washington Excise Tax Registration Number _____

City of Spokane Business Registration Number _____

As of July 1, 2019, Contractor has fulfilled training requirement or is exempt from
L & I's Public Works Training Requirement under RCW 39.04.350 and RCW 39.06.020. (YES) (NO)

ADDENDA. The undersigned acknowledges receipt of addenda number(s) _____ and agrees that their requirements have been included in this bid proposal.

The firm agrees that its Bid will NOT be withdrawn for a minimum of forty five (45) calendar days after the stated submittal date.

For contracts up to \$150,000.00 including tax, the Contractor may request for ten percent (10%) retainage in lieu of bond.
(YES) (NO)

The undersigned Bidder hereby certifies that, within the three-year period immediately preceding the bid solicitation date for this Project, the bidder is not a "willful" violator, as defined in RCW 49.48.082, of any provision of chapters 49.46, 49.48, or 49.52 RCW, as determined by a final and binding citation and notice of assessment issued by the Department of Labor and Industries or through a civil judgment entered by a court of limited or general jurisdiction.

I certify (or declare) under penalty of perjury under the laws of the State of Washington that the foregoing is true and correct.

FIRM NAME: _____

SIGNATURE:  _____

TITLE: _____ PHONE: _____

ADDRESS: _____



City of Spokane Invitation To Bid

SUBCONTRACTOR LIST _____

PROJECT TITLE: _____

PROPOSED SUBCONTRACTORS/SUPPLIERS TO BE USED ON THE PROJECT ARE: (USE ADDITIONAL PAGES IF NECESSARY)

CONTRACTOR/SUPPLIER _____

TYPE OF WORK/BID ITEM _____

AMOUNT \$ _____

CONTRACTOR'S REGISTRATION NO. _____

CONTRACTOR/SUPPLIER _____

TYPE OF WORK/BID ITEM _____

AMOUNT \$ _____

CONTRACTOR'S REGISTRATION NO. _____

CONTRACTOR/SUPPLIER _____

TYPE OF WORK/BID ITEM _____

AMOUNT \$ _____

CONTRACTOR'S REGISTRATION NO. _____

NO SUBCONTRACTORS WILL BE USED ON THIS PROJECT

Date

Signature of Authorized Representative



< Business Lookup

License Information:

[New search](#) [Back to results](#)

Entity name: M. J. TAKISAKI INC.

Business name: M. J. TAKISAKI INC.

Entity type: Profit Corporation

UBI #: 601-029-413

Business ID: 001

Location ID: 0002

Location: Active

Location address: 1620 N MAMER RD
STE C100
SPOKANE VALLEY WA 99216-3712

Mailing address: 1312 S WELLER ST
SEATTLE WA 98144-2051

Excise tax and reseller permit status: [Click here](#)

Secretary of State status: [Click here](#)

Endorsements

Endorsements held at this location	License #	Count	Details	Status	Expiration date	First issuance date
Spokane General Business - Non-Resident				Active	Oct-31-2024	Jun-30-2020
Spokane Valley General Business				Active	Oct-31-2024	Feb-12-2016

Governing People May include governing people not registered with Secretary of State

Governing people	Title
KOYAMA, LISA	
MATSUSHIMA, COLIN K	

[View Additional Locations](#)

The Business Lookup information is updated nightly. Search date and time: 3/6/2024 2:33:18 PM

CODE TABULATIONS

MASTER KEYNOTE LEGEND & NOTES

A. PROJECT

1. NAME: CLUBHOUSE, MAINTENANCE BUILDING & SITE DEVELOPMENT FOR THE CREEK AT QUALCHAN GOLF COURSE
2. ADDRESS: E.707 MEADOW LAKE RD.
3. LEGAL DESCRIPTION: ALL OF GOV'T LOTS 3, 4, 5, 6, 11, 12 AND 14, AND THAT PART OF GOV'T LOT 13 LYING NORTHERLY OF THE CENTERLINE OF HANGMAN CREEK...

B. ENTITIES

1. OWNER: CITY OF SPOKANE PARKS DEPARTMENT
2. ARCHITECT: ZECK BUTLER ARCHITECTS, P.S.
3. ENGINEERS: CIVIL DAVID EVANS AND ASSOCIATES, INC.
STRUCTURAL STRUCTURAL DESIGN NORTHEAST
MECHANICAL MW CONSULTING ENGINEERS
ELECTRICAL MW CONSULTING ENGINEERS
LANDSCAPE LANDMARK

C. GENERAL PROJECT DESCRIPTION

1. NEW (X) REMODEL () ADDITION () ALTERATION ()
2. EXISTING LOT/BUILDING USE:
3. PROPOSED USE: GOLF COURSE CLUBHOUSE, MAINTENANCE BLDG.
4. OCCUPANCY GROUP: CLUBHOUSE B-2 MAINTENANCE BLDG. B-1
5. CONSTRUCTION TYPE: CLUBHOUSE Y-N MAINTENANCE BLDG. Y-1 HR.
6. BUILDING HEIGHT: 22 FEET 2 FLOORS (MAIN FLOOR, BASEMENT)
7. BUILDING FIRE SPRINKLER SYSTEM: YES () NO (X)
8. AREA: 5,840 SQ. FT.

D. ZONING

1. USE ZONE OF LOT: GR
2. PARKING: SPACES PROVIDED: 146 REG, 3 H.C., 149 TOTAL

Drawing Keynoting System:

A keynoting system is used on the drawings for materials references and notes. Refer to the keynote legend on the drawing for the information which relates to each keynote symbol on the respective drawing.
Each keynote symbol consists of a 5-digit number followed by a period and a letter suffix. The 5-digit number relates to the specification section which generally covers the item that is referenced, and the letter suffix combined the 5-digit number and period creates a keynote symbol which identifies the specific reference notation used on the drawing. The letter suffix does not relate to any corresponding reference letter in the specification.

THE ORGANIZATION OF THE KEYNOTING SYSTEM ON THE DRAWINGS, WITH THE KEYNOTE REFERENCE NUMBERS RELATED TO THE SPECIFICATIONS SECTIONS NUMBERING SYSTEM, SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.

MASTER KEYNOTE LEGEND

DIVISION 2
02200 A 2" clean sand over poly vapor barrier on prepared grade.
B 4" gravel.
02511 A Asphalt
02810 A PVC Bell Drain. Size to hold 4-1/2" downspout. Transition to 3" PVC drain pipe.
02831 A 10'-0" x 12'-0" x 6'-0" H chain link fence enclosure w/ (2) 5'-0" w x 6'-0" H swinging gates.
DIVISION 3
03300 A 4" concrete slab on grade w/6, 1/2-9-42.9 WAF
B Concrete footing w/ 2" #4 cont. See Fdn. Plan for size.
C 8" concrete wall w/ #4 Horiz. at 2' o.c., #4 vert. at 8' o.c.
D 1/2" expansion joint material w/ neolant top 1/2" min.
E 2" #4 cont. top
F 6" concrete wall w/ #4 horiz. at 8' o.c., #4 vert. at 8' o.c.
G Conc. wall - See structural for size and reinforcing.
H 1-1/4" w x 3/4" D duplication joint as shown. Provide expansion joint every 3rd joint. See Detail 6-17/A200.
I 1'-0" w x 4" H Sillup in concrete terrace wall. Provide 14 West Pro Shop Terrace (3) South Dining Terrace.
J 8" concrete wall. See structural for reinforcing.
K 2'-0" square concrete end wall. 3/4" chamfer all edges.
L Concrete slab and stair. See structural.
M 6" concrete slab at mech. pad only. Provide control joints as shown Sheet 14.
N 4" concrete exterior slab.
P Non-shrink grout all around.
03355 A Scrubbed finish (exp. aggregate).
B Sand blasted finish below horiz. rustication joint, typ.
03450 A Concrete splash block. (Total of 3).

DIVISION 5

05120 A 4"x4" steel column, see structural.
B 5"x5" steel column, see structural.
05521 A 1-1/4" standard dia. steel pipe roll.
B 2"x2-1/8" TS roll and vertical supports. Extend 8" into concrete in plastic sleeve. Size sleeve to allow for non-shrink grout all around.
C 1/8" dia. stainless steel cable. Insert through holes in TS end post. Secure with washer and hex nuts as per manufacturer's recommendations.
D 1/2" dia. smooth rod bent to form 12" radius. Spot weld to 2-1/2" pipe.
E 5" round flange with holes to accept (3) 1/4" dia. conc. mounting bolts.
F 2"x2-1/8" TS horiz. support.
G 2"x2-1/8" TS anchor to floor framing.
H 2"x2" steel sleeve inserts in conc. slab for scoreboard sign. Verify location with owner.
I Golf club rack. 6'-0" L x 2'-8" H. See Detail 17/A502. Locate 2'-0" from building.

DIVISION 6

06100 A 2x6 at 16" o.c.
B 1/2" plywood sheathing w/8d at 16" o.c.
C 6x6 wood beam. Taper end as shown.
D 2x6 treated sill w/ 5/8" dia. x 8" bolts at 4'-0" o.c. nailing.
E 2x4 joists at 24" o.c. In Simpson U 24" joist hangers.
F 2x4 studs at 24" o.c.

B 2x4 cont. ledger.
C 5/8" plywood sheathing. At exposed rafters provide rough faced cedar face.
D 1/4" treated furring strips @ 24" o.c.
E 2x4 fascia board.
F Double 2x6 gable end w/ 2x2 blocking between.
G Blocking as required.
H 3" x 2x6 header.
I 2x6 wood hanger.
J 8d # 8" o.c. nailing plywood to backing panel.
K 6x6 wood beam. Taper end as shown.
L 1/2" plywood sheathing.
M 3/4" plywood sheathing w/ 1/2" plywood underlayment.
N 2x8 at 24" o.c.
O 2x8 studs at 16" o.c.
P 6x6 wood beam.
Q 6x6 wood hanger.
R 2x2 framing.
S 2x6 truss extensions.
T 2x2 blocking panel per Detail 6/S001.
U 8d # 8" o.c. plywood to bkg. panel.
V 6x6 wood post w/ EPC post cap, typ.
W 6x6 wood post, typ. w/ Simpson 05460 post base.
X 4x6 post, typ. 4 places w/ Simpson 05460 post base.
Y Simpson EPC post cap end, end, typ.
Z 2x2 stringer.
AA 1/4" furring strips horiz. @ 2'-0" o.c. beneath G.W.B. to bring wall board flush to exterior wall on all sides.
AB 1x4 beveled blocking in Simpson H 1/4" hangers at alternate trusses typ.
AC 2x2 treated wood stair tread. Attach to conc. stair w/ 4-1/2"x3"x1/4" angle w/ 1" threaded stud welded. Counter-sink tread, bolt and washer. Angle @ end and 3'-0" o.c.
AD 2x4 studs w/ 2 layers 5/8" G.W.B. each side for 1-hr rated enclosure from ceiling to roof. Brace to roof structure as necessary.

DIVISION 7

06170 A Structural Glu-Lam lintel. See Structural.
B Structural Glu-Lam beam. See Structural.
C Glu-Lam hanger. See Structural.
D Glu-Lam column. See Structural.
06182 A Pre-manuf. truss w/ 2x6 top chord.
B Special Simpson HM hanger.
C Simpson 1/2" 35" anchor @ 4'-0" o.c.
D Simpson H 3" anchor at truss.
E Simpson EPC 6x6 beam for post connection, typ.

DIVISION 8

06200 A 2x2 cedar trim.
B 1/2" cedar trim.
C 1/2" cedar trim between truss chords to hide eave vent.
D 1/2" fir trim (inter.)
E 1/2" cedar trim.
F 5/8" cedar T&B panelling.
G Not used.
H 1" cedar trim.
I 1/4" plywood. Screw attach to studs.
J 1/4" fir cap. Screw attach to 2x2 TS, countersink, fill.
K 1/4" fir trim, top, interlar.

DIVISION 9

06401 A Hardwood threshold.
06402 A Cabinet doors, back, front and side panels, shelves, drawers, all exposed edges: 3/4" particleboard w/ plastic laminate.
B 1/2" panel: 3/4" particleboard w/ plastic laminate.
C Adjustable shelves: 3/4" particleboard w/ plastic laminate.
D Countertop: 3/4" particleboard w/ plastic laminate face including backsplash and all exposed edges.
E Cant. wood valance w/ plastic laminate face. Fasten to end cleats.
F Acrylic prismatic diffuser on white plastic "eggcrate" lay-in grille.
G Plastic laminate covered 1/2" trim. Typical all 4 sides.
H 3/4" cabinet panel system.
I Not used.
J 1/4" Shelf: 3/4" particleboard w/ plastic laminate all surfaces. Use triangular shaped wood cleats for support @ 4'-0" o.c. Paint to match wall.
K Drawers: dimensions as indicated.
L Countertop: 2-layer of particleboard w/ plastic laminate face, including all exposed edges.
M Stained oak trim.
N 2" x Ledger.
O 2" x Blocking.
P Provide 1-1/2" diameter grommets for electrical cords at each end of open inset space.
Q Fixed shelf: 3/4" particleboard w/ plastic laminate finish.
R Adjustable glass shelf: 1/4" tempered glass.
S 1/4" tempered glass front and top.
T Provide 1" cutouts at back of shelves for power cords.
U 3/4" particleboard support frame all around with intermediate brace at 24" o.c. Plastic laminate finish on all exposed surfaces. Fasten frame to blocking on three sides.
V Hardwood frame - all surfaces covered w/ plastic laminate.
W 1/4" plywood adjustable shelves w/ plastic laminate all exposed surfaces.
X 3/4" plywood intermediate vertical supports for adjustable shelves. Provide hardwood edge at front face and plastic laminate on all exposed surface.

DIVISION 10

07180 A Provide bituminous dampproofing on concrete wall and over top of footing.

DIVISION 11

07210 A R-9 batt insulation.
B R-19 blown-in insulation.
C 2" perimeter insulation. Extend 2'-0" below slab.
D R-11 batt insulation.
E 1/2" rigid insulation.
F 2" rigid insulation.
G R-11 foil faced batt insulation.
H Insulation stop.

0737 A Cedar shingles over air infiltration barrier, typical.
0740 A Standing seam metal roof over 30 lb. felt, typical.
07600 A 24 ga. metal flashing w/ 1/2" hem on exposed edges.
B 24 ga. metal side wall transition w/ 1/2" hem on roof.
C Hurricane course set in metal.
D 24 ga. metal closure.
E Snow guard as per manufacturer's specifications.
F 24 ga. metal flashing.
G Screen, as per manufacturer's specifications.
H 1-cup at tie.
I 24 ga. ridge vent cont.

07710 A 24 ga. 4" x 5-1/4" metal gutter.
B 24 ga. 4-1/4" x 2-3/4" metal downspout.
C 6" PVC bell drain as part of roof drainage system.
D 3" PVC drain pipe. See site plan for extent of piping.

07901 A Galk, 1/4" bead min.
B Sealant.

DIVISION 12

08111 A Hollow metal door frame.
B Hollow metal door - See Door Schedule.
08111 A Solid core wood door - See Door Schedule.
B Solid core wood pocket doors - See Door Schedule.

08305 A 8" x 16" cont. aluminum vents.
B 8" x 24" cont. aluminum access panel.

08360 A Steel sectional overhead door.
B Overhead door track and seal as per manufacturer's recommendation.

08610 A Wood window w/ 3/4" insul. glazing.
B Drip.
08710 A Metal threshold as scheduled.
B 3/4" x 3/4" steel track and rod in door.
C Door pull.

DIVISION 13

08800 A Not used.
B 3/4" insulated glazing.
DIVISION 14
09250 A 5/8" G.W.B.
B R-8 G.W.B. behind ceramic tile w/ wet walls and # ceilings.
C 1-1/4" metal trim piece for edge protection @ intersection of conc. and G.W.B., typ.
D Provide 1/8" x 1/8" full length of wall at top, middle and bottom. mortic applied to conc. wall and G.W.B. to ensure straight wallboard application.
E Corner bead, typ.
F 1-1/2" x 2 channels at 2'-0" o.c. Screw attach to concrete wall.
G Not used.
H 1/2" exterior gypsum sheathing per sheathing per schedule sheet S001, typ. Maintenance Building.
I 3/4" resilient channel under G.W.B. @ 2'-0" o.c.

DIVISION 15

09300 A 4" ceramic tile.
B 4" ceramic tile base.
C Quarry tile.
09650 A 4" base. See Finish Schedule.
B Vinyl composition tile flooring. See Finish Schedule for specific rooms.
C Rubber chair tread system.
D Rubber skirting.

DIVISION 16

09680 A Carpet
09900 A Epoxy paint all walls and ceiling in Kitchen.

DIVISION 17

10100 A Bulletin board. 4'-0" H x 8'-0" L.
10155 A Toilet partitions.
10200 A Galvanized metal louvered vents.
10416 A 6" x 6" H.C. access sign. Locate bottom 48" A.F.F.
B H.C. access sign at Restroom doors. See Detail 11/A501. Locate bottom 60" A.F.F.
C 3" symbol ht. blue symbol field, symbol color white.
D 1" symbol ht. (1) WOMEN, (1) MEN. White symbol.

10522 A Semi-recess fire extinguisher cabinet.
10800 A 24" x 36" mirror.
B Wall mounted paper towel dispenser.
C Wall mounted soap dispenser, locate 40" A.F.F.
D Grab bars: (1) 42" long at future wall, (1) 42" long at side wall.
E Toilet paper dispenser.
F Stainless steel wall mounted trash receptacle.
G Sanitary napkin dispenser. Total of 3.
H Nap and brush holder.
I Seat cover dispenser.

DIVISION 18

12500 A Provide window covering. See specs.
12900 A 10'-0" Long bench.

Table with 3 columns: KEY, DESCRIPTION OF REVISION, DATE, BY

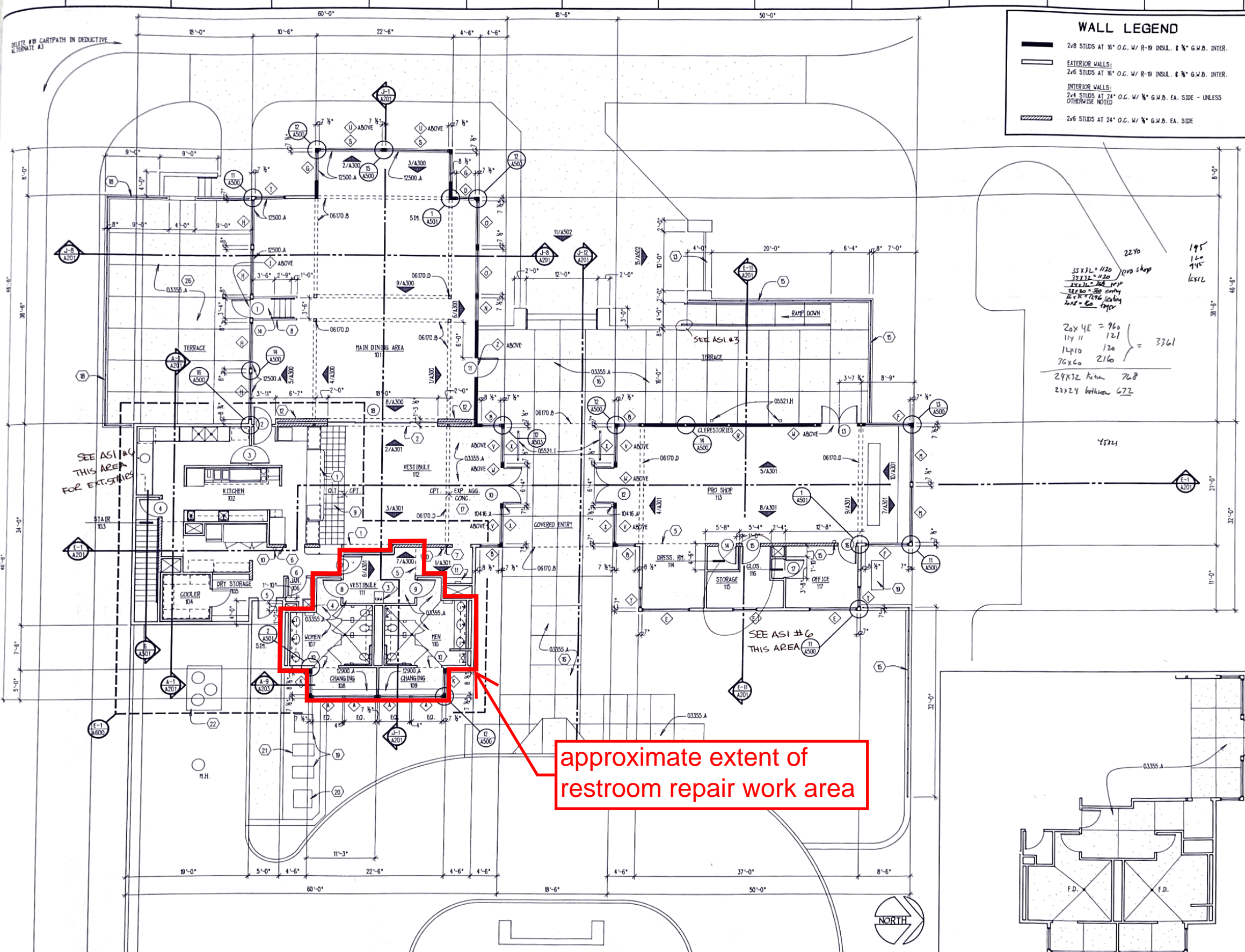
ZB La Zeck Butler Architects PS logo and contact information: The Pavilion Center Suite 860 • West 421 Riverside, Spokane WA 99201 • 509.456.8234 / Fax 509.747.0570

PROJECT TITLE: CLUBHOUSE/MAINTENANCE BLDG. FOR THE CREEK AT QUALCHAN GOLF COURSE CITY OF SPOKANE PARKS DEPARTMENT

SHEET TITLE: CODE TABULATIONS, KEYNOTE LEGEND & NOTES

Table with columns: DATE, PROJECT NO., DRAWN, DRAWING NO., CHECKED, REVIEWED, and a large 'G002' stamp.

PROJECT COPY stamp



approximate extent of
restroom repair work area

WALL LEGEND

- 2x8 STUDS AT 16" O.C. W/ R-19 INSUL. & 3/4" G.W.B. INTER.
- EXTERIOR WALLS:
2x6 STUDS AT 16" O.C. W/ R-19 INSUL. & 3/4" G.W.B. INTER.
- INTERIOR WALLS:
2x4 STUDS AT 24" O.C. W/ 3/4" G.W.B. EA. SIDE - UNLESS OTHERWISE NOTED
- 2x6 STUDS AT 24" O.C. W/ 3/4" G.W.B. EA. SIDE

- NOTED NOTES**
- LINE OF SOFFIT ABOVE.
 - 4'-0"x8'-9" POCKET DOORS. SEE DETAIL 8/A500.7/A500.
 - ELECTRIC WATER COOLER. SEE MECHANICAL.
 - MOP SINK W/ MOP HANGER. SEE MECHANICAL.
 - CHANGE IN CEILING HEIGHT.
 - 4x4 STEEL COLUMN LOCATED IN 2x6 STUD WALL.
 - 6x6 WOOD COLUMN LOCATED IN 2x6 STUD WALL.
 - DECORATIVE WALL AND HANDRAIL AT STAIR. SEE DETAILS SH1, A503.
 - BENEATH QUARRY TILE PAVERS (IN FRONT OF SERVICE COUNTER) USE CEMENTOUS BD. IN LIEU OF 1/2" PL. WOOD UNDERLAMENT.
 - FIRE EXTINGUISHER AND CABINET. (2) IN CLUBHOUSE, (1) IN PRO SHOP.
 - PAY TELEPHONE W/ COUNTER BELOW. SEE DETAIL 9/A501.
 - DOOR POCKET. SEE DETAIL 8/A500.
 - CLUBRACK.
 - EXPOSED AGGREGATE LANDING - CONTINUES OUT TO TERRACE.
 - GUARDRAIL. SEE DETAIL 2/A502.
 - SEE SH1, L-4 FOR EXTERIOR CONCRETE SCORING PATTERN.
 - SEE A-11/A100 FOR INTERIOR EXPOSED AGGREGATE SCORING PATTERN.
 - HANDRAIL. SEE DETAIL 1/A502.
 - HEAT PUMP. SEE MECHANICAL.
 - TRANSFORMER - SEE ELECTRICAL.
 - CONDENSING UNITS - SEE MECHANICAL.
 - GREASE INTERCEPTOR.

- DIVISION 3**
- 03300.A 4" concrete slab on grade w/6x6, W2.9-W2.9 WWF.
 - 03355.A Scrubbed finish (exp. aggregate).
- DIVISION 5**
- 05521.H 2"x2" steel sleeve inserts in conc. slab for scoreboard sign. Verify location with owner.
 - J Golf club rack. 6'-0" L x 2'-8" H. See Detail 17/A502. Locate 2'-0" from building.
- DIVISION 6**
- 06170.B Structural Glu-Lam beam. See Structural.
 - D Glu-Lam column. See Structural.
- DIVISION 9**
- 09300.C Quarry tile.
- DIVISION 10**
- 10416.A 6"x 6" H.C. access sign. Locate bottom 48" A.F.F.
- DIVISION 12**
- 12500.A Provide window covering. See specs.
 - 12700.A 10'-0" Long bench.

22x0
195
120
140
6x12

35x32 = 1120
33x32 = 1056
22x20 = 440
12x20 = 240
24x24 = 576
24x24 = 576
24x24 = 576

20x48 = 960
11x11 = 121
12x10 = 120
76x60 = 2160

24x32 kinn 768
23x24 kinn 672

7524

PROJECT COPY

REV	DESCRIPTION OF REVISION	DATE	BY

ZB Zeck/Butler
La Architects/PS

The Pavilion Center Suite 860 • West 421 Riverside, Spokane WA 99201 • 509 456 8236 / Fax 509 747 0570

PROJECT TITLE
CLUBHOUSE
FOR
THE CREEK AT QUALCHAN
GOLF COURSE
CITY OF SPOKANE PARKS DEPARTMENT

SHEET TITLE
MAIN FLOOR PLAN

SEAL 3635 REGISTERED ARCHITECT <i>Zeck/Butler</i> RODNEY WAYNE BUTLER STATE OF WASHINGTON	DATE 01-21-92	PROJECT NO. 9125
	DRAWN RMB	DRAWING NO. A100
	CHECKED SH	CLUBHOUSE
	REVIEWED	
	DATE	







MAIN FLOOR PLAN

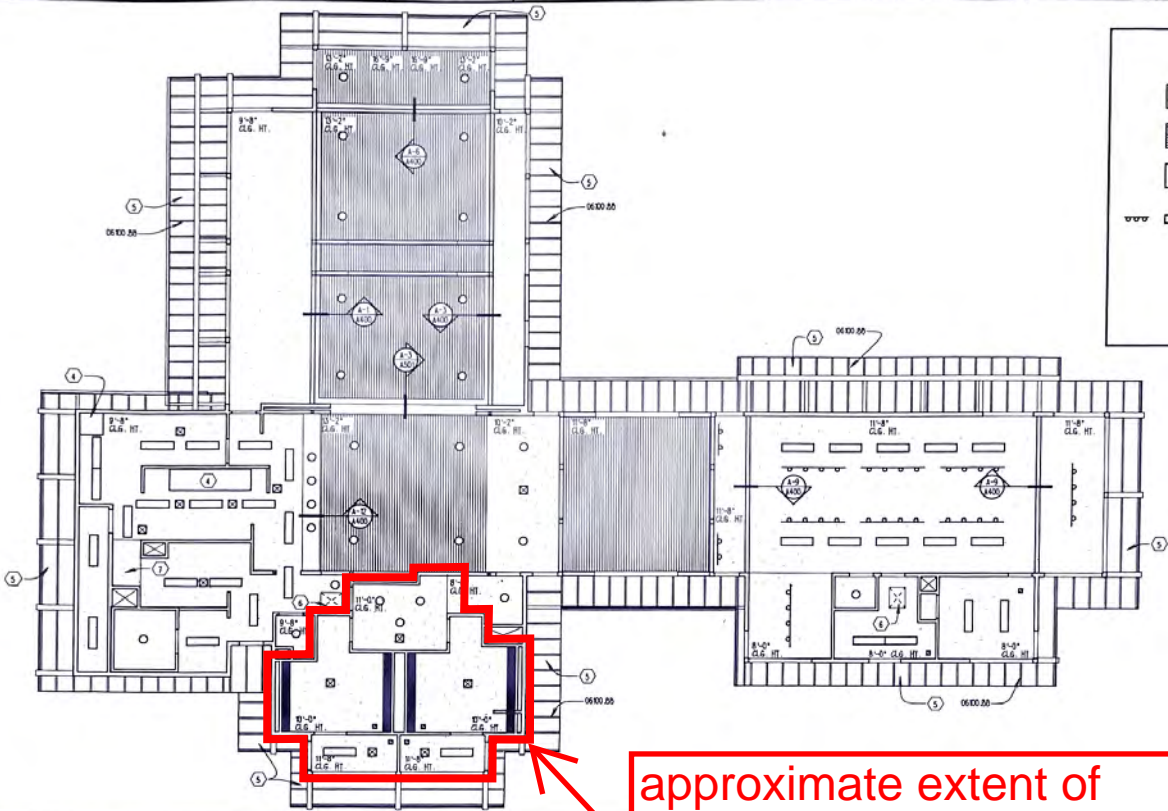
A-11

INTERIOR EXPOSED AGGREGATE SCORING PATTERN

1/8"=1'-0"

LEGEND

-  GYPSUM BOARD CEILING.
-  TONGUE AND GROOVE CEDAR CEILING AT INTER. AND COVERED WALKWAY.
-  EXPOSED 2x4 TOP CHORD EXTENSION AT EXTER. OVERHANG.
-  LIGHT FIXTURE. SEE ELECTRICAL.
-  SUPPLY AIR DIFFUSER. SEE MECHANICAL.
-  RETURN AIR DIFFUSER. SEE MECHANICAL.



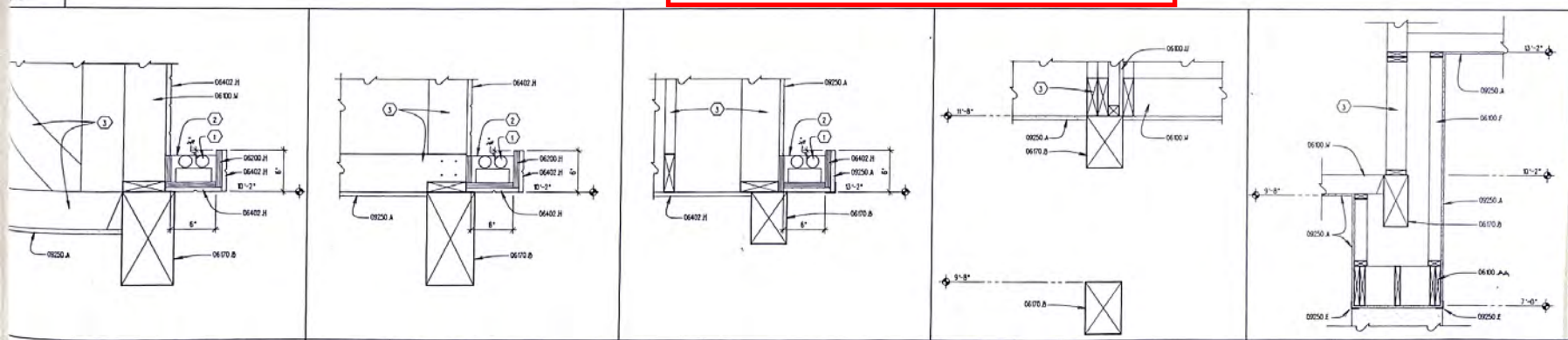
approximate extent of
restroom repair work area




- REVISIONS**
- ① FLUORESCENT LIGHT FIXTURE - SEE ELECTRICAL.
 - ② INTERMEDIATE 1" PLYWOOD PANELS FOR STABILITY OF LIGHT SHELF.
 - ③ STRUCTURAL FINISHING - SEE STRUCTURAL DRAWINGS.
 - ④ EXHAUST HOOD - SEE MECHANICAL DRAWINGS.
 - ⑤ ALL EXPOSED SCOFFITS AT OVERHANGS TO BE REAR FACED CEDAR PLYWOOD.
 - ⑥ 24"x32" ACCESS PANEL.
 - ⑦ 6x8 SJOFFIT # 7'-0" A.F.F.
- DIVISION 6**
- 06100.F 2x4 studs at 24" o.c.
 U 1/2" plywood sheathing.
 W 2x6 at 24" o.c.
 A-A 3x12 framing.
 B-B 2x6 truss extension.
- 06170.B Structural Gls-Lam beam. See Structural.
- 06200.H 1" cedar trim.
- 06402.H 3/4" slotwall panel system.
- DIVISION 9**
- 09250.A 3/8" CWB
 B Corner bead, typ.

PROJECT COPY

REFLECTED CEILING PLAN



LIGHT SHELF A-3 LIGHT SHELF A-6 LIGHT SHELF A-9 SECTION A-12 SECTION

<p>REF. DESCRIPTION OF REVISION DATE BY</p>		
 <p>The Pavilion Center Suite 840 • West 421 Riverside, Spokane WA 99201 • 509 454 8234 / Fax 509 747 0370</p>		
<p>PROJECT TITLE</p> <p>CLUBHOUSE FOR THE CREEK AT QUALCHAN GOLF COURSE CITY OF SPOKANE PARKS DEPARTMENT</p>		
<p>SHEET TITLE</p> <p>REFLECTED CLG. PLAN, DETAILS</p>		
<p>SCALE</p> <p>REGISTERED ARCHITECT</p> <p>LOUENIE WATKINS BUTLER STATE OF WASHINGTON</p>	<p>DATE</p> <p>01-21-92</p> <p>DRAWN</p> <p>PKM</p> <p>CHECKED</p> <p>DBH</p> <p>REVIEWED</p> <p>FWW</p>	<p>PROJECT NO.</p> <p>8126</p> <p>DRAWING NO.</p> <p>A 400</p> <p>CLUBHOUSE</p>

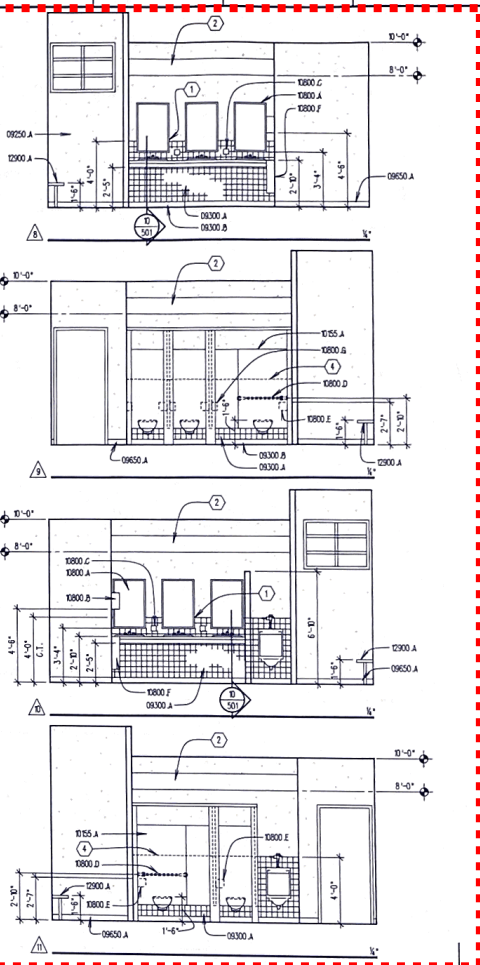
approximate extent of restroom repair area

EQUIPMENT SCHEDULE 1400

- 1 SANDWICH TABLE.
- 2 MICROVAPE OVER SHELF: 18 GA. 24"x40" W/ ANGLED BRACKETS.
- 3 CLASS I HOOD SYSTEM AND FIRE SUPPRESSION SYSTEM - ON MECHANICAL PACKAGE.
- 4 RANGE.
- 5 FRYER BANK.
- 6 REFRIGERATOR.
- 7 SHELF: STAINLESS STEEL OVERSHELF 12"x48", 18 GA. W/ BRACKETS.
- 8 PREP TABLE: 31"-6"x24"x26", 14 GA. 304/5/5 W/ 4" BACKSPLASH AND DND SPLASH ON LEFT SIDE. MARINE EDGE. ONE PIECE TOP CONSTRUCTION. 1 1/2" DIA. S/S LEGS AND 18 GA. UNDERSHIELD. (1) ONE 20"x20"x6" SINK TUB, (1) ONE 12"x17"x6" SINK TUB.
- 9 THREE DOOR FREEZER.
- 10 ICE MACHINE BY OWNER.
- 11 MICROWAVE BY OWNER.
- 12 WIRE SHELVING: BRIGHT CHROME FINISH. (6) 74 P. POSTS, (4) 2148 BR SHELF, (2) 9994Z POST CLAMP.
- 13 WALK-IN REFRIGERATOR.
- 14 REFRIGERATION SYSTEM: SEE MECHANICAL FOR LOCATION.
- 15 METROSAL SHELVING: (2) 74 PK POSTS, (4) 54 PK POSTS, (4) 2136 BK SHELF, (4) 2148 BK SHELF, (4) 2142 BK SHELF.
- 16 SLANT RACK: 44"-L, 18 GA. 304 S/S. TO ACCEPT (2) 20"x20" CLIP RACKS.
- 17 SOILED DISH TABLE: 304 5/5 W/ 5/5 LEGS AND 42" UNDERSHIELD 18 GA. 1" BACKSPLASH AND SPLASH ON LEFT END. 6" SCRAP BLOCK. QUICK DRAIN BETWEEN SINK AND DISHTABLE. WELD-IN "B" CONE - 2" ROLLED EDGE.
- 18 DISPOSER AND CONE: ON MECHANICAL PACKAGE.
- 19 PRE-RINSE AND WALL BRACKET: ON MECHANICAL PACKAGE.
- 20 CLASS II HOOD SYSTEM OVER DISHWASHER 30"x30"x24" IN MECHANICAL PACKAGE.
- 21 DISHWASHER.
- 22 CLEAN DISH TABLE: 48" x 304 14 GA. S/S TOP. 11" BACKSPLASH, 2" ROLLED EDGE; 1 1/2" DIA. LEGS.
- 23 POT SINK: (2) COMPARTMENT SINK W/ (2) DRAINBOARDS. 304 5/5 TWO TUBS 23"x23"x6" W/ TWO EACH 24" DRAINBOARDS. 1 1/2" DIA. S/S LEGS. TWO EACH ROTARY WASTE VALVE AND DRAIN OVERFLOWS.
- 24 POT RACK: SINGLE TIER S/S, 72" L.
- 25 WIRE SHELVING: BRIGHT CHROME FINISH. (4) 2436 BR SHELF, (4) 74 P. POSTS.
- 26 POP DISPENSER BY PURVEYOR.
- 27 REFRIGERATED DROP-IN DISPLAY CASE.
- 28 GENUINE COFFEE SERVICE SUPPLIED BY PURVEYOR.
- 29 BEER SERVICE SUPPLIED BY PURVEYOR.
- 30 DISPLAY POP REFRIGERATOR SUPPLIED BY PURVEYOR.
- 31 STEP-IN COOLER: SEE BASEMENT PLAN.
- 32 REMOTE REFRIGERATION SYSTEM: PROVIDE TWO TIER RACK FOR STACKING UNITS 15 & 331 SEE MECHANICAL FOR LOCATION.

DEDUCTIVE ALTERNATE #4: DELETE KITCHEN EQUIPMENT STEP-IN COOLER RANGE/OVEN FRYER BANK THREE DOOR FREEZER WALK-IN REFRIGERATOR

ENLARGED PLAN - KITCHEN & RESTROOM AREA



- NOTES
- 1 STOP CEMENT TILE AT WINDOW AND SOAP DISP. LOCATIONS TO ALLOW THEM TO ATTACH FLUSH HANDLES. Q.S.B. TYP.
 - 2 LIGHT VALANCES: SEE TYP. SECTION IN MAINTENANCE BLDG. DRAWING E-1/4000.
 - 3 MECHANICAL CHASE.
 - 4 LINE OF CERAMIC TILE ON WALL BEYOND.
 - 5 PAT TELEPHONE BY OWNER.
 - 6 LINE OF SLOTT ABOVE.
 - 7 ELECTRIC WATER COOLER.
 - 8 1/2" x 1/2" PARTICLE BOARD SHELVING 1" DIA. W/ PLAS. LAM. FACE ALL SIDES & FRONT LIP. 3 1/2" SHELVES. PROVIDE BRACKETS & STANDARDS.
 - 9 FIRE EXTINGUISHER & CABINET.
 - 10 1/2" x 1/2" PARTICLE BOARD SHELVING W/ PLAS. LAM. ALL SIDES. LOCATE 6'-0" A.F.F.
 - 11 5'-0" DIA. HANDICAP REQUIREMENT.
 - 12 42" H. WALL W/ 1/2" x 1/2" DIA. AND STAINLESS STEEL CAP, END, AND SIDE OF WALLS FACING SANDWICH TABLE.
 - 13 CASH REGISTER BY OWNER.
 - 14 SUPPORTS BETWEEN OPEN SPACES TO BE 1/2" PLYWOOD W/ EDGING.
 - 15 PROVIDE 1-HR. RATED DUCT ENCLOSURE ABOVE CEILING. SEE DETAIL E/4000.
 - 16 PROVIDE (1) 1/2" x 1/2" PARTICLE BOARD SHELVING, PLAS. LAM. ALL EXPOSED SURFACES W/ HARDWOOD TOPS. PROVIDE ANGLE WOOD BRACKETS - PAINT. LOCATE NOT. SHELF @ 4'-0" A.F.F., TOP @ 8'-0" A.F.F.

- DIVISION 5
- 05120.A 4"x4" steel column, see structural.
 - 05521.A 1-1/4" standard dia. steel pipe rail.
- DIVISION 9
- 09250.A 5/8" CWB
 - 09900.A 4" ceramic tile.
 - 09900.B 4" ceramic tile base.
 - 09650.A 4" base. See Finish Schedule.
 - 09900.A Epoxy paint all walls and ceiling in Kitchen.
- DIVISION 10
- 10100.A Bulletin board. 4'-0" H x 6'-0" L.
 - 10155.A Toilet partitions.
 - 10800.A 24" x 36" mirror.
 - 10800.B Wall mounted paper towel dispenser.
 - 10800.C Wall mounted soap dispenser, locate 40" A.F.F.
 - 10800.D Grab bars: (1) 42" long at fixture wall, (1) 42" long at side wall.
 - 10800.E Toilet paper dispenser.
 - 10800.F Stainless steel wall mounted trash receptacle.
 - 10800.G Sanitary napkin disposal. Total of 3.
 - 10800.H Mop and broom holder.
 - 10800.J Seat cover dispenser.
- DIVISION 12
- 12900.A 10'-0" Long bench.

PROJECT COPY

restroom elevations

KEY	DESCRIPTION OF DIVISION	DATE	BY

ZB La Zeck Butler Architects PS

The Proben Center Suite 800 • West 421 Riverside, Spokane WA 99201 • 509 454 8236 / Fax 509 472 0570

PROJECT TITLE: **CLUBHOUSE FOR THE CREEK AT QUALCHAN GOLF COURSE**
CITY OF SPOKANE PARKS DEPARTMENT

SHEET TITLE: **ENLARGED PLANS, INTERIOR ELEVATIONS**

SCALE	DATE	PROJECT NO.
	01-21-92	9125
DRAWN	PROJECT	DRAWING NO.
		A600
CHECKED		
REVIEWED		

3655 REGISTERED ARCHITECT
Spokane, WA
ROSEMARY WATKINS BUTLER
STATE OF WASHINGTON

RWB

CLUBHOUSE

WOMEN'S RESTROOM



WOMEN'S RESTROOM



**WOMEN'S RESTROOM
CHANGING**



MEN'S RESTROOM



MEN'S RESTROOM



MEN'S RESTROOM



MEN'S RESTROOM CHANGING



WOMEN'S RESTROOM CEILING



VESTIBULE CEILING



Spokane Park Board

Briefing Paper



Committee	Golf	Committee meeting date: 3.12.24	
Requester	Mark Poirier	Phone number: 509.625.4653	
Type of agenda item	<input type="radio"/> Consent <input type="radio"/> Discussion <input type="radio"/> Information <input checked="" type="radio"/> Action		
Type of contract/agreement	<input checked="" type="radio"/> New <input type="radio"/> Renewal/ext. <input type="radio"/> Lease <input type="radio"/> Amendment/change order <input type="radio"/> Other		
City Clerks file (OPR or policy #)			
Master Plan Goal, Objective, Strategy (Click HERE for link to the adopted plan)	N/A	Master Plan Priority Tier: (pg. 171-175)	N/A
Item title: (Use exact language noted on the agenda)	John Deere equipment purchase 2750 E-Cut Hybrid Triplex Mower \$71,028.73 (plus applicable sales tax)		
Begin/end dates	Begins:	Ends:	<input type="checkbox"/> 06/01/2525
Background/history: Golf continues to strive toward strategically replacing very old pieces of equipment that are well past their life expectancy. Triplexes are greens/tees mowers that are tasked with cutting the most refined playing turf on the golf course. Greens conditions are the #1 priority for us, and this unit will help us to continue to provide the playing conditions customers want.			
Motion wording: Motion to approve the John Deere equipment purchase 2750 E-Cut Hybrid Triplex Mower \$71,0128.73 (plus applicable sales tax)			
Approvals/signatures outside Parks: <input type="radio"/> Yes <input checked="" type="radio"/> No If so, who/what department, agency or company: Name: _____ Email address: _____ Phone: _____			
Distribution: _____ Parks – Accounting Parks – Sarah Deatrich Requester: Mark Poirier Grant Management Department/Name: _____ Thea Prince			
Fiscal impact: <input checked="" type="radio"/> Expenditure <input type="radio"/> Revenue Amount: \$71,028.73 (plus applicable sales tax) Budget code: 4600-55100-9400-56203			
Vendor: <input checked="" type="radio"/> Existing vendor <input type="radio"/> New vendor Supporting documents: <input type="checkbox"/> Quotes/solicitation (RFP, RFQ, RFB) <input type="checkbox"/> W-9 (for new contractors/consultants/vendors) <input type="checkbox"/> Contractor is on the City's A&E Roster - City of Spokane <input type="checkbox"/> ACH Forms (for new contractors/consultants/vendors) <input type="checkbox"/> UBI: 603-531-046 Business license expiration date: _____ <input type="checkbox"/> Insurance Certificate (min. \$1 million in General Liability)			

Customer:

Quotes are valid for 30 days from the creation date or upon contract expiration, whichever occurs first.

A Purchase Order (PO) or Letter of Intent (LOI) including the below information is required to proceed with this sale. The PO or LOI will be returned if information is missing.

Vendor: Deere & Company

- 2000 John Deere Run
Cary, NC 27513

- Signature on all LOIs and POs with a signature line
- Contract name or number; or JD Quote ID
- Sold to street address
- Ship to street address (no PO box)
- Bill to contact name and phone number
- Bill to address
- Bill to email address (required to send the invoice and/or to obtain the tax exemption certificate)
- Membership number if required by the contract

For any questions, please contact:

Steve Lebsack

Pacific Golf & Turf LLC
6206 E Trent Ave Bld 2 St-a
Spokane, WA 99212

Tel: 509-879-5117

Email: slebsack@pacificgolfturf.com

Quotes of equipment offered through contracts between Deere & Company, its divisions and subsidiaries (collectively "Deere") and government agencies are subject to audit and access by Deere's Strategic Accounts Business Division to ensure compliance with the terms and conditions of the contracts.

Quote Id: 30421081

**ALL PURCHASE ORDERS MUST BE MADE OUT
TO (VENDOR):**

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580
UEID: FNSWEDARMK53

**ALL PURCHASE ORDERS MUST BE SENT
TO DELIVERING DEALER:**

Pacific Golf & Turf LLC
6206 E Trent Ave Bld 2 St-a
Spokane, WA 99212
509-879-5117
Wtaft@pacificgolfturf.com

22 February 2024
3225 N COLUMBIA CIR
SPOKANE, WA 99205

Mark-

I have attached the Washington State Lawn and Grounds (05218) contract pricing for 2024.

John Deere updated the pricing for the Wa State Lawn and Grounds Contract February 1st 2024.

This has changed the pricing for the new 2024 John Deere 2750 triplex mower from the November 2023 quote I gave you when it was \$68,627.77 to the new quote from today February 22nd 2024 to \$71,028.73 unfortunately.

Steve Lebsack
509-879-5117
Pacific Golf & Turf LLC

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

 Deere & Company
 2000 John Deere Run
 Cary, NC 27513
 FED ID: 36-2382580
 UEID: FNSWEDARMK53

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

 Pacific Golf & Turf LLC
 6206 E Trent Ave Bld 2 St-a
 Spokane, WA 99212
 509-879-5117
 WTaft@pacificgolfturf.com

Quote Summary

Prepared For:

 CITY OF SPOKANE DOWN RIVER GOLF COURSE
 3225 N COLUMBIA CIR
 SPOKANE, WA 99205
 Business: 509-327-5269

Delivering Dealer:
Pacific Golf & Turf LLC
 Steve Lebsack
 6206 E Trent Ave Bld 2 St-a
 Spokane, WA 99212
 Phone: 509-879-5117
 slebsack@pacificgolfturf.com

Quote ID:	30421081
Created On:	22 February 2024
Last Modified On:	22 February 2024
Expiration Date:	23 March 2024

Equipment Summary	Selling Price	Qty	=	Extended
JOHN DEERE 2750 E-Cut Hybrid Triplex Mower	\$ 71,028.73	1	=	\$ 71,028.73
Contract: WA Lawn and Grounds 05218 (PG 4S CG 22)				
Price Effective Date: February 1, 2023				
Equipment Total				\$ 71,028.73

* Includes Fees and Non-contract items

Quote Summary

Equipment Total	\$ 71,028.73
Trade In	
SubTotal	\$ 71,028.73
Sales Tax - (9.00%)	\$ 6,392.59
Est. Service	\$ 0.00
Agreement Tax	
Total	\$ 77,421.32
Down Payment	(0.00)
Rental Applied	(0.00)
Balance Due	\$ 77,421.32

Salesperson : X _____

Accepted By : X _____

Selling Equipment

Quote Id: 30421081

Customer Name: CITY OF SPOKANE DOWN RIVER GOLF COURSE

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

 Deere & Company
 2000 John Deere Run
 Cary, NC 27513
 FED ID: 36-2382580
 UEID: FNSWEDARMK53

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

 Pacific Golf & Turf LLC
 6206 E Trent Ave Bld 2 St-a
 Spokane, WA 99212
 509-879-5117
 WTaft@pacificgolfturf.com

JOHN DEERE 2750 E-Cut Hybrid Triplex Mower

Hours:
Stock Number:
Contract: WA Lawn and Grounds 05218 (PG 4S CG 22)

Selling Price *
Price Effective Date: February 1, 2023

\$ 71,028.73

* Price per item - includes Fees and Non-contract items

Code	Description	Qty	List Price	Discount%	Discount Amount	Contract Price	Extended Contract Price
1264TC	2750 E-Cut Hybrid Triplex Mower	1	\$ 59,314.00	22.50	\$ 13,345.65	\$ 45,968.35	\$ 45,968.35
Standard Options - Per Unit							
001A	United States and Canada	1	\$ 0.00	22.50	\$ 0.00	\$ 0.00	\$ 0.00
183E	JDLink™ Modem	1	\$ 0.00	22.50	\$ 0.00	\$ 0.00	\$ 0.00
0443	All Other Countries (English / Spanish)	1	\$ 0.00	22.50	\$ 0.00	\$ 0.00	\$ 0.00
1040	Balloon Rounded Edge Smooth Tires and Wheels (20x10.00-10, 4 ply)	1	\$ 745.00	22.50	\$ 167.63	\$ 577.37	\$ 577.37
1193	Rear Wheel Assist - GRIP All-Wheel Drive	1	\$ 4,070.00	22.50	\$ 915.75	\$ 3,154.25	\$ 3,154.25
1203	Quick Adjust 5 (QA5) 11-blade Cutting Units	1	\$ 11,147.00	22.50	\$ 2,508.08	\$ 8,638.92	\$ 8,638.92
1300	50.8 mm (2-in.) Diameter Machined Grooved Solid Rollers with Solid Endcaps	1	\$ 784.00	22.50	\$ 176.40	\$ 607.60	\$ 607.60
1490	Less Cutting Unit Counterweights	1	\$ 0.00	22.50	\$ 0.00	\$ 0.00	\$ 0.00
1601	50.8 mm (2-in.) Diameter Machined Smooth Solid Rollers	1	\$ 754.00	22.50	\$ 169.65	\$ 584.35	\$ 584.35
2010	Deluxe Suspension Seat with Left Side Armrest	1	\$ 2,143.00	22.50	\$ 482.18	\$ 1,660.82	\$ 1,660.82
3203	Cutting Unit Attaching Yokes and Translucent Yellow Grass Catchers	1	\$ 1,550.00	22.50	\$ 348.75	\$ 1,201.25	\$ 1,201.25
9742	Greens Tender Conditioner Shaft and Blades	1	\$ 1,350.00	22.50	\$ 303.75	\$ 1,046.25	\$ 1,046.25
9743	FTC / GTC / Front Rotary Brush Gear Drive	1	\$ 5,993.00	22.50	\$ 1,348.43	\$ 4,644.57	\$ 4,644.57



Selling Equipment

Quote Id: 30421081 Customer Name: CITY OF SPOKANE DOWN RIVER GOLF COURSE

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580
UEID: FNSWEDARMK53

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Pacific Golf & Turf LLC
6206 E Trent Ave Bld 2 St-a
Spokane, WA 99212
509-879-5117
Wtaft@pacificgolfturf.com

9750	Rear Roller Power Brush Drive	1	\$ 1,846.00	22.50	\$ 415.35	\$ 1,430.65	\$ 1,430.65
9766	LED Work Light Kit	1	\$ 718.00	22.50	\$ 161.55	\$ 556.45	\$ 556.45
9769	Greens Mower Storage and Convenience Kit	1	\$ 560.00	22.50	\$ 126.00	\$ 434.00	\$ 434.00
9791	Rear Roller Power Brushes	1	\$ 676.00	22.50	\$ 152.10	\$ 523.90	\$ 523.90
Standard Options Total			\$ 32,336.00		\$ 7,275.62	\$ 25,060.38	\$ 25,060.38
Value Added Services Total			\$ 0.00		\$ 0.00	\$ 0.00	\$ 0.00
Total Selling Price			\$ 91,650.00		\$ 20,621.27	\$ 71,028.73	\$ 71,028.73

Golf Fund - February 2024



	Adopted Budget 2024	2024 Remaining Budget Balance	2023 February Actual	2024 February Actual	2023-2024 Monthly Difference	2023 YTD Actual	2024 YTD Actual	2023-2024 YTD Difference	2023 YTD % Of Budget	2024 YTD % Of Budget	YOY % Change
Revenue											
Program Revenue	\$ 5,374,077	\$ 5,336,879	\$ 4,561	\$ 29,736	\$ 25,175	\$ 12,399	\$ 37,198	\$ 24,799	0.29%	0.69%	0.40%
Pre-Sale Revenue		\$ (216,362)			\$ -	174,793	216,362	\$ 41,569			
Facility Improvement Fee	\$ -		\$ (483)	\$ (1,013)	\$ (530)	\$ (11,778)	\$ (18,029)	\$ (6,251)			
Other Transfers-In	\$ -	\$ -			\$ -						
Total Revenue	\$ 5,374,077	\$ (5,138,546)	\$ 4,078	\$ 28,723	\$ 24,644	\$ 175,414	\$ 235,531	\$ 60,117	4.08%	4.38%	0.30%
Expenditures											
Salaries and Wages	\$ 1,127,824	\$ 983,169	\$ 68,154	\$ 93,657	\$ (25,502)	\$ 118,639	\$ 155,853	\$ (37,214)	10.42%	13.82%	3.40%
Temp/Seasonal	\$ 651,762	\$ 652,500	\$ 120	\$ -	\$ 120	\$ 120	\$ -	\$ 120	0.02%		-0.02%
Personnel Benefits	\$ 467,123	\$ 259,281	\$ 26,897	\$ 34,786	\$ (7,890)	\$ 50,663	\$ 63,756	\$ (13,094)	15.68%	13.65%	-2.03%
Supplies	\$ 531,900	\$ 404,803	\$ 6,080	\$ 5,192	\$ 888	\$ 6,775	\$ 5,947	\$ 827	1.65%	1.12%	-0.53%
Services and Charges	\$ 1,435,756	\$ 1,166,925	\$ 174,902	\$ 52,371	\$ 122,531	\$ 30,367	\$ (113,857)	\$ 144,224	2.88%	-7.93%	-10.81%
Interfund Payments	\$ 237,008	\$ 288,000	\$ 29,388	\$ 9,677	\$ 19,711	\$ 29,388	\$ 9,677	\$ 19,711	9.87%	4.08%	-5.79%
Subtotal Op. Expense	\$ 4,451,373	\$ 4,329,996	\$ 305,541	\$ 195,683	\$ 109,858	\$ 235,951	\$ 121,377	\$ 114,575	6.09%	2.73%	-3.36%
Capital Outlay	\$ 714,650	\$ 707,500	\$ 124,800	\$ 83,326	\$ 41,474	\$ 254,800	\$ 7,150	\$ 247,650	62.15%	1.00%	-61.15%
Transfers Out		\$ -									
Total Expenditures	\$ 5,166,023	\$ 5,037,496	\$ 430,341	\$ 279,009	\$ 151,332	\$ 490,751	\$ 128,527	\$ (362,224)	11.45%	2.49%	-8.96%
Net Gain/(Loss)	\$ 208,054		\$ (426,262)	\$ (250,286)	\$ 175,976	\$ (315,337)	\$ 107,004	\$ 422,341			

* Beginning Fund Balance	\$ 468,130
Less 7% Reserve	\$ (404,883)
Beginning Year Reserves	\$ 63,247
YTD Change in Cash	\$ 107,004
YTD Available Cash	\$ 170,251

* 2024 Beginning Fund Balance does not include the FIF reserve of \$2,218,214

Facility Improvement Fee - February 2024



	2023 February Actual	2024 February Actual	2023-2024 Monthly Difference	2023 YTD Actual	2024 YTD Actual	2023-2024 Monthly Difference
Revenue	\$ 483	\$ 1,013	\$ 530	\$ 11,778	\$ 18,029	\$ 6,251
Debt Service Payments	\$ -	\$ -	\$ -			\$ -

Facility Improvement Fee - Fund Balance	
Beginning Fund Balance	\$ 2,218,214
YTD Revenues	\$ 18,029
YTD Loan Payments	\$ -
Ending Fund Balance	\$ 2,236,243

Golf SIP Loan Amortization		
Period Ending	Payment	Principal Balance
12/1/2023	\$ 308,666	\$ 6,349,397
6/1/2024	\$ 309,417	\$ 6,071,552
12/1/2024	\$ 308,608	\$ 5,793,183

2024 Annual YOY Golf Comparison Report

ROUNDS

		DOWNRIVER			ESMERALDA			INDIAN CANYON			QUALCHAN			CITY HALL			TOTALS		
		2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF
COUNT	REGULAR ROUND	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	DISCOUNT ROUND	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	MULTI-PLAY ROUND	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	OTHER ROUND	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	TOTAL	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
REVENUE	REGULAR ROUND	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	DISCOUNT ROUND	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	MULTI-PLAY ROUND	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	OTHER ROUND	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	TOTAL	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

PASSES

		DOWNRIVER			ESMERALDA			INDIAN CANYON			QUALCHAN			CITY HALL			TOTALS		
		2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF
COUNT	DISCOUNT PASS	5	21	(16)	0	0	0	6	3	3	20	15	5	9	899	(890)	40	938	(898)
	SEASON PASS	0	1	(1)	0	0	0	3	1	2	7	0	7	0	1,930	(1,930)	10	1,932	(1,922)
	OTHER PASS	0	0	0	0	0	0	0	0	0	0	0	0	6	820	(814)	6	820	(814)
	TOTAL	5	22	(17)	0	0	0	9	4	5	27	15	12	15	3,649	(3,634)	56	3,690	(3,634)
REVENUE	DISCOUNT PASS	\$ 263	\$ 1,316	\$ (1,053)	\$ -	\$ -	\$ -	\$ 1,013	\$ 329	\$ 684	\$ 2,680	\$ 1,164	\$ 1,515	\$ 706	\$ 899	\$ (193)	\$ 4,662	\$ 3,708	\$ 954
	SEASON PASS	\$ -	\$ 197	\$ (197)	\$ -	\$ -	\$ -	\$ 4,320	\$ 197	\$ 4,123	\$ 9,934	\$ -	\$ 9,934	\$ -	\$ 1,930	\$ (1,930)	\$ 14,254	\$ 2,325	\$ 11,930
	OTHER PASS	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,604	\$ 820	\$ 784	\$ 1,604	\$ 820	\$ 784
	TOTAL	\$ 263	\$ 1,513	\$ (1,250)	\$ -	\$ -	\$ -	\$ 5,333	\$ 526	\$ 4,807	\$ 12,614	\$ 1,164	\$ 11,450	\$ 2,310	\$ 3,649	\$ (1,339)	\$ 20,520	\$ 6,853	\$ 13,668

CART FEES

		DOWNRIVER			ESMERALDA			INDIAN CANYON			QUALCHAN			CITY HALL			TOTALS		
		2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF
COUNT	PRIVATE CART FEE & PERMIT	0	1	(1)	0	0	0	0	0	0	4	0	4	0	0	0	4	1	3
	PRO CART FEE	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	TOTAL	0	1	(1)	0	0	0	0	0	0	0	4	0	4	0	0	4	1	3
REVENUE	PRIVATE CART FEE & PERMIT	\$ -	\$ 275	\$ (275)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,321	\$ -	\$ 1,321	\$ -	\$ -	\$ -	\$ 1,321	\$ 275	\$ 1,046
	PRO CART FEE	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	TOTAL	\$ -	\$ 275	\$ (275)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,321	\$ -	\$ 1,321	\$ -	\$ -	\$ 1,321	\$ 275	\$ 1,046

BUCKET OF BALLS

		DOWNRIVER			ESMERALDA			INDIAN CANYON			QUALCHAN			CITY HALL			TOTALS		
		2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF
COUNT		0	0	0	0	0	0	2	0	2	0	0	0	0	0	0	2	0	2
REVENUE		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1	\$ -	\$ 1	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1	\$ 0	\$ 1

FACILITY IMPROVEMENT FEE

		DOWNRIVER			ESMERALDA			INDIAN CANYON			QUALCHAN			CITY HALL			TOTALS		
		2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF
COUNT		5	23	(18)	0	0	0	9	4	5	25	15	10	12	311	(299)	51	353	(302)
REVENUE		\$ 44	\$ 254	\$ (211)	\$ -	\$ -	\$ -	\$ 289	\$ 61	\$ 228	\$ 640	\$ 162	\$ 478	\$ 289	\$ 311	\$ (22)	\$ 1,263	\$ 789	\$ 474

REVENUE SUMMARY

		DOWNRIVER			ESMERALDA			INDIAN CANYON			QUALCHAN			CITY HALL			TOTALS		
		2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF	2024	2023	DIFF
	Lessons	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	MISC REVENUE	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	TOTAL REVENUE	\$ 307	\$ 2,043	\$ (1,736)	\$ -	\$ -	\$ -	\$ 5,623	\$ 588	\$ 5,036	\$ 14,576	\$ 1,327	\$ 13,249	\$ 2,599	\$ 3,960	\$ (1,361)	\$ 23,105	\$ 7,917	\$ 15,188