



# Spokane Design Review Board

November 13, 2019

5:30-8:00 PM

City Council Briefing Center

**TIMES GIVEN ARE AN ESTIMATE AND ARE SUBJECT TO CHANGE**

## Board Briefing Session:

- |             |  |                |
|-------------|--|----------------|
| 5:30 - 5:40 | 1) Chair Report  | Steven Meek    |
|             | 2) Secretary Report <ul style="list-style-type: none"> <li>• Update on New Design Guidelines process</li> <li>• Introduction of new Urban Designer board member</li> </ul> | Dean Gunderson |

## Board Business:

- |             |   |                |
|-------------|---|----------------|
| 5:40 – 5:45 | 3) Approve the <a href="#">October 23<sup>rd</sup> minutes</a> .  |                |
|             | 4) Old Business   | Steven Meek    |
|             | 5) New Business <ul style="list-style-type: none"> <li>• Need for new Chair election by end of year</li> <li>• Upcoming meeting date changes due to holidays</li> </ul> | Dean Gunderson |
|             | 6) Changes to the agenda?   |                |

## Workshop:

- |             |   |                              |
|-------------|---|------------------------------|
| 5:45 – 7:00 | 7) <a href="#">Collaborative Workshop for Shaw Middle School, On-Track Academy, and Hillyard Branch Library</a> | Taylor Berberich             |
|             | • Staff Report..... 5-10 m  |                              |
|             | • Applicant Presentation..... 10-15 m   |                              |
|             | • Reserved for Public Comment (3 m ea.)..... 20 m   |                              |
|             | • Board Discussion and Advisory Action(s)..... 30 m   |                              |
| 7:00 – 7:30 | 8) <a href="#">Update on North Bank &amp; South U-District Planning</a>   | Dean Gunderson & Chris Green |

## Adjournment:

**The next Design Review Board meeting is scheduled for November 20<sup>th</sup>, 2019.**

The password for City of Spokane Guest Wireless access has been changed:

**Username: COS Guest**

**Password: pBqr9cuU**

**AMERICANS WITH DISABILITIES ACT (ADA) INFORMATION:** The City of Spokane is committed to providing equal access to its facilities, programs and services for persons with disabilities. The Council Briefing Center in the lower level of Spokane City Hall, 808 W. Spokane Falls Blvd., is wheelchair accessible and also is equipped with an infrared assistive listening system for persons with hearing loss. Headsets may be checked out (upon presentation of picture I.D.) through the meeting organizer. Individuals requesting reasonable accommodations or further information may call, write, or email Human Resources at 509.625.6363, 808 W. Spokane Falls Blvd, Spokane, WA, 99201; or [jjackson@spokanecity.org](mailto:jjackson@spokanecity.org). Persons who are deaf or hard of hearing may contact Human Resources through the Washington Relay Service at 7-1-1. Please contact us forty-eight (48) hours before the meeting date.

## **Meeting Rules of Procedure - Spokane Design Review Board**

### **Call to Order**

- Chair calls the meeting to order, noting the date and time of the meeting.
- Chair asks for roll call for attendance.

### **Board Briefing**

- Chair Report – Chair gives a report.
- Secretary Report – Sr. Urban Designer gives a report.

### **Board Business**

- Meeting Minutes - Chair asks for comments on the minutes of the last meeting; Asks for a motion to approve the minutes.
- Chair asks is there any old business? Any old business is discussed.
- Chair asks is there any new business? Any new business is discussed.
- Chair asks if there any changes to the agenda.

### **Board Workshop**

- Chair announces the first project to be reviewed and notes the following: a) the Board will consider the design of the proposal as viewed from the surrounding public realm; b) the Board does not consider traffic impacts in the surrounding area or make recommendations on the appropriateness of a proposed land use; c) the Board will not consider un-permitted, possible surrounding development(s) except those which are contemplated under the Comprehensive Plan and Development Code; c) it is the applicant's responsibility to meet all applicable Code requirements regardless of what might be presented or discussed during workshops.
- Chair asks for a staff report.

#### ***Staff Report***

- Staff report on the item, giving findings of fact. Presentation will be kept to 5-10 minutes.

#### ***Applicant Presentation***

- Chair invites the applicant(s) to sit at the table and invites the applicant to introduce the project team and make a 10-15 minute presentation on the project.

#### ***Public Comment \****

- Chair asks if there are comments from other interested parties – comments shall be kept to 3 minutes, and confined to the design elements of the project.
- Chair reads any written comments submitted by interested citizens.

*\* Contact Planning Department staff after the meeting for additional opportunities to comment on the proposal.*

#### ***DRB Clarification***

- Chair may request clarification on comments.

#### ***Design Review Board Discussion***

- Chair will ask the applicants whether they wish to respond to any public comments, after their response (if any) they are to return to their seats in the audience.
- The Chair will formally close public comments.
- Chair leads discussion amongst the DRB members regarding the staff recommendations, applicable design criteria, identification of key issues, and any proposed design departures.

### **Design Review Board Motions**

- Chair asks whether the DRB is ready to make a motion.
- Upon hearing a motion, Chair asks for a second. Staff will record the motion in writing.
- Chair asks for discussion on the motion.
- Chair asks the applicant if they would like to respond to the motion.
- After discussion, Chair asks for a vote.

#### ***Design Review Board Follow-up***

- Applicant is advised that they may stay or leave the meeting.
- Next agenda item announced.

### **Other**

- Chair asks board members and audience if there is anything else.

### **Adjourn**

- Chair asks for a motion to adjourn. After the motion is seconded, and approved by vote, Chair announces that the meeting is adjourned, noting the time of the adjournment.

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# Design Review Board - Meeting Minutes Draft

October 23, 2019

City Council Briefing Center

Meeting called to order at 5:34 PM by Steven Meek

## Attendance:

- *Board Members Present:* Anne Hanenburg, Steven Meek (Chair), Kathy Lang (Vice-Chair & CA Liaison), Mark Brower, Chuck Horgan
- *Board Members Not Present:* Grant Keller, Ted Teske
- *Quorum Present:* Yes
- *Staff Members Present:* Dean Gunderson, Taylor Berberich, Louis Meuler, Nate Gwinn, Stephanie Bishop

## Public Comment:

- None

## Briefing Session:

### Chair Report - Steven Meek

- No report

### Secretary Report - Dean Gunderson

- The city is putting together standards for 5G telecommunication transmissions downtown. Dave Steele is heading the subcommittee on 5G and has asked if any BRB members would be interested in joining. Mark Brower and Grant Keller (previously) expressed interest in participating in the subcommittee's three meetings.
- Staff will send out a poll with possible dates for special meetings, since most people will not be able to make it to the regularly scheduled meetings the day before Thanksgiving and Christmas day.

## Board Business:

Approval of Minutes: Minutes from the October 9, 2019 meeting approved unanimously.

### Old Business:

- None

### New Business:

- **Update on the Downtown Plan (Nate Gwinn)**
  - Presentation by Consultants, Jeff Arango & Lesley Bain of Framework
  - Questions asked and answered

### Changes to Agenda:

- None

## Workshops:

### 1. Recommendation Meeting for SportsPlex

- Staff Report: Dean Gunderson
- Applicant Presentation: Colin Anderson - Integrus
- Questions asked and answered
- Discussion ensued

Based on review of the materials submitted by the applicant and discussion during the October 23, 2019 Recommendation Meeting, the Design Review Board recommends the approval of the project subject to the following conditions:

1. The board recommends approval of the design departure as submitted.

Please see [SMC 17G.030.040 Design Departure Decision Criteria](#)

Please see [SMC 17C.124.510\(A\) Window - Building Design](#)

2. As regards to meeting the Downtown Design Guidelines, the board recommends approval of the final design as submitted.

Meeting Adjourned at 7:26 PM

Next Design Review Board Meeting scheduled for Wednesday, November 13, 2019

DRAFT

# Shaw Middle School

1 - Program Review/Collaborative Workshop

Design Review Staff Report

October 21, 2019



**Staff:**

Taylor Berberich, Urban Designer

Dean Gunderson, Senior Urban Designer

Neighborhood & Planning Services  
808 W. Spokane Falls Blvd.  
Spokane, WA 99201

**Applicant:**

Spokane School District

Ty Miller  
Integrus Architecture

## Design Review Board Authority

### Spokane Municipal Code [Chapter 04.13](#) Design Review Board

A. Purpose. The design review board is hereby established to:

1. improve communication and participation among developers, neighbors and the City early in the design and siting of new development subject to design review under the Spokane Municipal Code;
2. ensure that projects subject to design review under the Spokane Municipal Code are consistent with adopted design guidelines and help implement the City's Comprehensive Plan.
3. advocate for the aesthetic quality of Spokane's public realm;
4. encourage design and site planning that responds to context, enhances pedestrian characteristics, considers sustainable design practices, and helps make Spokane a desirable place to live, work and visit.
5. provide flexibility in the application of development standards as allowed through development standard departures; and
6. ensure that public facilities and projects within the City's right of way:
  - a. wisely allocate the City's resources,
  - b. serve as models of design quality

Under SMC [Section 17G.040.020](#) **Design Review Board Authority**, all public projects or structures are subject to design. Recommendations of the Design Review Board must be consistent with regulatory requirements per [Section 17G.040.080](#) **Design Review Board**

### Advisory Actions.

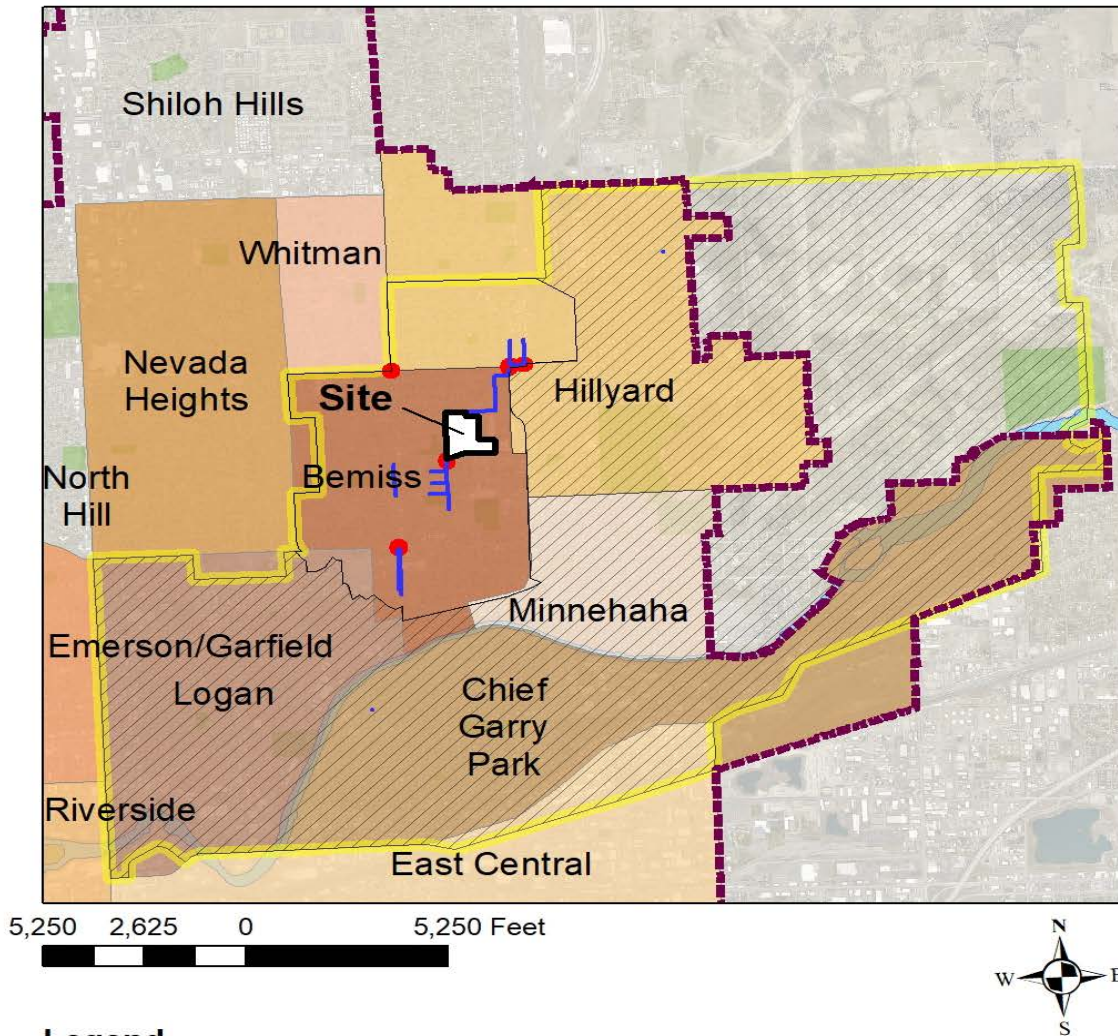
Advisory Actions of the Design Review Board will be forwarded to the Planning Director, Development Services, and the chair of the affected Neighborhood Councils.

## Project Description

Please see applicant's submittal information.













# Location & Context

## Map 1: Regional Context- Attendance Boundary



### Legend

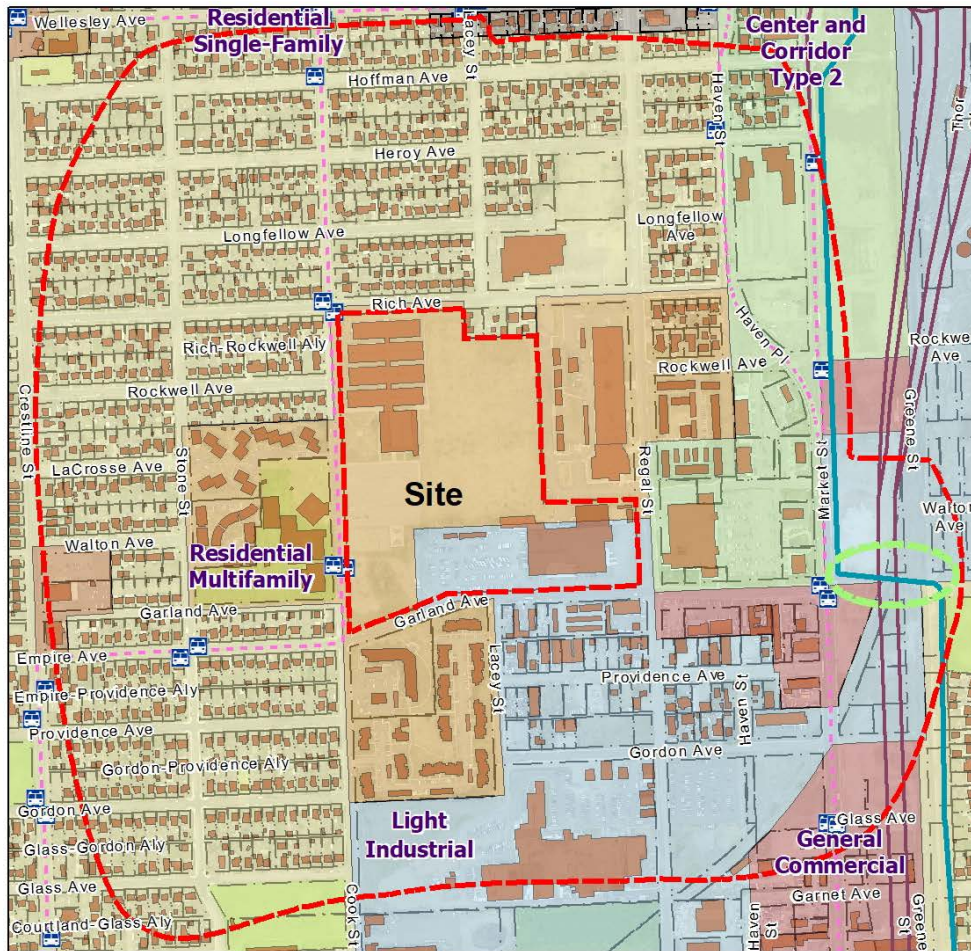
#### Neighborhoods

 Audubon/Downriver	 Chief Garry Park	 Logan
 Balboa/South Indian Trail	 East Central	 Minnehaha
 Bemiss	 Emerson/Garfield	 Nevada Heights
 Whitman	 Hillyard	 Riverside

-  Suggested Walking Route
-  Controlled Intersection
-  School Busing Area
-  Shaw Middle School Attendance Boundary
-  City of Spokane

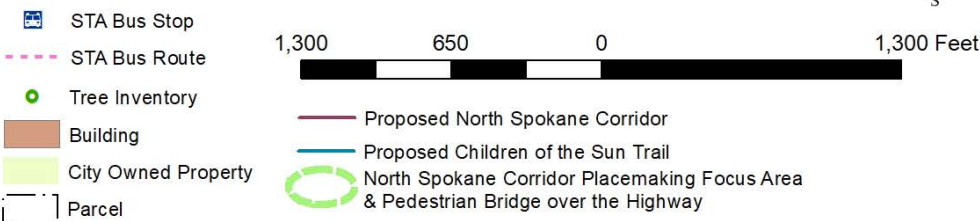
The project is located at 4106 N. Cook Street in the Bemiss Neighborhood. In addition to Bemiss, Shaw Middle School's attendance boundary services the Hillyard, Minnehaha, Logan, East Central and Chief Garry Park neighborhoods as well as a portion of Spokane County.

## Map 2: Local Context- Zoning and Nearby Facilities



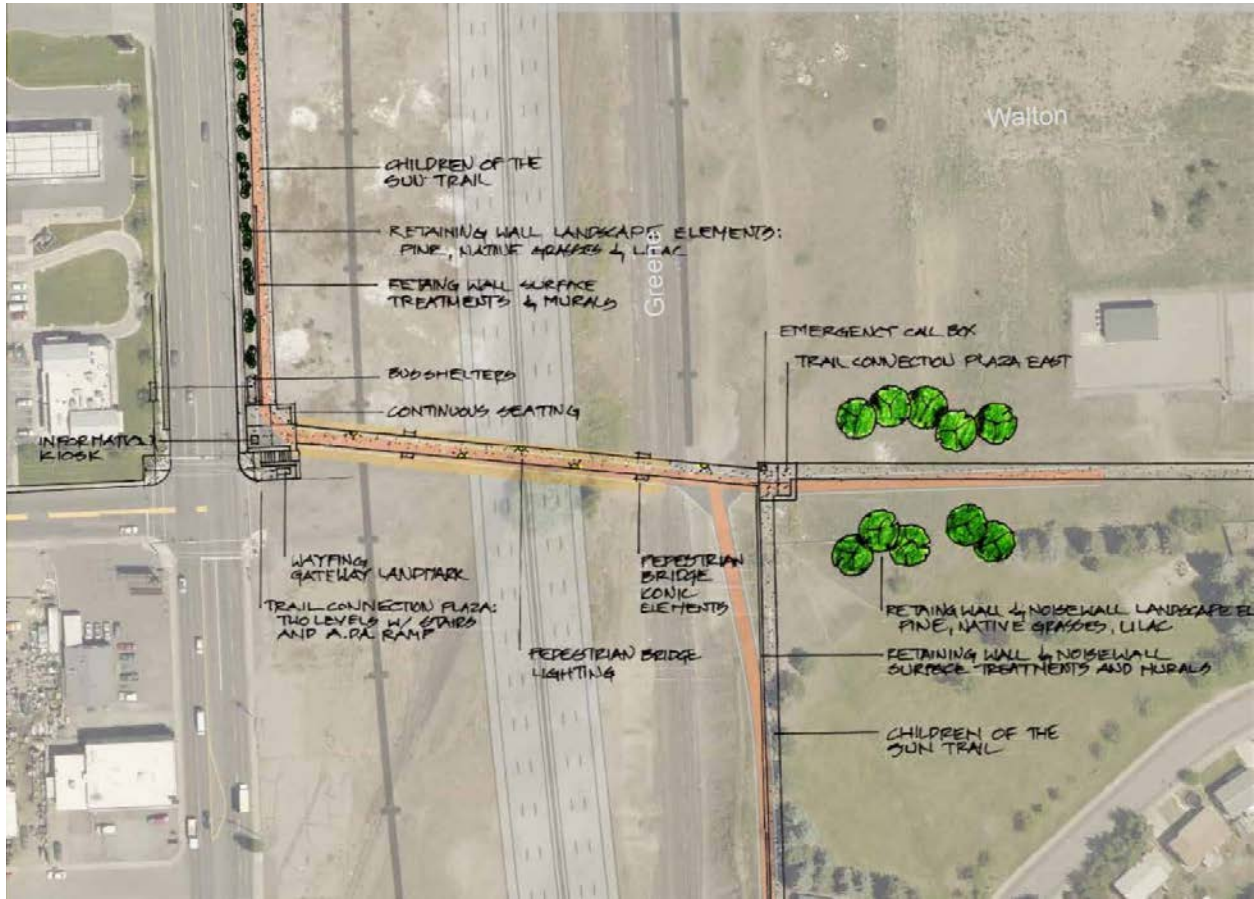
### LOCAL CONTEXT-SHAW MIDDLE SCHOOL

#### Legend



The parcel is zoned Residential Multifamily (RMF) and is situated west of the Northeast Community Center and current Hillyard Library. Regal Elementary is North of Shaw, and the Newtech (A 9-12 grade skills center) facility is to the east. The 27 STA bus route operates along Cook Street between Shaw Middle School and the Northeast Community Center at a 30-minute frequency, with stops right in front of the community center and the proposed new entrance to the school. The 33 STA bus route operates along Market and Haven Streets on a 15-minute frequency; it is further to the east and the nearest bus stop is a 5-10 minute walk to the school.

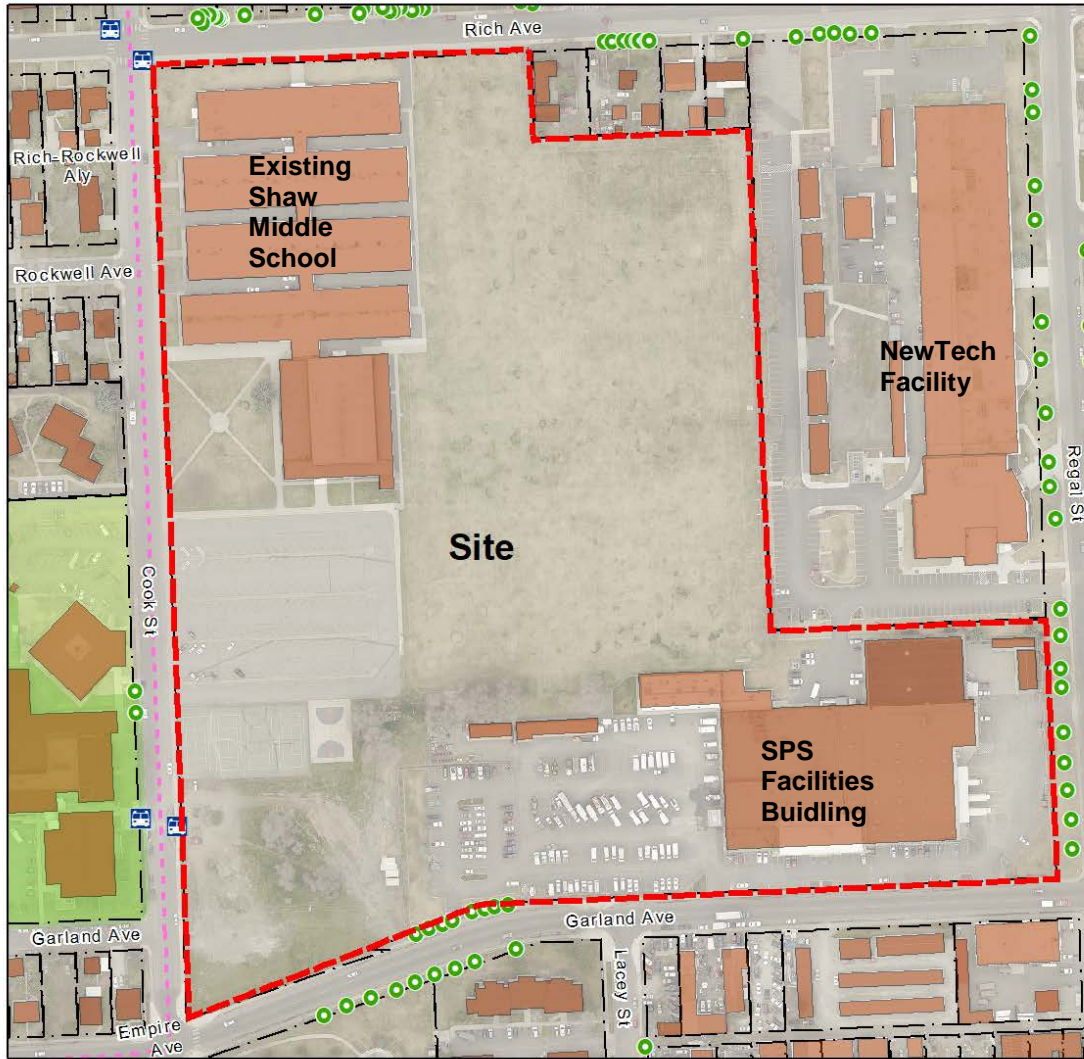
NSC/Children of the Sun Trail:  
Garland Placemaking Concept



The North Spokane Corridor (NSC) also includes improvements to the Children of the Sun trail, with plans to construct a pedestrian bridge over the new highway. The new bridge crosses Market Street at E. Garland Avenue and extends over the new highway, ending on the east side of Greene Street and the continuation of the Children of the Sun Trail to the south and west. The trail and bridge will both include placemaking elements to express the unique character of the neighborhood.









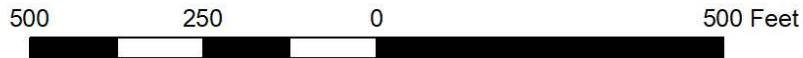
# Map 3: Site Context



## SITE CONTEXT-SHAW MIDDLE SCHOOL

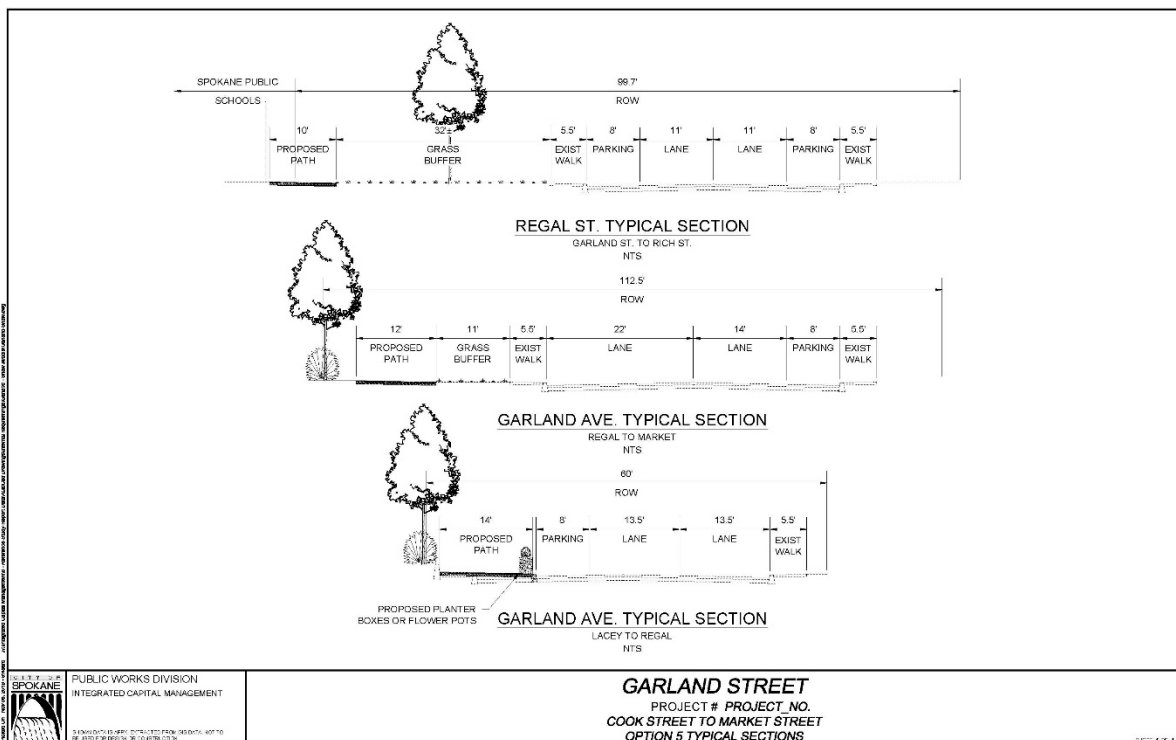
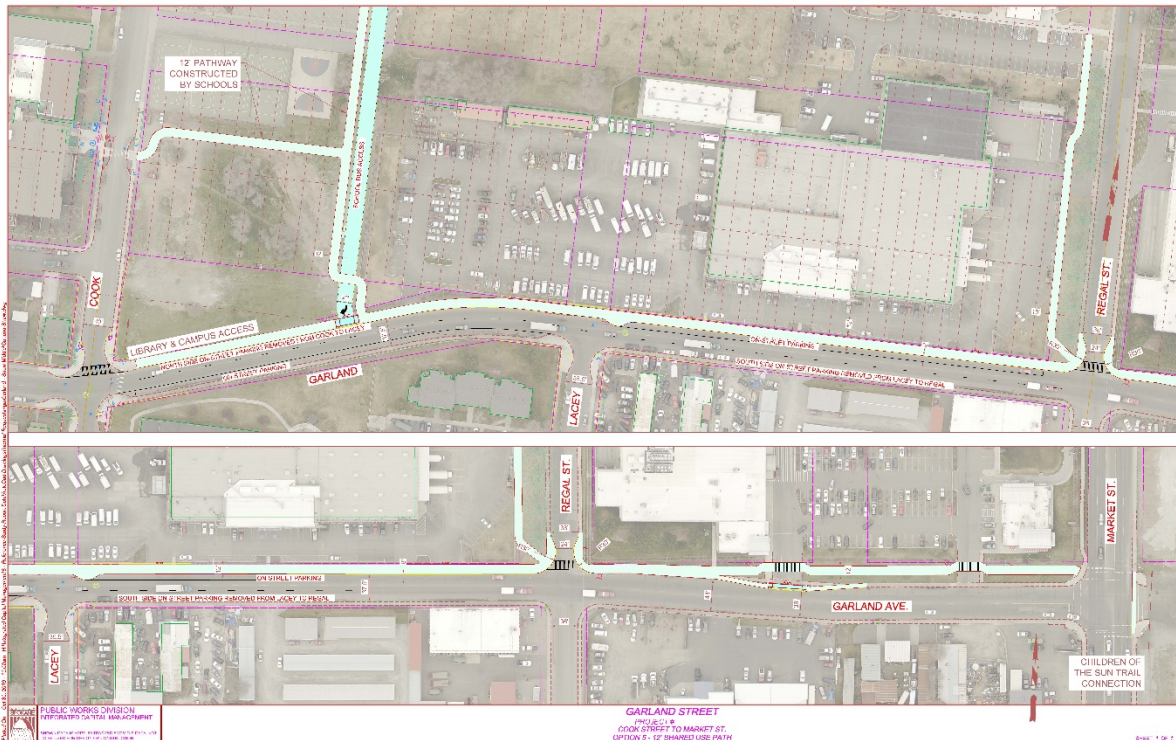
### Legend

-  STA Bus Stop
-  STA Bus Route
-  Tree Inventory
-  Building
-  City Owned Property
-  Parcel



The current school is located on the Northwest corner of the parcel, with the facilities building for Spokane Public Schools located on the southeast corner of the same parcel. Empire/Garland Avenue located to the south is designated a minor arterial as well as a shared roadway on the Spokane Regional Bike Map. Both Cook Street and Rich Avenue are designated as local streets.

The figures below indicates the proposed trail improvements along Garland Avenue that will be constructed from Market Street to Cook Street. This public work is slated for construction to coincide the redevelopment of the Shaw Middle School site.



# Regulatory Analysis

## Zoning Code Requirements

The site is zoned Residential Multifamily. The applicant will be expected to meet zoning code requirements. Applicants should contact Current Planning Staff with any questions about these requirements.

**Recommendations of the Design Review Board must be consistent with adopted regulations.** The DRB may not waive any code requirements.

The pre-development report is included at the end of this document.

Note: This project is located near a project of city-wide importance, which is located east of the proposed North Spokane Corridor and will be constructing a portion of the pedestrian trail connection along Wildhorse Park (part of the Pedestrian overpass over the NSC that will accommodate Middle School students from Minnehaha Neighborhood. The staff report for the additional project is attached at the end of this report.

**Institutional Design Standards:** Design standards in the code appear in the form of Requirements (R), Presumptions (P), and Considerations (C). Upon request of the applicant, the board may offer some flexibility from certain eligible code “design standards” if the board recommends that the proposed solution is equal or better than what is required, and still meets the purpose of the standard.

### **Section 17C.110.500 Design Standards Implementation:**

The design standards and guidelines found in SMC 17C.110.510 through SMC 17C.110.565 and 17C.110.575 follow [SMC 17C.110.500](#), Design Standards Administration. All projects must address the pertinent design standards and guidelines. Design standards are in the form of Requirements (R), Presumptions (P), and Considerations (C). Regardless of which term is used, an applicant must address each guideline. An applicant may seek relief through [chapter 17G.030 SMC](#), Design Departures, for those eligible standards and guidelines contained in the zoning code.

**SMC 17C.110.520 Lighting:** The applicant’s conceptual renderings indicate lighting will be provided on-site. While not required at the collaborative workshop stage, the lighting should be developed in accordance with the city design standard.

**Section 17C.110.540 Pedestrian Connections in Parking Lots:** The standard states “within parking lots containing more than thirty stalls, clearly defined pedestrian connections shall be provided.” All three parking lots on the proposed site plan exceed thirty stalls, and will therefore need to include pedestrian connections.

**SMC 17C.110.560 Massing:** The purpose of this section is “to reduce the apparent bulk of the buildings by providing a sense of ‘base’ and ‘top.’” The current building may need to be revised to meet this provision.

## City of Spokane Comprehensive Plan [Comprehensive Plan link](#)

### **CHAPTER 1: LAND USE**

#### **LU 1 CITYWIDE LAND USE**

LU 1.1 Neighborhoods: Utilize the neighborhood concept as a unit of design for planning housing, transportation, services, and amenities.

LU 1.12 Public Facilities and Services: Ensure that public facilities and services systems are adequate to accommodate proposed development before permitting development to occur.

#### **LU 4 TRANSPORTATION**

LU 4.1 Land Use and Transportation: Coordinate land use and transportation planning to result in an efficient pattern of development that supports alternative transportation modes consistent with the

Transportation Chapter and makes significant progress toward reducing sprawl, traffic congestion, and air pollution.

LU 4.4 Connections: Form a well-connected network which provides safe, direct and convenient access for all users, including pedestrians, bicycles, and automobiles, through site design for new development and redevelopment.

#### **LU 5 DEVELOPMENT CHARACTER**

LU 5.1 Built and Natural Environment: Ensure that developments are sensitive to the built and natural environment (for example, air and water quality, noise, traffic congestion, and public utilities and services), by providing adequate impact mitigation to maintain and enhance quality of life.

LU 5.2 Environmental Quality Enhancement: Encourage site locations and design features that enhance environmental quality and compatibility with surrounding land uses.

#### **LU 6 ADEQUATE PUBLIC LANDS AND FACILITIES**

LU 6.1 Advance Siting: Identify, in advance of development, sites for parks, open space, wildlife habitat, police stations, fire stations, major stormwater facilities, schools, and other lands useful for public purposes.

LU 6.2 Open Space: Identify, designate, prioritize, and seek funding for open space areas.

LU 6.3 School Locations: Work with the local school districts to identify school sites that are located to serve the service area and that are readily accessible for pedestrians and bicyclists.

LU 6.4 City and School Cooperation: Continue the cooperative relationship between the city and school officials.

LU 6.5 Schools as a Neighborhood Focus: Encourage school officials to retain existing neighborhood school sites and structures because of the importance of the school in maintaining a strong, healthy neighborhood.

LU 6.9 Facility Compatibility with Neighborhood: Ensure the utilization of architectural and site designs of essential public facilities that are compatible with the surrounding area.

#### **CHAPTER 4: TRANSPORTATION**

TR GOAL A: PROMOTE A SENSE OF PLACE: Promote a sense of community and identity through the provision of context-sensitive transportation choices and transportation design features, recognizing that both profoundly affect the way people interact and experience the city.

TR GOAL B: PROVIDE TRANSPORTATION CHOICES: Meet mobility needs by providing facilities for transportation options – including walking, bicycling, public transportation, private vehicles, and other choices.

TR GOAL C: ACCOMMODATE ACCESS TO DAILY NEEDS AND PRIORITY

DESTINATIONS: Promote land use patterns and construct transportation facilities and other urban features that advance Spokane's quality of life.

TR GOAL E: RESPECT NATURAL & COMMUNITY ASSETS: Protect natural, community, and neighborhood assets to create and connect places where people live their daily lives in a safe and healthy environment.

TR GOAL F: ENHANCE PUBLIC HEALTH & SAFETY: Promote healthy communities by providing and maintaining a safe transportation system with viable active mode options that provides for the needs of all travelers, particularly the most vulnerable users.

TR 1 Transportation Network For All Users: Design the transportation system to provide a complete transportation network for all users, maximizing innovation, access, choice, and options throughout the four seasons. Users include pedestrians, bicyclists, transit riders, and persons of all abilities, as well as freight, emergency vehicles, and motor vehicle drivers. Guidelines identified in the Complete Streets Ordinance and other adopted plans and ordinances direct that roads and pathways will be designed, operated, and maintained to accommodate and promote safe and convenient travel for all users while acknowledging that not all streets must provide the same type of travel experience. All streets must meet mandated accessibility standards. The network for each mode is outlined in the Master Bike Plan, Pedestrian Master Plan, Spokane Transit's Comprehensive Plan, and the Arterial Street map.

TR 2 Transportation Supporting Land Use: Maintain an interconnected system of facilities that allows travel on multiple routes by multiple modes, balancing access, mobility and place-making functions with consideration and alignment with the existing and planned land use context of each corridor and major street segment.

TR 5 Active Transportation: Identify high-priority active transportation projects to carry on completion/upgrades to the active transportation network.

TR 7 Neighborhood Access: Require developments to have open, accessible, internal multi-modal transportation connections to adjacent properties and streets on all sides.

TR 14 Traffic Calming: Use context-sensitive traffic calming measures in neighborhoods to maintain acceptable speeds, manage cut-through traffic, and improve neighborhood safety to reduce traffic impacts and improve quality of life.

TR 20 Bicycle/Pedestrian Coordination: Coordinate bicycle and pedestrian planning to ensure that projects are developed to meet the safety and access needs of all users.

## **CHAPTER 8: URBAN DESIGN AND HISTORIC PRESERVATION**

### **DP 1 PRIDE AND IDENTITY**

DP 1.2 New Development in Established Neighborhoods: Encourage new development that is of a type, scale, orientation, and design that maintains or improves the character, aesthetic quality, and livability of the neighborhood.

### **DP 2 URBAN DESIGN**

DP 2.3 Design Standards for Public Projects and Structures: Design all public projects and structures to uphold the highest design standards and neighborhood compatibility.

DP 2.4 Design Flexibility for Neighborhood Facilities: Incorporate flexibility into building design and zoning codes to enable neighborhood facilities to be used for multiple uses.

DP 2.6 Building and Site Design: Ensure that a particular development is thoughtful in design, improves the quality and characteristics of the immediate neighborhood, responds to the site's unique features - including topography, hydrology, and microclimate - and considers intensity of use.

DP 2.15 Urban Trees and Landscape Areas: Maintain, improve, and increase the number of street trees and planted areas in the urban environment.

## **CHAPTER 9: NATURAL ENVIRONMENT**

### **NE 12 URBAN FOREST**

NE 12.1 Street Trees: Plant trees along all streets.

### **NE 13 CONNECTIVITY**

NE 13.1 Walkway and Bicycle Path System: Identify, prioritize, and connect places in the city with a walkway or bicycle path system.

NE 13.2 Walkway and Bicycle Path Design: Design walkways and bicycle paths based on qualities that make them safe, functional, and separated from automobile traffic where possible.

## **CHAPTER 11: NEIGHBORHOODS**

### **N 2 NEIGHBORHOOD DEVELOPMENT**

N 2.1 Neighborhood Quality of Life: Ensure that neighborhoods continue to offer residents transportation and living options, safe streets, quality schools, public services, and cultural, social, and recreational opportunities in order to sustain and enhance the vitality, diversity, and quality of life within neighborhoods.

### **N 4 TRAFFIC AND CIRCULATION**

N 4.1 Neighborhood Traffic Impact: Consider impacts to neighborhoods when planning the city transportation network.

N 4.5 Multimodal Transportation: Promote a variety of transportation options to reduce automobile dependency and neighborhood traffic.

N 4.6 Pedestrian and Bicycle Connections: Establish a continuous pedestrian and bicycle network within and between all neighborhoods.

## N 5 OPEN SPACE

N 5.3 Linkages: Link neighborhoods with an open space greenbelt system or pedestrian and bicycle paths.

### Correspondence

Staff provided the applicant with a list of questions regarding the project; the applicant's answers are included below. (Staff questions are in *blue italics*, applicant responses are in *green italics*)

#### *Circulation*

- *It would be helpful for the board to be able to see the site circulation patterns including buses (entry and exit points) parents, and foot traffic. We will have a slide that incorporates this information in our presentation.*
- *After a parent or visitor parks in the lot to the north of Shaw Middle/ the library, there doesn't appear to be a straightforward path into the school. Will the north entrance to the school be open during the day for parents and visitors to access the school, or will they go through the library? The main entrance to the school is West off of Cook street. The north entrance (near the Gym) will be open for sports events. The sidewalk from the parking lot down along the northeast portion of the library dead ends at the family community resource center. Is there an opportunity to make a clear path from the parking lot to the main entrance of the school, as schools usually require visitors to check-in at the Administrative Office before being granted access to the rest of the school? A clear 12' sidewalk path from the parking lot to the main door has been provided along Cook St., there is also smaller sidewalk that runs along the west side of the library for access to after hours book drop that will continue to the main entry plaza for Shaw.*
- *Is the north parking lot's circular perimeter drive intended to accommodate the library's book drop-off (or is this an adjunct off-street parent drop-off)? Yes, this loop doubles with library book drop off and student drop off. What pedestrian route accommodations can be made to ensure safe mingling of vehicles and pedestrians from the lot to the facility? The loop is one way to allow students to exit safely as parents pull up to the curb. Student drop off happens twice a day for a short period of time, SPS has used this circulation approach numerous times.*
- *It appears that the off-street school bus drop-off is located on the private street east of Shaw, this would require the buses to arrive at this location from the east. This would require the school buses to travel east along Rich until they can turn south onto the drive providing access to the current On-Track Academy portable – or travel to Regal to turn onto the private street just south of the New Tech facility. Is this correct, or is a bus turn-around proposed in the new On-Track Academy small parking lot? Buses would enter the site south of New Tech at the existing driveway on Regal and travel West and south of the new OTA parking lot to the drop off plaza area outside the Shaw commons, buses would then exit south onto Garland.*

#### *On-Track Academy*

- *Assuming the students at On-track academy will be utilizing the Newtech facility, is there an opportunity to establish a safe pedestrian connection between the two facilities? Yes, multiple paths from OTA to New Tech will be provided and clearly marked with cross walks.*
- *As the New Facility will serve as a permanent home for the On-Track Academy, will the existing temporary modulars behind New Tech be removed? If not, how will these public facilities (previously granted an exemption from Design Review because they were temporary in nature) be brought up to current community design standards? That is, if these modular are remaining the On-track Academy site design needs to include the location of these modulars – and the modulars themselves – and show all the requisite site & facility improvements. The use of these assets of the district has not been determined and they are not part of the Shaw and OTA master plan.*

## Library

- *There doesn't appear to be any way to locate/identify the library approaching from the south along Rich Ave. Could another sign be incorporated on the west side of the building to help people coming from the south to find the library easier? A campus signage consultant will be working with the design team to provide signage and wayfinding for the entire campus.*
- *What opportunities are there to incorporate more of the Liberty and Hive Branch library's aesthetic into the new Hillyard Branch? It is not necessarily a goal for the Hillyard Branch to have a similar architectural aesthetic to Liberty Park or The Hive, they are all intentionally different because of their context, sense of place, neighborhood, and scale. However, it is a goal to have a common thread in abundant natural daylight, appropriate views, expression of structure, spatial volumes, warm welcoming materials, furniture, signage, and branding.*
- *The conceptual designs for both the Liberty and Hive branch libraries show significant outdoor plaza space for library-related activities, what opportunities are there to provide the same level of plaza accommodations at the Hillyard Branch? As the Hillyard branch is envisioned as part of a larger campus, the Hillyard branch not only has its generous north entry plaza but fully anticipates and is excited by the numerous opportunities for outdoor greenspace and multiple other courtyards and plazas that will be available on the overall site.*

## N. Cook St

- *Can you please walk us through the alignment of the bulb-outs along N Cook St? The drawings submitted are suggestive of early concepts that continue to be developed with input from multiple stakeholders including DOT, STA SRHD, NE community Center, OTA, Hillyard Neighborhood, and other groups to name a few. The ultimate design for the Cook St. renewal and bulb-outs will be determined in conjunction with the functional requirements from above groups and of course City of Spokane traffic and planning input. Cook St. is not currently within the scope or budget of this project. There has been very positive input on this piece of the project being a significant improvement for the Shaw neighborhood in its ability to meet access requirements, connect and leverage shared program elements and provide safe pedestrian movement, which of course are the ultimate goals. Do they correspond to adjacent facilities? See above Is there an opportunity for a bulb-out where E. Garland meets the parking lot entrance on the south side of the parcel? See above*
- *Mention was made of the streetscape being developed if funding can be secured. If the intended funding is not procured, what is the proposed alternative street design? The design would meet all city landscaping requirements on the Shaw (east) side of Cook St. and Cook St. would remain as is. This would also meet all the trail connectivity requirements for access to the Children of the Sun trail.*
- *The proposed on-street parent drop-off zone on Cook runs from the t-intersection of Garland & Cook north to the diagonal mid-block crosswalk – why would a bulb-out be proposed in the middle of this drop-off zone, as it would appear to significantly limit the utility of this accommodation? See above*

## Topics for Discussion

To address the Industrial Design Standards and Comprehensive Plan Policies listed in the staff report, staff would offer the following for consideration and discussion:

### Neighborhood

1. Given the “campus style” arrangement on the site as well as the close proximity to other services (community center, Newtech facility) is there an opportunity to improve connections and pedestrian safety in the area? (*The applicant has indicated a circulation plan will be shown at the collaborative workshop.*)
2. Given that the proposed Cook Street bulb outs are neither fully resolved nor included as part of the project’s base funding and that work may not be constructed, what advice can be given to ensuring a similar pedestrian accommodation along the school side of the street as that proposed for pedestrians along Garland (with its proposed 12’-wide trail)?

### Site

3. Is there an opportunity to improve pedestrian connections in the parking lots?
4. Is there an opportunity for improved direct pedestrian access from north parking lot to the main school entrance next to the Administration Offices (without needing to walk to Cook)?
5. Is there an opportunity for more active site programming around the buildings, especially to accommodate the new Hillyard Branch Library?
6. Give the path of the school buses through the southern portion of the NewTech site (from Regal Street) and the southern portion of the On-Track Academy parking lot, would it be appropriate to bring this new bus lane up to street standards (and therefore public street standards)?
7. Given that a number of mature trees along the common parcel line between the Shaw & On-Track site will be removed to accommodate the new automobile (and school bus) circulation drive, can perimeter trees be planted back in the setback to provide screening of the back of the industrial buildings located on the School District Maintenance Facility site (perhaps, similar to the trees and plantings located south of the southern parking lot at the NewTech facility)?

### Building

8. Is there an opportunity to improve the proposed signage for the Hillyard Library, so as to be visible from Cook (approaching from the south)?
9. Is there an opportunity to more fully distinguish the architectural character of the Hillyard Branch Library, similar to that proposed for both the Liberty and The Hive branch libraries?

## Note

The recommendation of the Design Review Board does not alleviate any requirements that may be imposed on this project by other City Departments including the Current Planning Section of Planning and Development Services.

## Policy Basis

Spokane Municipal Codes  
City of Spokane Comprehensive Plan  
Public Project Design Guidelines





# SHAW CAMPUS MASTER PLAN

SPOKANE PUBLIC SCHOOLS  
SHAW MIDDLE SCHOOL, ON TRACK ACADEMY  
& HILLYARD PUBLIC LIBRARY

DESIGN REVIEW BOARD  
PROGRAM REVIEW / COLLABORATIVE WORKSHOP

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## PROJECT TEAM

### Owner

Spokane Public Schools  
2815 E. Garland Ave.  
Spokane, WA 99207

### Contractor

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11001 E. Montgomery Dr.  
Spokane Valley, WA 99206

### Architect

Integrus Architecture  
10 South Cedar  
Spokane, WA 99201

### MEP

MW Consulting Engineers  
222 N. Wall Street, Suite 200  
Spokane, WA 99201

### Civil Engineer & Landscape Architect

AHBL  
827 West First Avenue, Suite 220  
Spokane, WA 99201-3904



## SHAW CAMPUS MASTER PLAN

The Shaw Campus Master Plan is the addition of three new projects:

- **Shaw Middle School Replacement**
- **On Track Academy**
- **Hillyard Public Library** (relocated to be a shared resource as part of the new Shaw MS building)

A series of meetings have been held to discuss how On Track Academy, Shaw Middle School, Newtech Skill Center, Spokane Public Library, and the Northeast Community Center could work together to create a campus of services which could be used to more fully serve the varying demographics of students. The discussion included strategies around the removal of barriers, both physical and perceived, which effect the campus users.

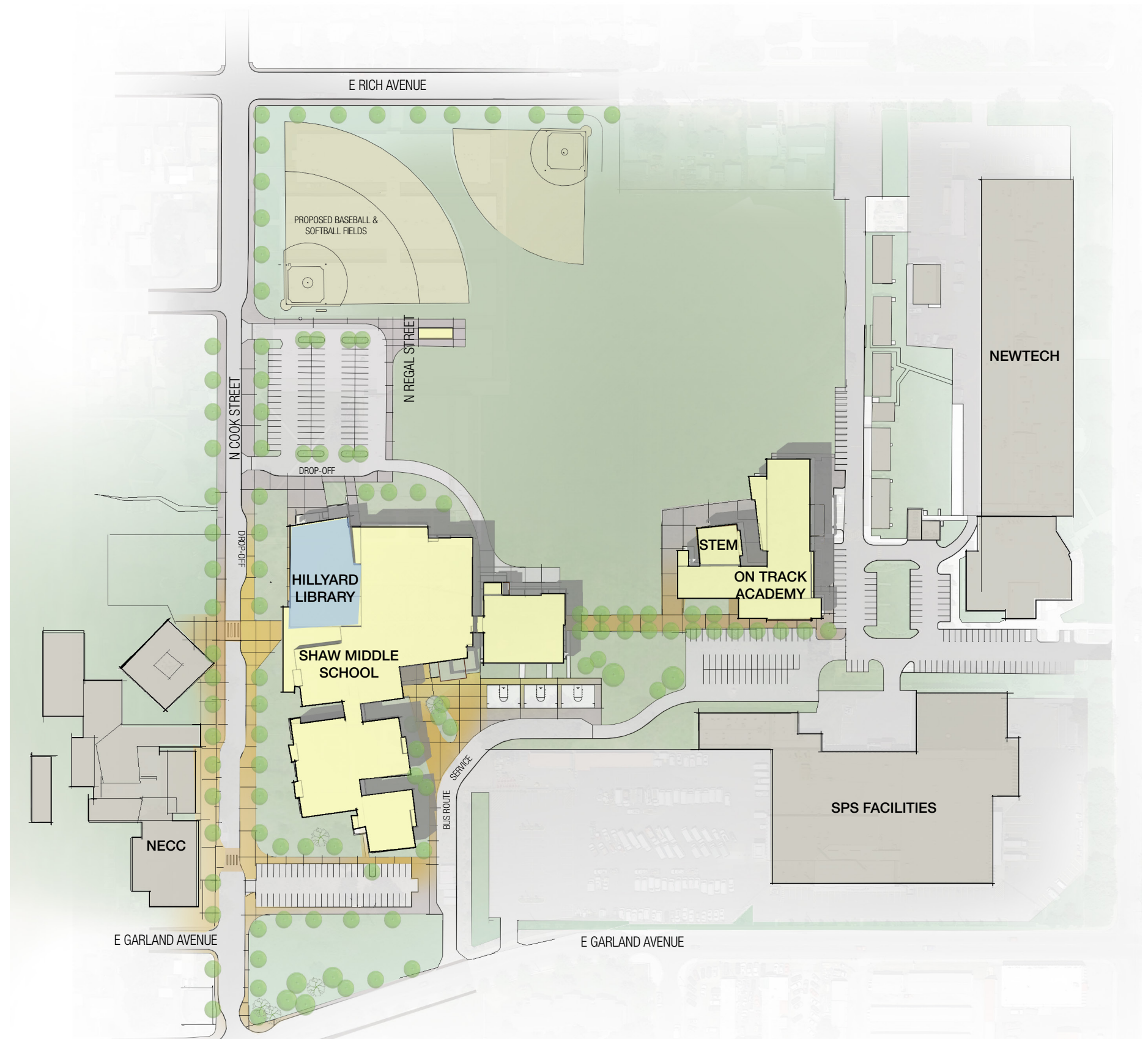
One of the physical barriers identified was North Cook Street which divides access from the Northeast Community Center and Spokane Public Library with Shaw, On-Track, and Newtech. Pedestrian access could be enhanced across the entire if vehicle traffic on Cook street were minimized to develop a more “walkable campus”. Shared spaces between all the facilities could be better utilized in the campus concept to limit the duplication of services and maximize the opportunities for diverse learning.

The proximity of the Northeast Community Center (NECC) is important to the success of this project. The Community Center houses eight agencies with 106 employees on site daily providing daycare, medical, dental, pharmaceutical services, counseling, and housing and utility help among many other things. NECC is very interested in the potential to enhance partner connections with Shaw and On Track to assist students and their families so that the students can focus on success at school.

Spokane Public Library - Hillyard Library will be relocated from across Cook Street to become part of the new Shaw Middle School. Both SPS and SPL are interested in how to strengthen partnerships and provide further opportunities for students through new shared space opportunities and technology access, as well as comfortable private and group study options.

Significant planning has gone into understanding the type of spaces needed to accommodate the variety of activities as part of the larger campus master plan. Shaw, On Track, Newtech, and the Library will all have shared space, which further optimize square footage and provide students with a large variety of learning options far beyond that available from a single building.

Discussions are ongoing how to further the walk-ability of the site and the surrounding neighborhood and further the Hillyard community through exploration of safe routes to school, impacts to school crossings, walk/bike routes, and any infrastructure and traffic calming improvements. Meetings with STA, the City of Spokane, and the Department of Transportation have been ongoing to look at access around the site as well as trail connectivity with the new Children of the Sun Trail as part of the new North-South Freeway.



SITE PLAN

## ON TRACK ACADEMY

### PROJECT BACKGROUND

The existing On Track Academy is located at 2802 East Rich Avenue in Spokane, Washington, and serves around 560 9-12th grade students. The Academy encompasses three specialization branches: Flagship, Bridges, and Summit @ Shaw.

The program branches are currently spread across the Shaw campus and operate out of borrowed classrooms in Shaw Middle School and Newtech Skill Center and five portable classrooms located between the Shaw play fields and Newtech Skill Center.

Passage of the school bond in 2018 allows for the completion of an On Track Academy building that will be located on the Shaw campus proper and will house the three program branches. The building will be sized to accommodate the current population of students with the ability for future building expansion as the student body grows.

Additionally, in 2018 On Track Academy was one of seven schools in Washington State awarded the STEM Capital Grants Program, which provides school districts construction funds necessary to build STEM classroom spaces and labs. The \$1,211,020 awarded to On Track will provide a flexible makerspace, design lab and materials processing lab that will provide STEM pathway options for students that meet NGSS standards. Through programming in partnership with the Northeast Community Center and Hillyard Library, the space is intended to be available to the community during non-student hours.

### PROJECT UNDERSTANDING

The design concept for On Track Academy has been developed in response to the specific criteria and Guiding Principles developed during the educational specification process, specific site conditions, the overall Shaw Campus Master plan, and the unique needs of the three program branches. This project will allow the three academy branches to operate out of the same location for the first time providing opportunities for student and teacher collaboration as well as multiple avenues of student support inherent to the schools program which have been difficult to accommodate without a building to call their own.

Due to the fact that On Track Academy will continue to utilize spaces and amenities in both Shaw Middle School and Newtech Skill Center, locating the building on the east side of the campus near the existing Newtech parking lot, provides a central location and short travel distances to both schools. This location also allows for the addition of a parking lot at the south end of the building near the entrance of the school.

Specific to On Track are the three program branches of Flagship, Bridges, and Summit, each offering a different teaching model and supportive approach to students. The Summit and Flagship programs utilize a team teaching approach and students spend time in both seminar and self-directed learning throughout their day. Bridges students work predominantly independently, needing the ability to meet one-on-one with a teacher with access to quiet study space. Although the program branches are distinctly different, the desire to support the unique needs of the students is universal. Many of the students struggle with a traditional high school environment and course to completion. An overarching goal of the Academy was to stay small in terms of student body but also in the perceived scale of space, particularly in common areas and corridor lengths.

Given the desire to remain uniquely different in terms of program and appearance and to maintain a 'one room schoolhouse' feel the building organization is intentionally simple with a central location of shared areas and common space that provides access to a learning suite to the north and a learning suite to the west. The concept of the learning suite allows the building organization to respond to the individual nature of the program branches providing flexible, transparent learning spaces and group learning space that can be tailored to the specific needs of each program. Accessing the learning spaces through the shared learning area allows a single point of security into the suite and greatly reduces the length and quantity of corridors in the building. Each learning suite will include conference rooms, toilet rooms, and kitchenette spaces. Many of the classrooms will include operable walls for enhanced flexibility.

Due to the permeable nature of the Bridges program, their learning suite is located on the first floor for its proximate location to the main entrance and parking lot. Summit is located in the west wing of the second floor with Flagship occupying the north wing of the second floor. Also located on the second floor are two shared science lab classrooms.

The north wing of the first floor houses the Creative Suite consisting of art, CTE, and science classrooms as well as mechanical and service spaces.

The main entrance, at the south end of the building, is flanked by the administrative suite to the east and commons to the north. The commons area will be a double height space and feature a social learning stair, ample daylight, and views into a central courtyard. Shared spaces such as the Community Outreach Center, multi-use room, teacher work room, and a satellite food service nook are all accessed from the commons. This creates an activated shared space that will enhance unification across the three branches and allow the Academy to meet the needs of students in ways they are currently unable to do.

Unique to On Track Academy is the addition of the STEM Capital Grants Program. This grant will fund a 3,000 sf space that will provide the infrastructure for a variety of STEM and makers projects. The space will be zoned for wet/dirty work, clean work, storage, and a conference room. The STEM lab will be accessed from the west wing and will be double height with views into the space from the second floor. The courtyard located between the STEM lab and the creative suite will provide outdoor seating as well as hardscape for the ability to work on projects in an outdoor setting. The addition of the STEM lab will provide educational pathway options to the students and serve as a resource to the Shaw Campus and community partnerships.

Given the central location of the building, the exterior materials will take cues from nearby Newtech Skill Center and Shaw Middle School. Generally, the building exterior will consist of concrete masonry block, brick, storefront glass, and metal panel as appropriate, materials that are enduring, cost effective, and easily maintained. Colors and tones will be warm and inviting to give On Track a unique identity while maintaining a cohesive aesthetic on the Shaw Campus.

# SHAW MIDDLE SCHOOL

## PROJECT BACKGROUND

Shaw Middle School is located in the Hillyard neighborhood of Spokane at 4106 N. Cook Street and serves around 600 7th and 8th grade students. The building has not had significant improvements since its original construction in 1959. In 2018, the voters of Spokane passed a school bond which allows for the replacement of the aging Shaw Middle School. Shaw will be transitioning from grades 7-8 to grades 6-8 as part of the McCleary Decision for smaller class sizes. In order to sustain future growth the new building will have the ability to accommodate 750 students. Shaw Middle School will continue to be in use during the construction of the new middle school and will be demolished in its entirety upon completion of the new building.

As part of the Shaw Master Campus project the integration of the Spokane Public Library (SPL) - Hillyard Branch into Shaw Middle School will take place concurrently with the building of the new middle school. SPS and SPL leadership have been working together to plan for this partnership as a way to further serve the Hillyard community. Through careful planning, the Public Library will become a resource that triples the size of the traditional middle school library and offer the resources of the entire public library system to students. SPL and Shaw middle school library will be co-located so that shared space can flex between student and public use while maintaining a line of access control that ensures the security of students.

In addition, the common spaces of the middle school that are typically available to the community such as the commons and gymnasium will provide additional resources to the library for special events and programs. For both organizations the net gains in learning opportunities will be greater than the sum of their shared square footage.

## PROJECT UNDERSTANDING

The design concept for the new Shaw Middle School has been developed in response to the new Facility Design Principles, the Guiding Principles developed during the education specification process, existing site conditions, the overall Shaw Campus Master Plan and the unique characteristics of the Hillyard neighborhood. This project provides opportunity to create a new approach to how learning spaces are arranged in a building and used by both teachers and students, to provide a commons area, gymnasium and library to serve as the 'heart of the school' and to respond to the specific needs of the diverse population of Shaw students.

Given the fact that the existing school needs to remain in operation while the new school is being constructed, the desired proximity to the North East Community Center and the new On Track Academy building and the need to maintain required setbacks from the existing high pressured gas line, the most buildable available area is in the south west corner of the site. The main building entrance will be oriented to the west and, along with the traffic calming efforts that will be taking place on Cook Street, will enhance pedestrian access to the North East Community Center. Parent drop-off and the main parking lot will be located at the north end of the building and bus drop off will be re-routed to east side of the building to help keep traffic off of Cook.

Understanding the relationship between the middle school location, On Track Academy and the Hillyard Library as part of a larger campus informed the organization of the spaces within the building. Generally, the building is organized by an oblique axis (main street) running north south and an orthogonal axis (first avenue) running east west. The intersection of these two axes establishes a natural gathering point which becomes the 'heart of the school' where the main entrance, commons, gymnasium and library converge in a central location. The 'learning neighborhoods' are located along the south end of main street creating a natural transition from an energizing public space to a calmer more studious environment.

Shaw has the highest population of students experiencing poverty in the school district, a high population of students in Special Education and many students that experience high levels of anxiety, all resulting in an increased need for behavioral and academic intervention.

The current model of intervention is to remove a student from their classroom and send them to the main office to meet with an interventionist or counselor, resulting in a loss of classroom time. The learning neighborhoods will include a small conference room that will support a new model of 'small scale intervention' with the intention of reducing the number of trips to the main office and loss of classroom time. The learning neighborhoods will also include three general learning classrooms and a science classroom grouped around a shared learning area. The shared learning area will include a gender neutral toilet room and a kitchenette.

The main single height entry is flanked by the administrative suite and reception to the south and the Family Community Resource Center and library to the north. The commons will be

open to the second floor and double as a cafeteria and will feature a large 'social stair' and daylight and views into a courtyard. This courtyard will also serve as a gathering place for students before school and during lunch. The gymnasium, CTE, art, band and choral rooms are located along the east end of 'first avenue' giving these spaces closer proximity to On Track Academy.

The learning neighborhoods are clustered along 'main street' and are strategically staggered to minimize the perception of traveling through a long corridor. Soft seating groupings and the integration of ample daylight and views further enhances the experience of moving from one neighborhood to another. Main street on the second floor, similar to the first, connects the learning neighborhoods and provides daylight and views into the courtyard as well as into the commons area below. First avenue on the second floor provides access into the fitness and mat/ aerobics rooms and offers views into the gymnasium and commons below.

The themes of showcasing and enhancing student learning in a variety of spaces, allowing for daylight, transparency and views, and supporting the unique needs of the students, were all important considerations in the design.

Generally the building exterior will consist of brick masonry, storefront glass, metal panel and HPL panel as appropriate; materials that are enduring, cost effective and easily maintained. Colors and tones will be warm and inviting and overall the materials will be sustainable and appropriate for a middle school. The image, scale and proportioning of the building are important as this building will become a landmark in the Hillyard neighborhood and should reflect the durable, historical qualities of Hillyard.

A secondary parking lot is located at the south end of the building providing additional parking and service access to the kitchen and custodial office. The playfields are located at the north and east portions of the site and half size basketball courts and a play structure will be located in the courtyard in close proximity to commons. The location of the building in proximity to the additional campus amenities will serve in strengthening those relationships and enhancing the learning opportunities of the students.

The learning neighborhood concept was born out of an administrative desire to approach teaching and learning in a way that is uniquely supportive to the needs of the students.

## HILLYARD LIBRARY - SPOKANE PUBLIC LIBRARY

### PROJECT BACKGROUND

As part of the Shaw Master Campus project the integration of the Spokane Public Library (SPL) - Hillyard Branch into Shaw Middle School will take place concurrently with the building of the new middle school. SPS and SPL leadership have been working together to plan for this partnership as a way to further serve the Hillyard community. Through careful planning, the Public Library will become a resource that triples the size of the traditional middle school library and offer the resources of the entire public library system to students. SPL and Shaw middle school library will be co-located so that shared space can flex between student and public use while maintaining a line of access control that ensures the security of students.

In addition, the common spaces of the middle school that are typically available to the community such as the commons and gymnasium will provide additional resources to the library for special events and programs. For both organizations the net gains in learning opportunities will be greater than the sum of their shared square footage.

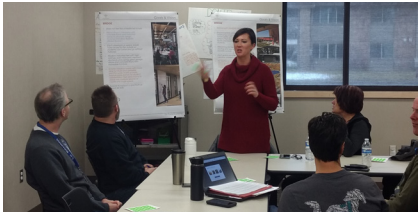







### PROJECT UNDERSTANDING

As part of the Shaw Master Campus project the integration of the Spokane Public Library (SPL) - Hillyard Branch into Shaw Middle School will take place concurrently with the building of the new middle school. SPS and SPL leadership have been working together to plan for this partnership as a way to further serve the Hillyard community. This 9,000 sf space will replace the existing library across Cook Street and through careful planning of the two partnerships, the Public Library will become a resource that triples the size of the traditional middle school library and offer the resources of the entire public library system to students. The co-location of the Hillyard library and the Shaw library provides direct access for student use while maintaining a line of access control between the two spaces that ensures the security of students.

In addition, the common spaces of the middle school that are typically available to the community such as the commons and gymnasium will provide additional resources to the library for special events and programs. For both organizations the net gains in learning opportunities will be greater than the sum of their shared square footage.

Inherent in its location as part of the Shaw Middle school building, the library is focused on children with an expansive children's area front and center. A program/ meeting room and AMP 'maker's space' are directly accessible for Shaw teacher and student use. Group study rooms provide additional opportunities for small group collaboration. The exposed wood beams and ample daylight will provide a welcoming atmosphere and the proximity to the school commons and gymnasium create a 'heart of the school' that will benefit both the student body and public users.

# STAKEHOLDER ENGAGEMENT PROCESS

JUNE-OCTOBER	NOVEMBER-DECEMBER	JANUARY	FEBRUARY	MARCH	APRIL
<p><b>Town Hall Meetings @ Hillyard Library</b></p> <ul style="list-style-type: none"> <li>Community input and collection of ideas for the new Hillyard Library</li> </ul>	<p><b>Establishing Shaw MS Needs</b></p> <ul style="list-style-type: none"> <li>Need for gathering spaces</li> <li>Outdoor facilities for recess</li> <li>Better student access</li> <li>Soft hand-off space and small scale intervention</li> <li>Physical and perceived campus boundaries</li> <li>Clothing and food bank</li> <li>Computer use / library</li> <li>Makers spaces</li> </ul>	<p><b>Group Diagramming - Shaw</b></p> <ul style="list-style-type: none"> <li>Design team met with teachers from each department to discuss content and adjacencies of their programed space</li> <li>Design team used this information to begin to compile a Program Space Summary</li> </ul>	<p><b>Steering Committee</b></p> <ul style="list-style-type: none"> <li>Guiding principles approved</li> </ul>	<p><b>Student Engagement Workshop</b></p> <ul style="list-style-type: none"> <li>Design team led students at On Track through a series of exercises to gain a better understanding of their hopes and fears for their new schools</li> <li>Group exercise: (RE)Imagine OTA</li> </ul>	<p><b>Progress Meeting - Shaw</b></p> <ul style="list-style-type: none"> <li>Program adjacency verification</li> </ul>
<p><b>Campus Master Plan Kick Off Meeting</b></p> <ul style="list-style-type: none"> <li>Group introductions</li> <li>Stakeholder backgrounds and interests</li> <li>Site constraints and campus organization</li> <li>Shared campus resources</li> </ul>	<p><b>Establishing OTA Needs</b></p> <ul style="list-style-type: none"> <li>Central campus location</li> <li>Permeable facility to accommodate student independence</li> <li>Physical and perceived separation of program branch classrooms</li> <li>Integration of OSPI Stem Capital Project Grant space</li> <li>Shared spaces; commons, multi-use</li> <li>Clothing and food bank</li> </ul>	<p><b>Visioning Workshops - Shaw</b></p> <ul style="list-style-type: none"> <li>Group exercise: "Hopes &amp; Dreams"</li> <li>Group exercise: Site Attributes; preferences and suggestions</li> </ul>	<p><b>MS Thinking &amp; Planning Conference</b></p> <ul style="list-style-type: none"> <li>Student Voice initiative</li> <li>School visitations in Portland, OR</li> <li>Community Facility Design Forum</li> <li>Design Summit: Reimagine America's Schools</li> </ul>	<p><b>Progress Meeting - Shaw</b></p> <ul style="list-style-type: none"> <li>"Neighborhood" Exploration: classroom groupings with shared learning &amp; intervention spaces</li> </ul>	<p><b>Progress Meeting - OTA</b></p> <ul style="list-style-type: none"> <li>Program adjacency verification</li> </ul>
<p><b>Shaw Middle School</b></p> <ul style="list-style-type: none"> <li>Shaw MS Background</li> <li>Summit Program</li> <li>Project-based learning</li> <li>Community spaces</li> <li>Need for soft hand-off space</li> <li>On Track Academy / Shaw relationship</li> <li>Public library / Shaw relationship</li> </ul>	<p><b>Common Threads Discussion</b></p> <ul style="list-style-type: none"> <li>Community support services offered at the Community Center and Zone Project</li> <li>DOT working on transitions</li> <li>Library offers community meeting spaces / multi-purpose rooms</li> <li>Library interested in maker spaces that are available to public</li> <li>Computer access in public library</li> </ul>	<p><b>Group Diagramming - OTA</b></p> <ul style="list-style-type: none"> <li>Design team met with teachers from each program branch to discuss content and adjacencies of their programed space</li> <li>Design team used this information to begin to compile a Program Space Summary</li> </ul>	<p><b>SPS / SPL Shared Spaces</b></p> <ul style="list-style-type: none"> <li>How SPS &amp; SPL can leverage each other to improve services &amp; experiences for students and community</li> <li>Division of Shaw library and public library spaces</li> <li>Collection ownership / development</li> <li>Public parking / access needs</li> <li>How WIFI is shared</li> </ul>	<p><b>Progress Meeting - OTA</b></p> <ul style="list-style-type: none"> <li>"Learning Suite" Exploration: self contained program branch suites connected by shared spaces</li> </ul>	<p><b>Community Meeting @ NECC</b></p> <ul style="list-style-type: none"> <li>Community review of Shaw Campus Master Plan</li> </ul>
<p><b>On Track Academy</b></p> <ul style="list-style-type: none"> <li>OTA background and culture</li> <li>Program branches</li> <li>Shared resources and partnerships</li> <li>Day in the life of an OTA student</li> <li>Ability to provide wrap around support services for students</li> </ul>	<p><b>Vancouver Public Schools Presentation</b></p> <ul style="list-style-type: none"> <li>Case study on Community Schools presentation of the success from integrating a Family-Community Resource Center into school facilities</li> </ul>	<p><b>Visioning Workshops - OTA</b></p> <ul style="list-style-type: none"> <li>Group exercise: "Hopes &amp; Dreams"</li> <li>Group exercise: Goals &amp; Vision</li> </ul>	<p><b>Student Engagement Workshop</b></p> <ul style="list-style-type: none"> <li>Design team led students at Shaw through a series of exercises to gain a better understanding of their hopes and fears for their new schools</li> <li>Group exercise: (RE)Imagine Shaw</li> </ul>	<p><b>Design Advisory Team Meeting</b></p> <ul style="list-style-type: none"> <li>Preliminary building program adjacencies</li> </ul>	<p><b>Design Advisory Team Meeting</b></p> <ul style="list-style-type: none"> <li>3D Massing preliminary studies</li> </ul>
<p><b>Zone Project / DOT / EWU Students</b></p> <ul style="list-style-type: none"> <li>Zone project-collective partnerships and impact</li> <li>DOT place-making efforts</li> <li>Future revitalization of east Hillyard</li> <li>EWU student identification of place making opportunities along NSC freeway</li> </ul>			<p><b>Program Verification</b></p> <ul style="list-style-type: none"> <li>Program space lists vetted and verified with SPS, Shaw and OTA</li> </ul>	<p><b>Site Plan Verification</b></p> <ul style="list-style-type: none"> <li>Site diagram master plan showing relationship between Shaw, OTA and Hillyard Library</li> </ul>	<p><b>SPS Board Meeting</b></p> <ul style="list-style-type: none"> <li>Educational specification presentation to the School Board</li> </ul>
			<p><b>Design Advisory Team Meeting</b></p> <ul style="list-style-type: none"> <li>Preferred site diagram and adjacencies discussion</li> </ul>		<p><b>MAY- SEPT</b></p>
					<p><b>Shaw, OTA, Hillyard Design Updates</b></p> <ul style="list-style-type: none"> <li>Overall project design update</li> <li>Teacher and Staff Group Meetings to discuss individualized space needs</li> </ul>
					<p><b>Health at Shaw MS</b></p> <ul style="list-style-type: none"> <li>Overview of new design, How do students see health incorporated into their new school</li> </ul>
					<p><b>STEM Discussion - OTA</b></p> <ul style="list-style-type: none"> <li>Discuss ideas, share images, set goals for the new STEM space</li> </ul>
					<p><b>Back to School Night - SHAW</b></p> <ul style="list-style-type: none"> <li>Show latest site plan, floor plans, elevations, perspectives, answer questions from parents and community.</li> </ul>
					<p><b>Student Travel Safety Impacts</b></p> <ul style="list-style-type: none"> <li>Discussion of Cook street and grant opportunities for calming and prioritizing pedestrians</li> </ul>
					<p><b>Health Impact Assessment</b></p> <ul style="list-style-type: none"> <li>Health Impact campus Assessment, walkability, access, bikes, STA</li> </ul>

GROUP KEY EC: EXECUTIVE COMMITTEE DAT: DESIGN ADVISORY TEAM SC: STEERING COMMITTEE- SHAW, OTA, SPL C: COMMUNITY ST: STUDENT MEETINGS

# CITY COMPREHENSIVE PLAN - HOW THE CAMPUS AND BUILDINGS RESPOND

## SPS AND SPL WILL EMBRACE THE GUIDELINES OF THE CITY OF SPOKANE'S COMPREHENSIVE PLAN. RELEVANT SECTIONS INCLUDE:

**LU 2.1 PUBLIC REALM FEATURES:** Encourage features that improve the appearance of development, paying attention to how projects function to encourage social interaction and relate to and enhance the surrounding urban and natural environment.

### LU 3.8 SHARED PARKING

Encourage shared parking facilities for business and commercial establishments that have dissimilar peak use periods.

### LU 4.1 LAND USE AND TRANSPORTATION

Coordinate land use and transportation planning to result in an efficient pattern of development that supports alternative transportation modes consistent with the Transportation Chapter and makes significant progress toward reducing sprawl, traffic congestion, and air pollution.

### LU 4.4 CONNECTIONS

Form a well-connected network which provides safe, direct and convenient access for all users, including pedestrians, bicycles, and automobiles, through site design for new development and redevelopment.

### LU 5.1 BUILT AND NATURAL ENVIRONMENT

Ensure that developments are sensitive to the built and natural environment (for example, air and water quality, noise, traffic congestion, and public utilities and services), by providing adequate impact mitigation to maintain and enhance quality of life.

### LU 5.4 NATURAL FEATURES AND HABITAT PROTECTION

Ensure development is accomplished in a manner that protects significant natural features and wildlife habitat.

### LU 5.5 COMPATIBLE DEVELOPMENT

Ensure that infill and redevelopment projects are well-designed and compatible with surrounding uses and building types.

### LU 6.9 FACILITY COMPATIBILITY WITH NEIGHBORHOOD

Ensure the utilization of architectural and site designs of essential public facilities that are compatible with the surrounding area.

### TR 1 TRANSPORTATION NETWORK FOR ALL USERS:

Design the transportation system to provide a complete transportation network for all users, maximizing innovation, access, choice, and options throughout the four seasons.

### TR 7 NEIGHBORHOOD ACCESS

Require developments to have open, accessible, internal multi-modal transportation connections to adjacent properties and streets on all sides.

### TR 14 TRAFFIC CALMING

Use context-sensitive traffic calming measures in neighborhoods to maintain acceptable speeds, manage cut-through traffic, and improve neighborhood safety to reduce traffic impacts and improve quality of life.

### TR 18 PARKING

Develop and administer vehicle parking policies that appropriately manage the demand for parking based upon the urban context desired.

### DP 1 PRIDE AND IDENTITY

Enhance and improve Spokane's visual identity and community pride.

### DP 1.2 NEW DEVELOPMENT IN ESTABLISHED NEIGHBORHOODS

Encourage new development that is of a type, scale, orientation, and design that maintains or improves the character, aesthetic quality, and livability of the neighborhood.

### DP 2.4 DESIGN FLEXIBILITY FOR NEIGHBORHOOD FACILITIES

Incorporate flexibility into building design and zoning codes to enable neighborhood facilities to be used for multiple uses.

### DP 2.6 BUILDING AND SITE DESIGN

Ensure that a particular development is thoughtful in design, improves the quality and characteristics of the immediate neighborhood, responds to the site's unique features - including topography, hydrology, and microclimate -and considers intensity of use.

### DP 2.15 URBAN TREES AND LANDSCAPE AREAS

Maintain, improve, and increase the number of street trees and planted areas in the urban environment.

### DP 2.21 LIGHTING

Maximize the potential for lighting to create the desired character in individual areas while controlling display, flood and direct lighting installations so as to not directly and unintentionally illuminate, or create glare visible from adjacent properties, residential zones or public right-of-way.

### DP 5.1 NEIGHBORHOOD PARTICIPATION

Encourage resident participation in planning and development processes that will shape or re-shape the physical character of their neighborhood.

### NE 6.1 NATIVE AND NON-NATIVE ADAPTIVE PLANTS AND TREES

Encourage the use of and development of standards for using native and nonnative adaptive plants and trees in landscape designs for public and private projects.

### NE 13.1 WALKWAY AND BICYCLE PATH SYSTEM

Identify, prioritize, and connect places in the city with a walkway or bicycle path system.

### NE 13.2 WALKWAY AND BICYCLE PATH DESIGN

Design walkways and bicycle paths based on qualities that make them safe, functional, and separated from automobile traffic where possible.

### NE 13.3 YEAR-ROUND USE

Build and maintain portions of the walkway and bicycle path systems that can be used year-round.

### SH 4.1 UNIVERSAL ACCESSIBILITY

Ensure that neighborhood facilities and programs are universally accessible.

### SH 6.3 NATURAL SURVEILLANCE

Design activities and spaces so that users of the space are visible rather than concealed.

### SH 6.6 NEIGHBORHOOD ROLE

Encourage neighborhood residents to apply CPTED principles in their consideration of development issues within their own particular neighborhood.

### N 2.1 NEIGHBORHOOD QUALITY OF LIFE

Ensure that neighborhoods continue to offer residents transportation and living options, safe streets, quality schools, public services, and cultural, social, and recreational opportunities in order to sustain and enhance the vitality, diversity, and quality of life within neighborhoods.

### N 2.3 SPECIAL NEEDS

Ensure that neighborhood-based services are available for special needs and located in proximity to public transit routes in order to be accessible to local residents.

### N 2.2 NEIGHBORHOOD CENTERS

Develop neighborhoods that enable citizens to live, work, shop, socialize, and receive other essential services with their neighborhood.

### N 4.3 TRAFFIC PATTERNS

Alter traffic patterns and redesign neighborhood streets in order to reduce non-neighborhood traffic, discourage speeding, and improve neighborhood safety.

### N 4.9 PEDESTRIAN SAFETY

Design neighborhoods for pedestrian safety.

### N 6.4 MAINTENANCE OF CITY PROPERTY

Ensure that city land, property, and infrastructure within neighborhoods are adequately maintained to protect the public health, safety, and welfare.



The following guidelines were formulated through a multi-day visioning process specific to Shaw Middle school and On Track Academy where ideas from and administrators, teachers, students and input from the Hillyard Community were compiled, organized, and synthesized into new Design Guidelines for each school.

## SHAW MIDDLE SCHOOL DESIGN GUIDELINES

The Shaw Middle School Replacement will be a rich learning environment with strong support services that embrace the new campus and provide an inviting new building for the students, teachers, and the Hillyard Community.

- EVOLVING:** Learning Environments that inspire the emerging adolescent, embrace evolutions in education, and highlight student work to cultivate academic excellence.
- ADAPTABLE:** Spaces that support personal and collaborative learning, accommodate a variety of group sizes, and reinforce personalized hands-on learning and collaboration.
- SUPPORTIVE:** Environments that provide whole-child support and wrap around services for students and their families.
- COMMUNITY:** Places that strengthen partnerships, foster reflection and enjoyment, and are inviting to the surrounding community.
- SAFE AND SECURE:** A school that is safe, secure, and accessible for students, staff and after-hour community use.
- CAMPUS:** A building that engages the whole site as a responsive learning tool, provides links between the interior and exterior, and embraces the whole campus.
- CULTURE:** A vibrant design that advocates school pride, belonging, and inclusion within the school and encourages students to participate and grow.

## ON TRACK ACADEMY DESIGN GUIDELINES

On Track Academy will embrace a “wrap around student support” model through the construction of a new facility that gestures to the surrounding campus support services and inspires a culture of learning.

### SUPPORTIVE LEARNING ENVIRONMENT

1. Provide a variety of spaces that accommodate extroverted and introverted learning styles.
2. Encourage a ‘wrap around support’ model for the students by maximizing the connection between students and staff.
3. Provide ‘learning on display’ opportunities to expand student awareness of program variety.

### SCHOOL CULTURE AND IDENTITY

1. Create program branch ‘neighborhoods’ that support a one room schoolhouse concept.
2. Connect program spaces visually and physically to daylighting and natural landscapes.
3. Encourage community connectivity with shared campus resources.

### RESPONSIVE DESIGN

1. Minimize physical and perceived scale of common spaces and corridors.
2. Provide highly flexible shared spaces that can accommodate a variety of functions, activities, and learning environments.
3. Provide healthy indoor spaces with adequate thermal comfort, fresh air, and lots of daylight.



The Facility Design Principles are guidelines to be used in the design of all new Spokane Public School Middle Schools.

## FACILITY DESIGN PRINCIPLES FOR SPOKANE PUBLIC SCHOOLS NEW MIDDLE SCHOOLS

### WHOLENESS

The concepts articulated in the Middle school facility design principles have been interwoven into the design of the Shaw Middle School. Each concept has been considered carefully and thoughtfully applied throughout the entire design to create specific moments that directly and indirectly reinforce the future culture of learning.

### COMMUNITY

Shaw Middle School is unique in that its location in the Hillyard community has tremendous opportunity to facilitate connections between services for students and parents. Shaw will be incorporating a Family Community Resource Center accessible off the main entry vestibule to provide support and access to services that are readily available at the Northeast Community Center located directly across the street which was one of the intentions of the new design. Additionally, the design of the Hillyard Library will be integrated directly into Shaw MS and the civic presence of the library at the NW corner of the building enhances the community contact with the school.

### CONNECTIVITY

Each space is designed with Visibility and Transparency in mind. Whether this is in relation to safety and security or piquing student interest with an engaging classroom activity as they walk by. Spaces have been organized to minimize distraction and travel distances.

### CREATIVITY

A well designed space will communicate the type of activity that will be housed in it. Creating a culture of creativity, exploration, problem based learning and engagement requires spaces to be tactile, flexible, hard working, and adaptable. Classrooms throughout have operable walls and direct access to shared learning neighborhoods with kitchenettes, a restroom and small conference room. Surfaces are durable and daylight and transparency abundant to create an environment that supports and enhances the activities within.

### CURIOSITY

### VARIETY

### MULTIPLICITY

Shaw Middle School is a culturally diverse population with more than 12 languages being spoken within the school. Additionally many students experience high anxiety, various levels of trauma, and have physical symptoms as a result. Shaw also has over 100 Special Education students in their program. Because of the wide range of students, experiential graphics to support the diversity of student body have been proposed throughout. Corridors are wide to minimize stress during transitions, and classrooms have been grouped in neighborhoods so students can stay within a small community throughout the day.

### PLUGGED/ UNPLUGGED

A wide range of seating and presentation opportunities have been located throughout the design from formal to informal. The commons area has a social stair for student gathering as well as the infrastructure to accommodate presentations. The gymnasium will be able to host the entire student body on bleachers for assemblies. Private but easily supervisable cave spaces are dotted throughout. Also within each classroom neighborhood hosts a variety of seating, conference, and teaching tools to provide for diverse teaching and learning opportunities.

### OUTSIDE/ INSIDE

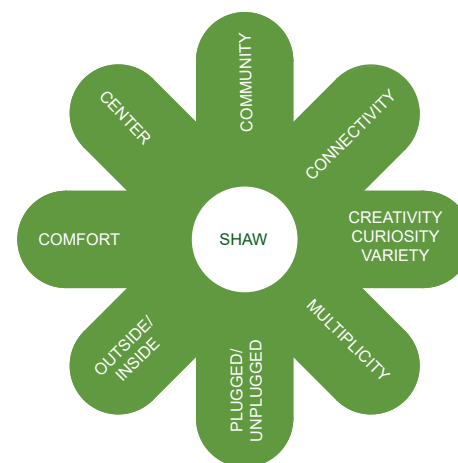
Every classroom has access to fresh air and views to the exterior. Materials are being selected that are durable, non toxic, and sensitive to the environment. The material and color palate is warm and inviting with walls that are tackable to be used as a backdrop for student work. Doors to the exterior are dispersed throughout to encourage outdoor learning and large gaskets of windows separate classroom wings to draw in light and views.

### COMFORT

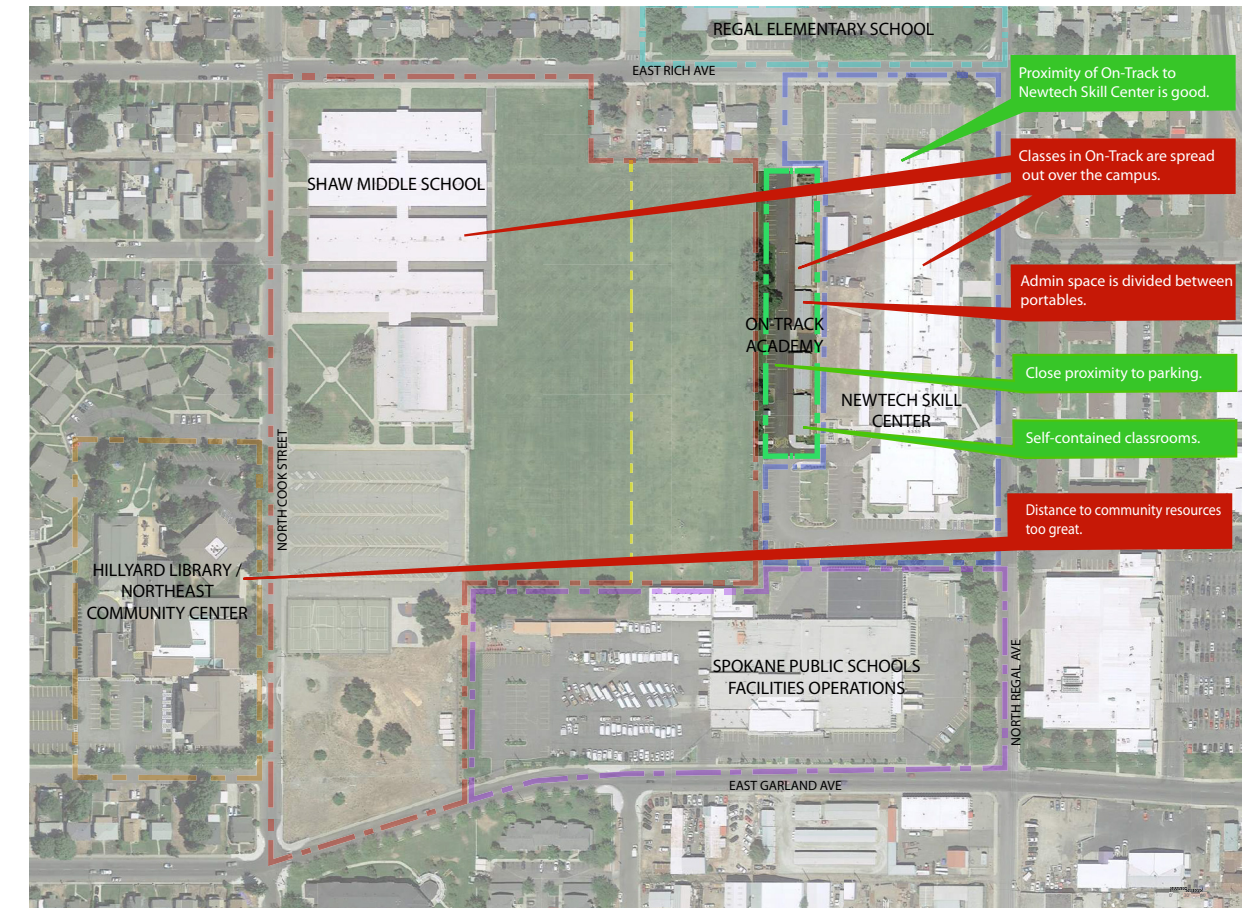
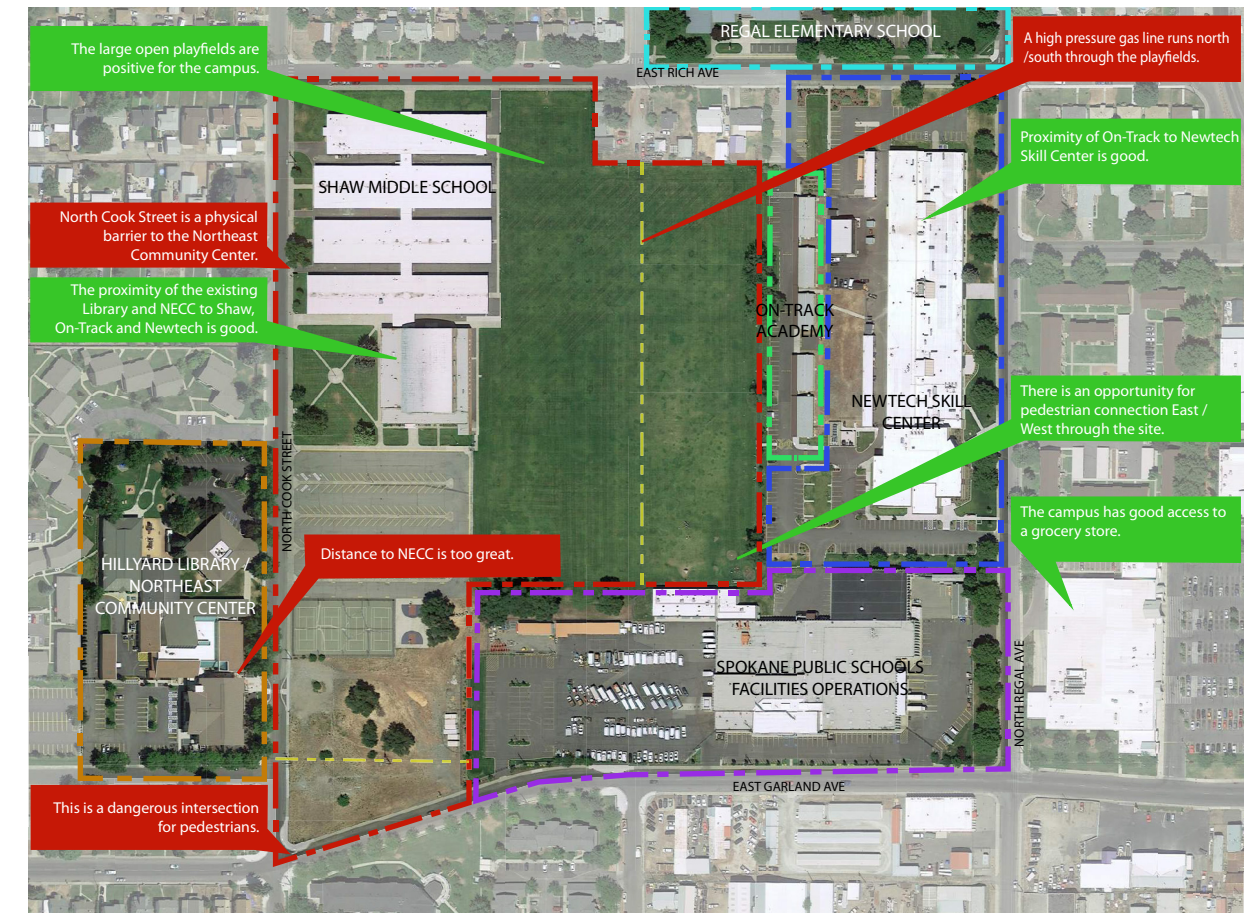
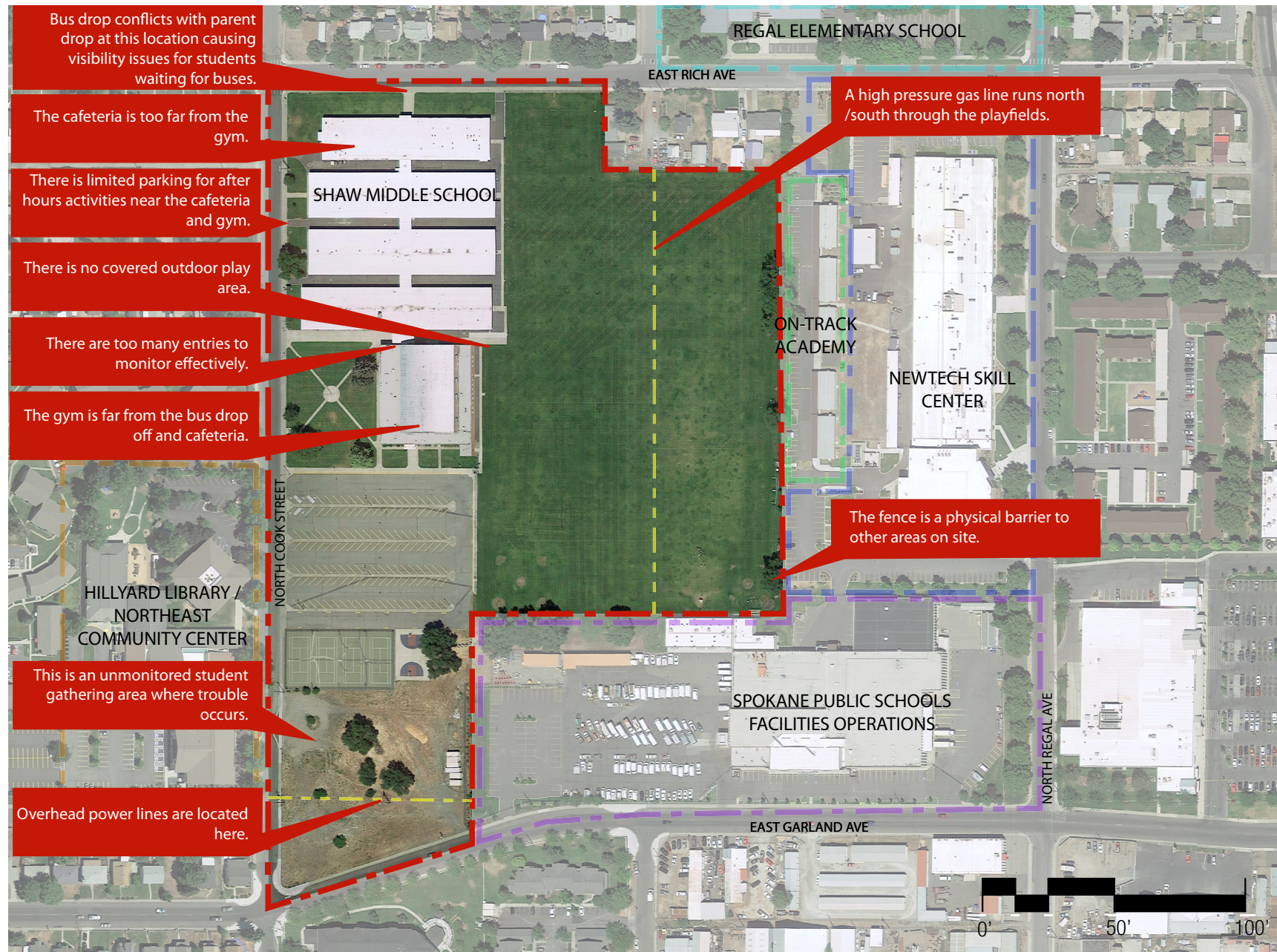
Shaw was designed with the comforts of home in mind. Starting with the front entry - image, scale and proportioning have been carefully considered. Classroom neighborhoods have bathrooms and kitchenettes for lunches and snacks. They also have variety of hard and soft seating options to allow for special arrangements. The building exterior will consist of brick masonry, storefront glass, metal panel, and HPL panel as appropriate; materials that are enduring, cost effective, and easily maintained. Colors and tones will be warm and inviting; and will nod to some of the timeless durable materials found throughout Hillyard.

### CENTER

The design of Shaw Middle School is centered around the “Heart of the School” concept. Shaw MS and the Design Team identified the Gym/ Fitness area, Library, Administration and Commons as the spaces that wanted to be most centrally located. Creating a facility that is usable beyond the school day for activities and community partnerships is central to the concept and supports the critical adjacencies identified as the “Heart of the School.” The “Heart of the School” is intended to be the central hub of activity. It is a well-crafted series of spaces with opportunities for collaboration, socialization, exploration, formal and informal gathering, creativity, and community use. The space is flexible, adaptable and multi functional to host a variety of activities.







**CONTEXT ANALYSIS**

**Neighbors-** The property is flanked by NE Community Center, Existing Hillyard Library and Senior apartments to the West, Regal Elementary and residential homes to the North, New Tech Skills Center and the existing On-Track portables to the East, and The Spokane Public Facilities Operations building to the south. To the South is also Garland Ave a fairly significant arterial for vehicle traffic.

**Geology-** No significant geology exists on the site, and the site itself is fairly level with the exception of a significant drop to the south at the SPS facilities building. No significant views are present.

**Traffic- Vehicular -** This sit is surrounded on 3 sides by streets. The major arterial is Garland Ave to the South. A traffic study has already been done to see impact of the project on the neighborhood.

**Traffic- Pedestrian-** There are many students that walk to school, as well as significant pedestrian traffic usually on and around the site.



SPOKANE PUBLIC SCHOOLS MAINTENANCE DEPARTMENT



PROXIMITY TO COMMERCIAL AND MULTIFAMILY HOUSING



PROXIMITY TO GROCERY



APPROACH TO NEWTECH SKILLS CENTER



NEWTECH SKILLS CENTER MAIN ENTRY



PLAYGROUND AND TREE LINED STREET



NEWTECH SKILLS CENTER



REGAL ELEMENTARY SCHOOL MAIN ENTRY



NORTHEAST COMMUNITY CENTER



NORTHEAST COMMUNITY CENTER



NORTHEAST COMMUNITY CENTER ENTRY



HILLYARD NEIGHBORHOOD



HILLYARD LIBRARY



HILLYARD LIBRARY



HILLYARD LIBRARY



HILLYARD NEIGHBORHOOD



TENNIS COURTS



EXISTING SHAW SOUTH WITH PARKING



EXISTING SHAW WEST



EXISTING SHAW GYMNASIUM WEST



EXISTING SHAW MAIN ENTRY



EXISTING SHAW MAIN ENTRY



EXISTING SHAW CLASSROOM WINGS



EXISTING SHAW NORTHWEST CORNER



EXISTING SHAW MIDDLE SCHOOL



HILLYARD NEIGHBORHOOD



HILLYARD NEIGHBORHOOD



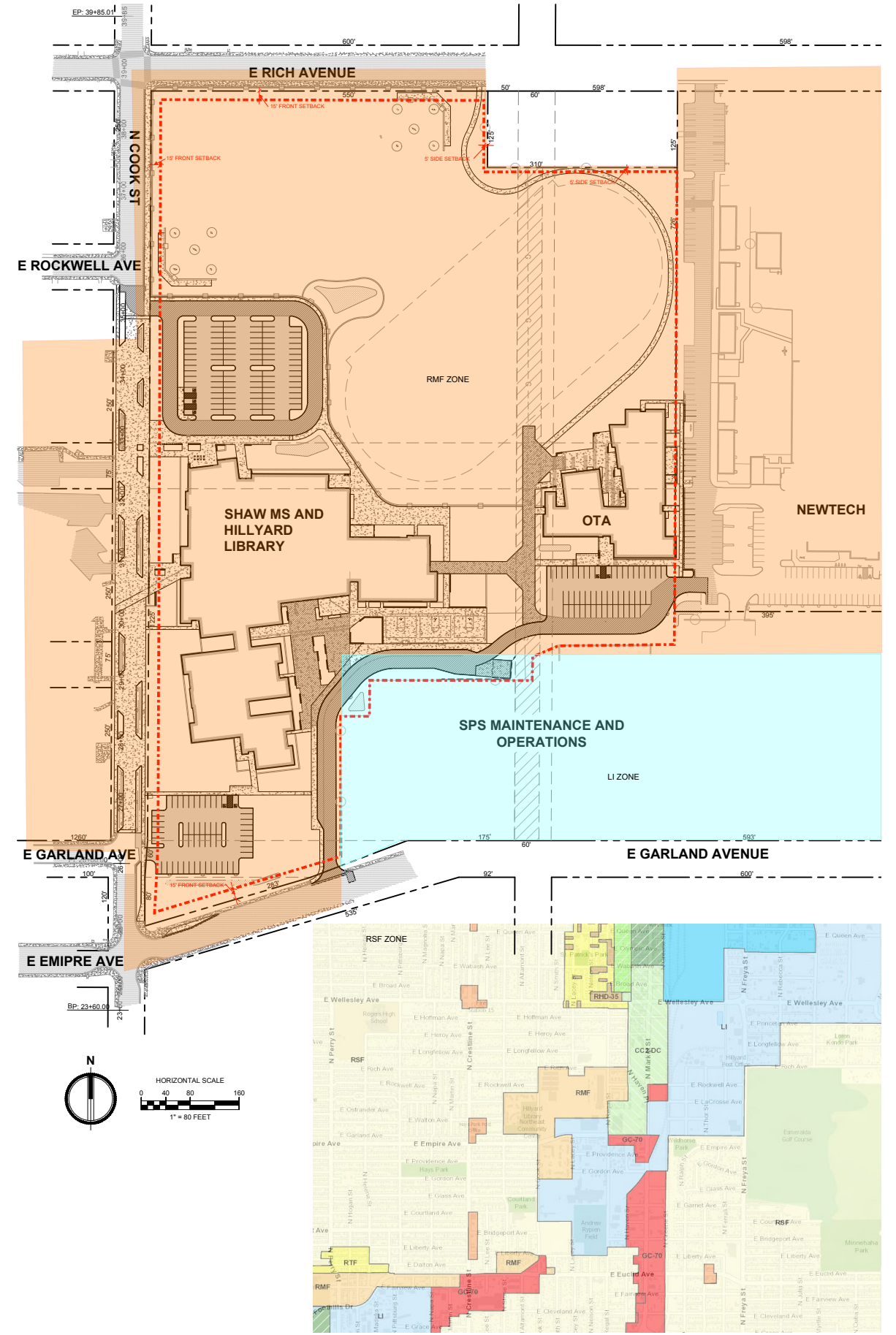
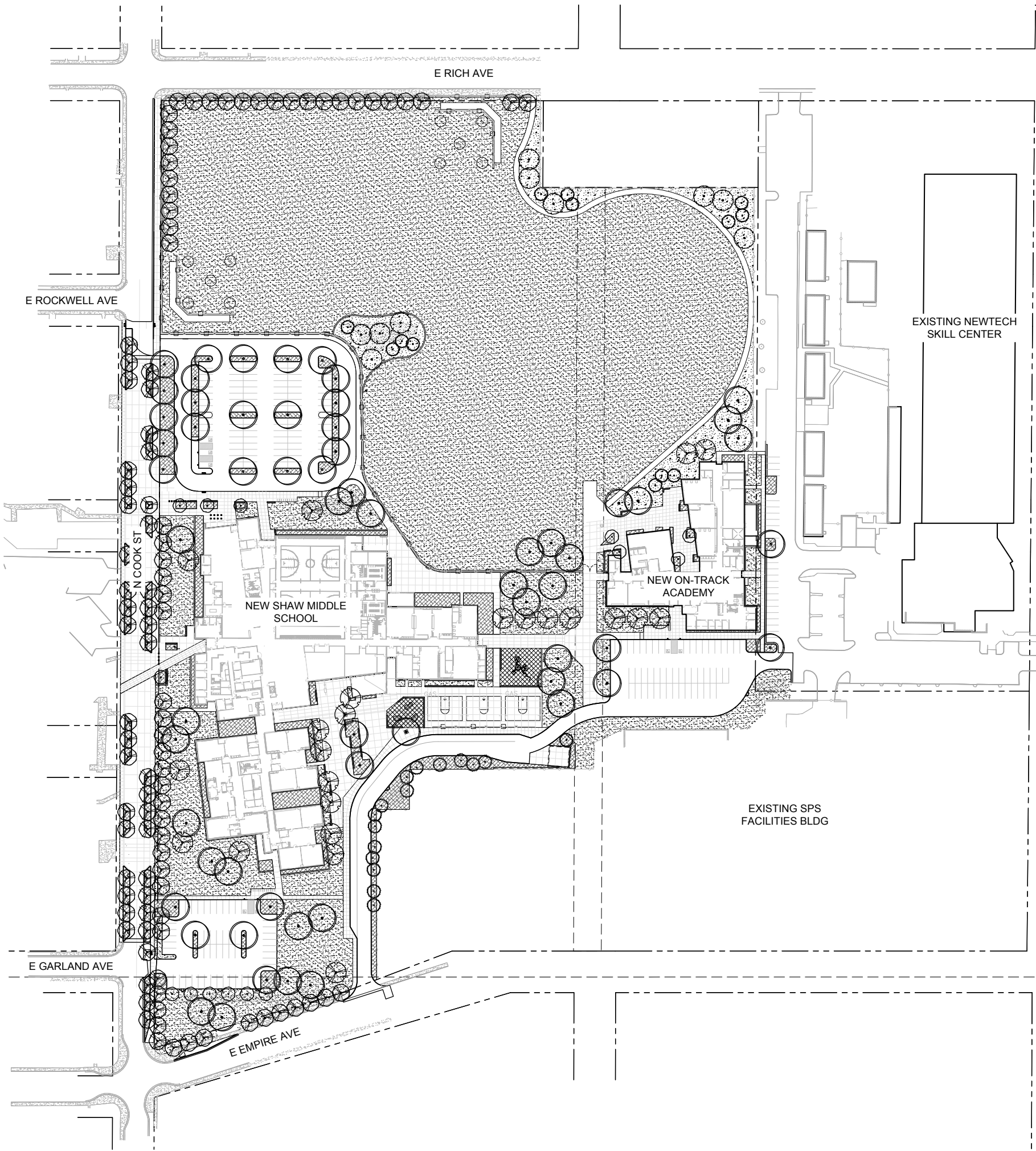
HILLYARD NEIGHBORHOOD

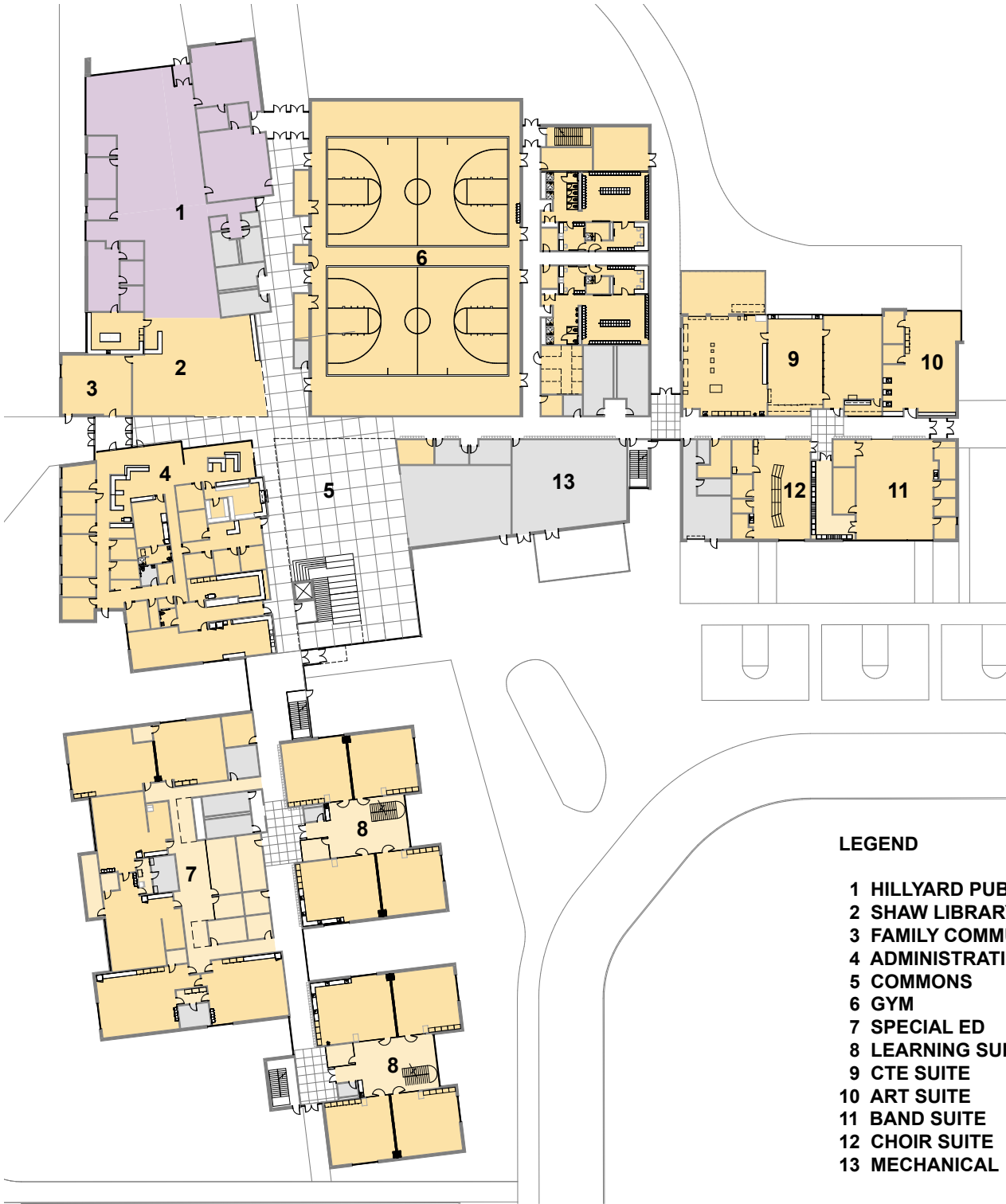


HILLYARD NEIGHBORHOOD



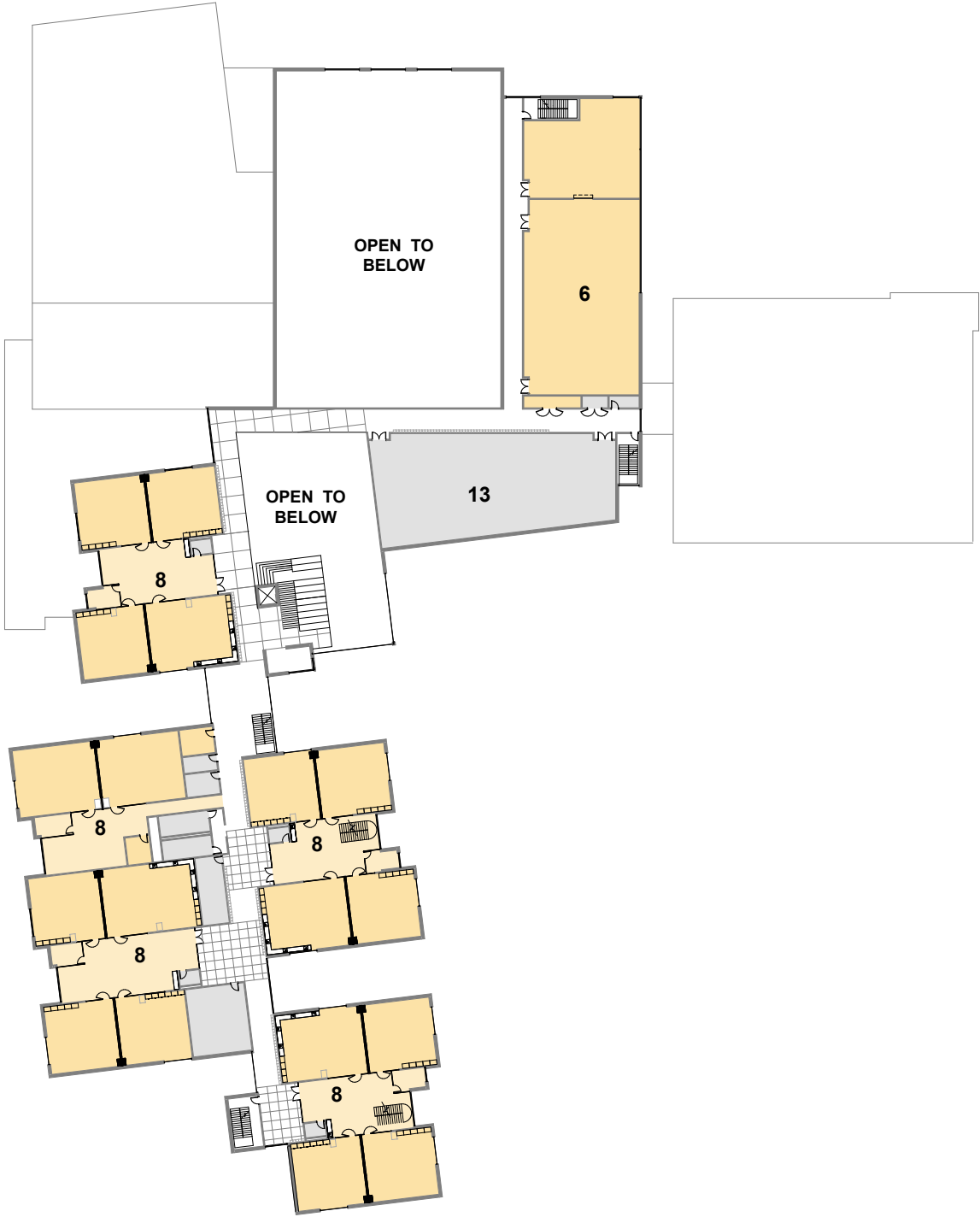
HILLYARD NEIGHBORHOOD





**SCHEMATIC FLOOR PLAN - LEVEL 1**

- LEGEND**
- 1 HILLYARD PUBLIC LIBRARY
  - 2 SHAW LIBRARY
  - 3 FAMILY COMMUNITY RESOURCE CENTER
  - 4 ADMINISTRATION
  - 5 COMMONS
  - 6 GYM
  - 7 SPECIAL ED
  - 8 LEARNING SUITE
  - 9 CTE SUITE
  - 10 ART SUITE
  - 11 BAND SUITE
  - 12 CHOIR SUITE
  - 13 MECHANICAL



**SCHEMATIC FLOOR PLAN - LEVEL 2**

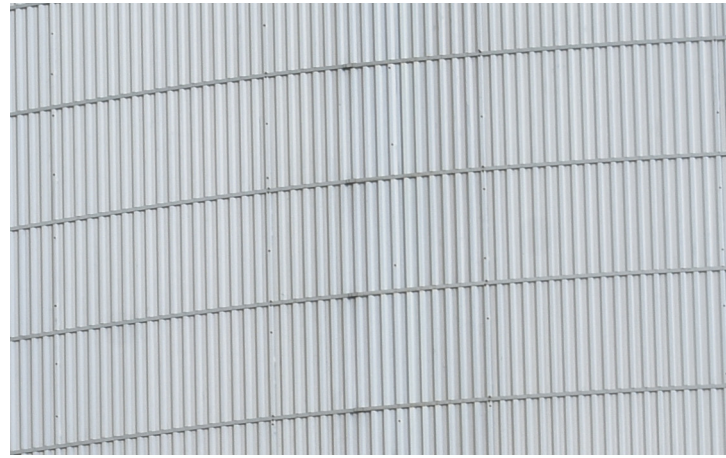




- LEGEND**
- 1 MEETING ROOM
  - 2 AMP "MAKER" SPACE
  - 3 RESTROOMS
  - 4 OFFICES
  - 5 WORK ROOM
  - 6 STORAGE
  - 7 GROUP STUDY AREAS
  - 8 CHILDREN'S AREA
  - 9 ADULT TEEN AREA
  - 10 MARKETPLACE

HILLYARD AND SHAW LIBRARY FLOOR PLANS





METAL SIDING



EXPOSED STEEL & WOOD



BRICK



CONCRETE MASONRY BLOCK

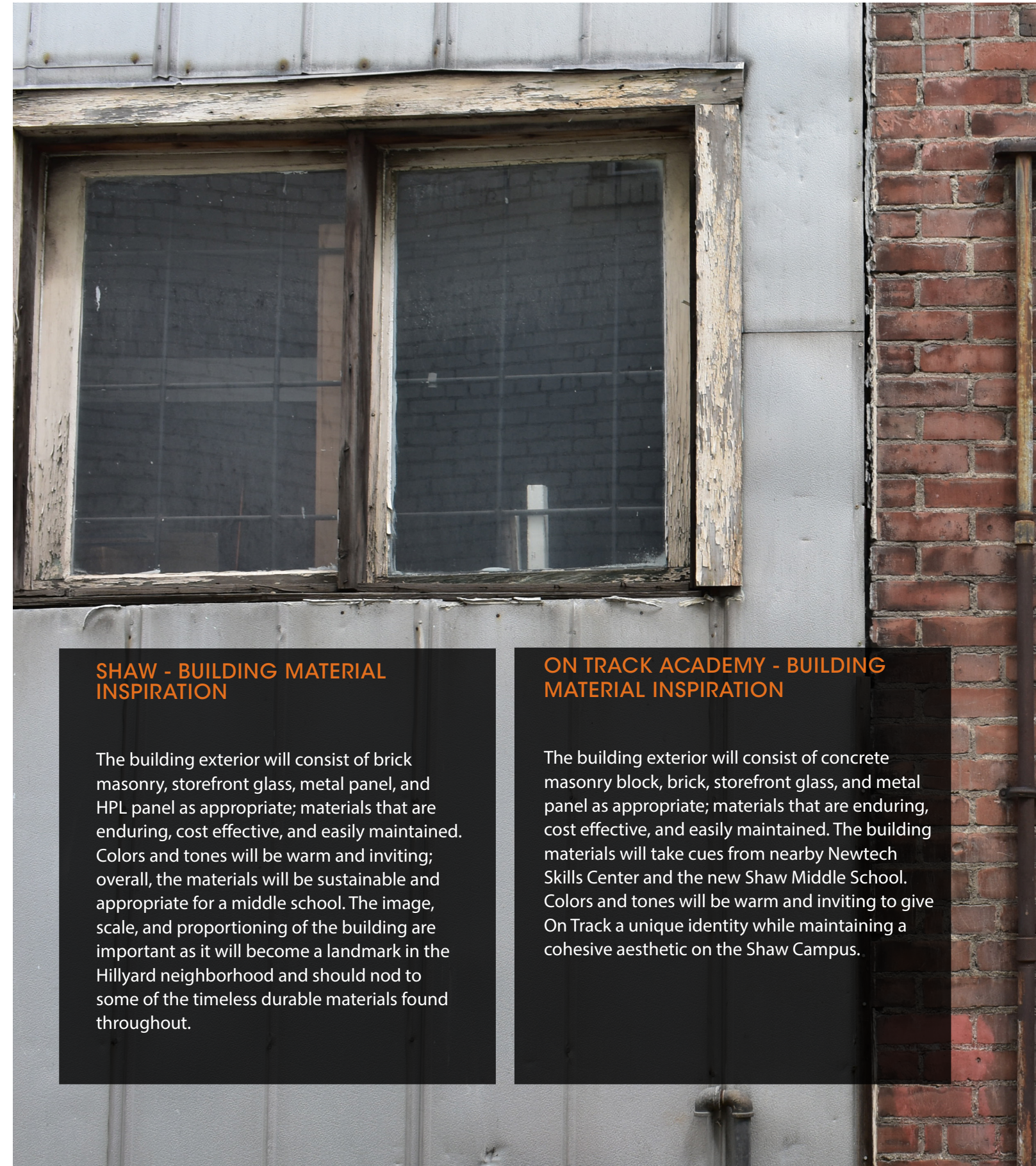


PRE-CAST CONCRETE & METAL SIDING



CONCRETE MASONRY UNIT & METAL SIDING

**EXISTING PROXIMATE BUILDING MATERIALS**



**SHAW - BUILDING MATERIAL INSPIRATION**

The building exterior will consist of brick masonry, storefront glass, metal panel, and HPL panel as appropriate; materials that are enduring, cost effective, and easily maintained. Colors and tones will be warm and inviting; overall, the materials will be sustainable and appropriate for a middle school. The image, scale, and proportioning of the building are important as it will become a landmark in the Hillyard neighborhood and should nod to some of the timeless durable materials found throughout.

**ON TRACK ACADEMY - BUILDING MATERIAL INSPIRATION**

The building exterior will consist of concrete masonry block, brick, storefront glass, and metal panel as appropriate; materials that are enduring, cost effective, and easily maintained. The building materials will take cues from nearby Newtech Skills Center and the new Shaw Middle School. Colors and tones will be warm and inviting to give On Track a unique identity while maintaining a cohesive aesthetic on the Shaw Campus.

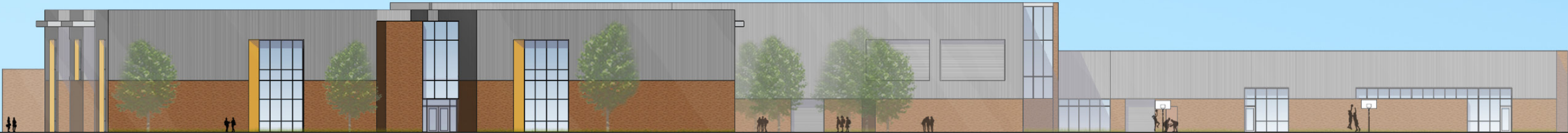








WEST ELEVATION



SOUTH ELEVATION

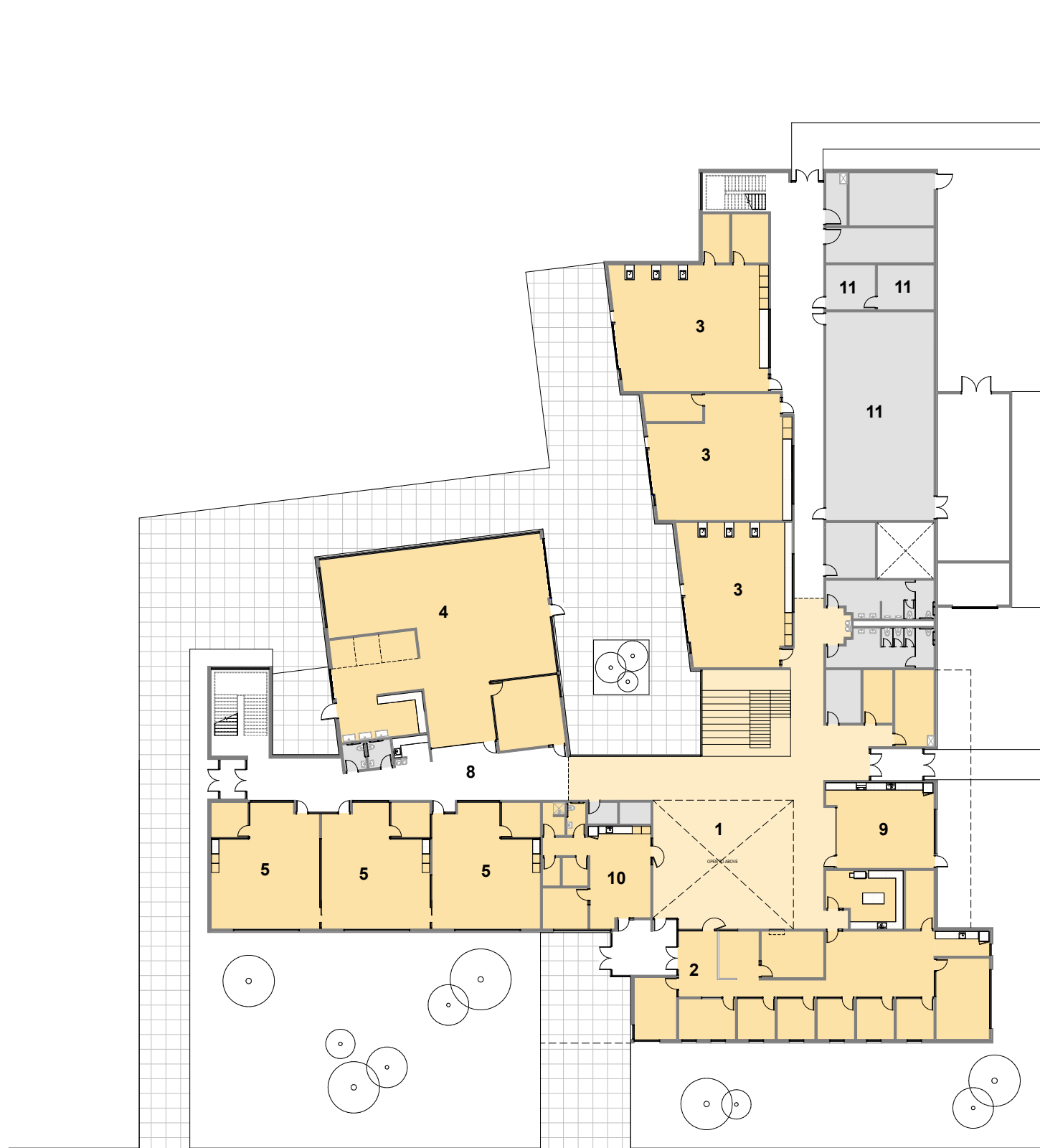


NORTH ELEVATION



EAST ELEVATION





**SCHEMATIC FLOOR PLAN - LEVEL 1**

**LEGEND**

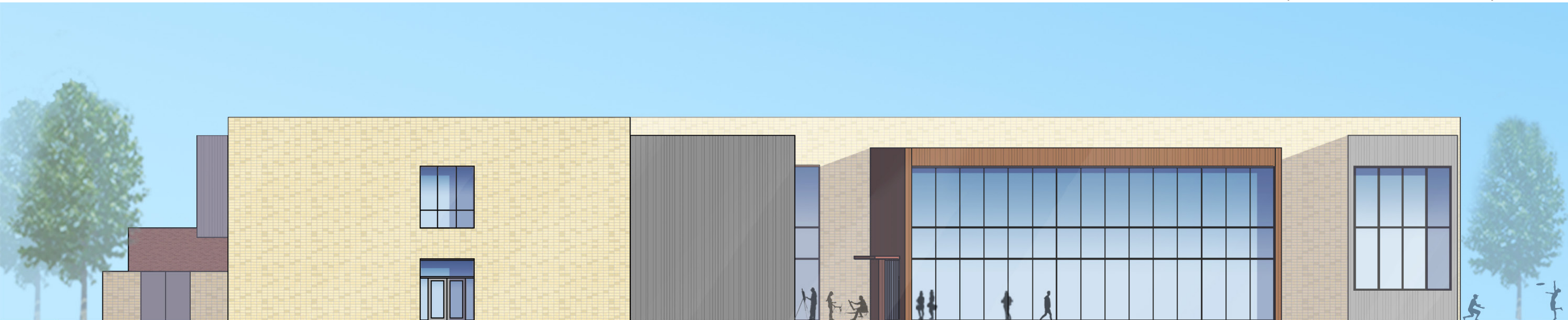
- 1 COMMONS
- 2 ADMIN
- 3 CREATIVITY SUITE
- 4 STEM (COMMUNITY USE)
- 5 BRIDGE LEARNING SUITE
- 6 FLAGSHIP LEARNING SUITE
- 7 SUMMIT LEARNING SUITE
- 8 SHARED AREAS
- 8 SCIENCE
- 9 MULTI-PURPOSE ROOM
- 10 COMMUNITY OUTREACH STUDENT CENTER
- 11 MECHANICAL/ ELECTRICAL



**SCHEMATIC FLOOR PLAN - LEVEL 2**



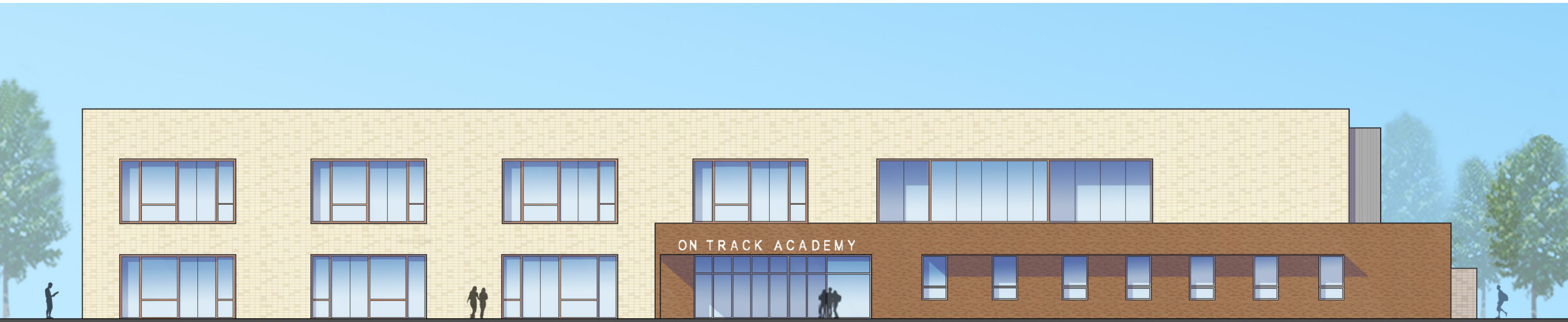




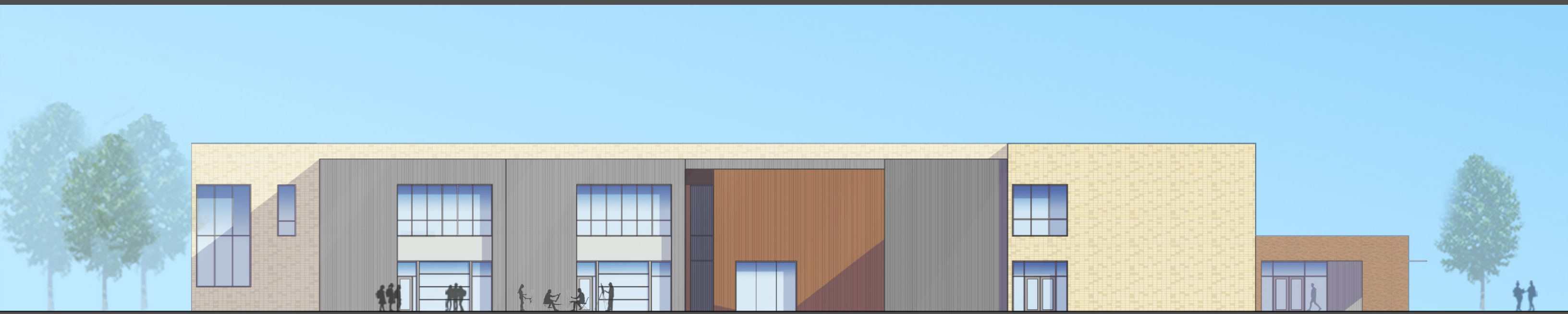
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



*Ford*

RALPH THURSBY  
AND SONS



## Pre-Development Conference Notes

**Project Name: Shaw Middle School**

**To:** Ty Miller  
Integrus Architecture  
10 S Cedar St  
Spokane, WA 99201  
tmiller@integrusarch.com

**Phone:** 838-8681

**From:** Mike Nilsson, Facilitator

**Phone:** 625-6323

**Project Name:** Shaw Middle School  
**Permit No.:** B19M0089DPEV  
**Site Address:** 4106 N Cook  
**Parcel No.:** 35045.2326  
**Meeting Date:** Thursday, August 22, 2019

Thank you for attending a Pre-Development meeting with the City of Spokane. Below are notes summarizing the information that was presented to you at your meeting on Thursday, August 22, 2019. These notes are broken down into three sections:

- Section 1: This section describes those proposed items specific to the building improvements with directives for code compliance addressed by the Building and Fire Departments as well as Spokane Regional Health District when warranted.
- Section 2: This section describes all issues outside of the building within the property boundaries including landscaping, parking requirements and accessibility, utilities, traffic, and refuse addressed by Planning, Engineering, Traffic, and Solid Waste Departments.
- Section 3: This section contains information for permit submittal, our intake process, and general information.

Please be advised that these notes are non-binding and do not constitute permit review or approval. The comments were generated based on current development standards and information provided by the applicant; therefore, they are subject to change. Comments on critical items will be highlighted in **bold** text.

### Project Information:

- A. Project Description: New middle school.
- B. Scope and Size: The scope of work is a new Middle School building with two floors and no basement. The building will also include the local Library.
- C. Special Considerations: CUP
- D. Estimated Schedule: End of 2019
- E. Estimated Construction Cost: \$46,200,000

## Section 1 – Comments Specific to the Building

### **Dermott Murphy - Deputy Building Official (625-6142):**

#### **GENERAL PLAN REVIEW REQUIREMENTS**

1. The size and scope of this project will require that a Washington State Licensed Architect stamp the plans. Plans not stamped by the architect must be stamped by an appropriate engineer.
2. Codes which will be used to approve this project will be the 2015 I.C.C. code series and the appropriate Washington State Amendment document for each. Exceptions to this will be the 2017 National Electrical Code and WAC 296-46B and the Uniform Plumbing Code 2015 and WAC 50-56. Accessibility Standards will come from Document ICC A117.12009. Residential Energy Code (REC), which applies to this project,
3. The designer of the structures will need to observe structural design requirements as shown in IBC chapter 16 for critical elements, including earthquake loading.
4. The designer of the structure will need to identify any methods of construction which require special inspections identified in IBC chapter 17.
5. A statement of special inspection, where necessary, must be provided to receive the permit.

#### **Plans and Specifications**

The Plan Review will reflect the extent and completeness of the submitted documents. Attached is a listing (by discipline) of the plans, specifications, and engineering details which should be submitted.

**NOTE: Not all information requested may affect your project.**

#### **BUILDING PLAN REVIEW REQUIREMENTS**

In order to perform a thorough Building Plan Review, the following specifications, drawings and details should be submitted:

**Complete signed and sealed architectural plans, structural plans and material specifications of all work.**

#### **A site plan including the following information:**

1. Size and location of all new construction and all existing structures on the site.
2. Distances from lot lines.
3. Established street grades and proposed finish grades.

#### **Architectural plans and specifications to include:**

1. Description of uses and the proposed use group(s) for all portions of the building. The design approach for mixed-uses (as applicable).
2. Proposed type of construction of the building.
3. Fully dimensioned drawings to determine areas and building height.
4. Adequate details and dimensions to evaluate means of egress, including occupant loads for each floor, exit arrangement and sizes, corridors, doors, stairs, etc.
5. Exit signs/means of egress lighting, including power supply.
6. Accessibility provisions.

7. Description and details of proposed special occupancies such as a covered mall, high-rise, mezzanine, atrium, public garage, etc.
8. Adequate details to evaluate fire resistive construction requirements, including data substantiating required ratings.
9. Details of plastic, insulation, and safety glazing installation.
10. Details of required fire protection systems.

**Structural plans, specifications, and engineering details to include:**

1. Soils report indicating the soil type and recommended allowable bearing pressure and foundation type.
2. Signed and sealed structural design calculations which support the member sizes on the drawings.
3. Local design load criteria, including frost depth.
4. Earthquake seismic zone/effective peak acceleration coefficient.
5. Details of foundations and superstructure.
6. Provisions for required special inspections.
7. Applicable construction standards and material specifications (i.e., masonry, concrete, wood, steel, etc.).

**MECHANICAL PLAN REVIEW REQUIREMENTS**

In order to perform a thorough Mechanical Plan Review, the following specifications, drawings and details should be submitted:

**Complete signed and sealed plans and specifications of all heating, ventilating and air conditioning work.**

**Labeling criteria of all mechanical equipment.**

**Heating equipment data including the following information:**

1. Equipment capacity (b.t.u.).
2. Controls.
3. Appliance layouts showing location, access and clearances.
4. Disconnect switches.
5. Indoor and outdoor design temperatures.

**Ventilation data, ductwork and equipment including the following:**

6. Ventilation schedule indicating the amount of outside air (in c.f.m.) supplied to each room or space.
7. Layout showing outside air intakes.
8. Construction of ducts, including support and sheet metal thickness.
9. Duct lining and insulation materials with flame spread and smoke-developed ratings.
10. Exhaust fan ductwork layout and termination to the outside.
11. Size of louvers and grilles for attic ventilation.

**Boiler and water heater equipment and piping details including safety controls and distribution piping layout.**

**Gas and fuel oil piping layout, material, sizes, and valves.**

**Combustion air intake quantities and details.**

**Commercial kitchen exhaust equipment details including hood and fan drawings, details of automatic fire suppression, and clearances.**

**Chimney and chimney connector or vent and vent connector details and connector gages and clearances.**

**Mechanical refrigeration equipment data and details.**

**Solid fuel burning appliance details including incinerator and fireplace drawings and details. Energy conservation equipment data and details.**

## **PLUMBING PLAN REVIEW REQUIREMENTS**

In order to perform a thorough Plumbing Plan Review, the following specifications, drawings and details should be submitted:

**Complete signed and sealed plans and specifications of all plumbing work.**

**Plumbing fixture and piping material specifications including identification of the applicable referenced standard.**

**Plumbing fixture information to include:**

1. The occupant load used to determine the number of required plumbing fixtures.
2. Number and distribution based on the use group.
3. Separate facilities for each sex.
4. Accessible plumbing facilities and details.
5. Anti-scald shower valves.

**Plumbing piping plan showing layout, pitch of drainage lines, cleanouts, size of traps, and riser diagram.**

**Water supply and distribution plan showing piping sizes, valves, water heater details and temperature-pressure relief valve with discharge pipe.**

**Sanitary drainage and vent system riser diagram showing drainage fixture units (dfu), sizes and vent termination details through the roof.**

**Potable water system riser diagram showing piping sizes and provisions for protection of potable water supply.**

**Piping support and installation schedule.**

**Storm drainage details including rain gutter or roof drain sizes and downspout/leader sizes. Health care plumbing and fixture details.**

## **ELECTRICAL PLAN REVIEW REQUIREMENTS**

In order to perform a thorough Electrical Plan Review, the following specifications, drawings and details should be submitted:



Complete signed and sealed plans and specifications of all electrical work.

Labeling criteria of all electrical equipment.

Lighting floor plan including electrical circuits indicating conduit and wiring sizes.

Power floor plans including electrical circuits indicating conduit and wiring sizes, equipment and disconnect switches.

Exit sign/means of egress lighting location and power supply.

Panel board schedule.

Lighting fixture schedule.

Symbol schedule and diagrams.

**Specifications to include requirements for:**

1. Raceway and conduit with fittings.
2. Wire and cable.
3. Electrical boxes, fittings and installation.
4. Electrical connections.
5. Electrical wiring devices.
6. Circuit and motor disconnects.
7. Hangers and supporting devices.
8. Electrical identification.
9. Service entrance and details.
10. Overcurrent protection.
11. Switchboards.
12. Grounding.
13. Transformers.
14. Panelboards.
15. Motor control centers.
16. Lighting fixtures.
17. Fire protective signaling systems.
18. Automatic fire detection systems.
19. Emergency/standby systems.

**ACCESSIBILITY PLAN REVIEW REQUIREMENTS**

Accessibility Plan Reviews are based on the specified edition of the ICC/ANSI A117.1 standard as referenced by the building code.

In order to perform a thorough Accessibility Plan Review, the following specifications, drawings and details should be submitted.

**1. Complete signed and sealed (as required by applicable laws) architectural plans and material specifications of all work.** Details and plans drawn to scale with sufficient clarity, details and dimensions to show the nature and extent of the work proposed.

**2. A site plan including the following information:**

- a. Size and location of all new construction and all existing structures on the site.
- b. Location of any recreational facilities (i.e., pool, tennis courts, etc.)
- c. Established street grades and proposed finished grade.
- d. Accessible parking, other locations of public access to the facility, accessible exterior routes and locations of accessible entrances.

**3. Architectural plans and specifications to include:**

- a. Description of uses and the proposed use group(s) for all portions of the building. The design approach for mixed-uses (as applicable).
- b. Fully dimensioned drawings to determine areas and building height.
- c. Adequate details and dimensions to evaluate accessible means of egress, including occupant loads for each floor, exit arrangement and sizes, corridors, doors, stairs, areas of refuge, etc.
- d. Adequate details and dimensions to evaluate the accessible route to areas required to be accessible, including corridors, doors, protruding objects, maneuvering clearances, clear floor space at fixtures and controls, etc.
- e. Accessibility provisions including but not limited to access to services, seating, listening systems, accessible fixtures, elevators, work surfaces, etc.
- f. Accessible plumbing facilities and details.
- g. Tactile signage provided.
- h. Details of required fire protection systems.

**Note:** The Accessibility Review will cover the scoping requirements in Chapter 11 and other accessibility related requirements mainstreamed throughout the applicable building code. Technical requirements covered will be based on the applicable edition of ICC/ANSI A117.1. Accessible and Usable Buildings and Facilities.

**Dave Compton - Assistant Planner (625-6089):**

1. Development Standards:

- a. Front yard setback: 15 feet from front property line
- b. Side yard setback: 5 feet
- c. Rear yard setback: 25 feet
- d. Lot Coverage: 2,250 sq. ft. +35% for portion of lot over 5,000 sq. ft.
- e. FAR: 0.5

2. Design Standards: Per *SMC 17C.110.500*

This project must address Institutional Design Standards. Please refer to *17C.120.500* for institution design standards, which address:

- 1. Transition between Institutional and Residential Development
- 2. Buildings Along the Street
- 3. Lighting
- 4. Treatment of Blank Walls
- 5. Prominent Entrances
- 6. Massing
- 7. Roof Form
- 8. Historic Context Considerations
- 9. Screening

**Dave Kokot – Fire Prevention Engineer (625-7056):**

1. The scope of work is a new Middle School building with two floors and no basement. The building will also include the local Library.
2. The total area of the project is approximately 150,000 square feet. The occupancy is E, A3, and B. The facility is assumed to be of Type IIA construction. The work is anticipated to be in phases, and will require construction phasing plans showing egress paths and construction separation.
3. Construction and demolition shall be conducted in accordance with IFC Chapter 33 and NFPA 241.
4. The building will be required to be provided with fire sprinklers. (IFC 903)
5. An emergency voice/alarm system with central monitoring is required for this building (IFC 907 amended with SMC 17F.080.110).
6. Smoke and carbon monoxide detection is required.
7. Duct smoke detectors (if required) shall be wired to a supervisory zone only, not an alarm-initiating zone, as per Spokane Fire Department policy and as provided in NFPA 90A. The codes require duct detection only on return air.
8. The Fire Department requires annual operating permits for specific operations for buildings and sites in accordance with Section 105 of the Fire Code.
9. Where a kitchen is provided with equipment that will produce grease vapors, a Class I kitchen hood is required and will be protected with a wet-chemical suppression system (IFC 609.2). In addition, a Class K fire extinguisher will be located no more than 30 feet from the area of grease cooking (IFC 906.1). The type of equipment that is considered to generate grease vapors is established by the International Mechanical Code.
10. Carbon dioxide systems are required to be reviewed and permitted with the Fire Department if the system has more than 100 pounds of CO2.
11. Fire extinguishers are required for A, B, E, F, H, I, M, R-1, R-2, R-3 and S occupancies in accordance with IFC 906 – Table 906.3(1).
12. Address numbers or other approved signs are required to be provided on the building in a visible location (IFC 505).
13. If the building is equipped with a fire protection system, a Fire Department key box will be required (IFC 506).
14. Key boxes or key switches approved by the Fire Department are required for gates or similar barriers (IFC 506.1.1).

**Eric Meyer – Spokane Regional Health District (324-1582):**

Please see attached document.

**Section 2 – Comments Specific to the Site**

**Dave Compton - Assistant Planner (625-6089):**

1. **A school is outright permitted in a Residential Multi-Family (RMF).**
2. **Design Review will be required prior to building permit submittal.**
3. Landscaping and Sidewalks:
  - a. Separated Sidewalk with planting zone are required. We can take a look at keeping the existing sidewalks in the loading zone areas.
  - b. Sidewalks, including interior pathways, shall have the minimum dimension of five feet. This dimension shall be applied to the clear, unobstructed pathway between

the planting zone for street trees per SMC 17C.200.050 and building facades or parking lot screening.

- c. Irrigation is required as per *17C.200.100*.
  - d. A six-foot wide planting area of L2 landscaping, including street trees as per 17C.200.050 are required along street frontages.
  - e. Building setbacks and all other portions of a site not covered by structures, hard surfaces, or other prescribed landscaping shall be planted in L3 open area landscaping until the maximum landscape requirement threshold is reached (see *SMC 17C.200.080*).
4. Parking:
- a. Please show parking calculations on your building plans when you submit for permit. Minimum and Maximum parking ratios are per *SMC 17C.230*.
    - i. Minimum Ratio for junior high schools: one parking stall per classroom
    - ii. Maximum Ratio for junior high schools: 2.5 parking stalls per classroom
5. Any new fencing will require a separate permit.

**Patty Kells – Traffic Engineering Assistant (625-6447):**

1. From Inga Note: She wants to make sure you are still thinking about how a trail connection can be made between the Children of the Sun Trail and Shaw Middle School, the library, and the community center and how the site layout can be adjusted to better facilitate bike travel. One route takes the pathway up Regal and into the site. The other option is to take the parking lane way on Garland and connect the pathway to Cook Street.
2. Please provide an overall campus parking analysis to verify all required, existing, and proposed parking including the required ADA requirements.
3. Further review and discussions by City Staff from all departments is needed for the Cook St proposed improvements. Frontage improvements for Garland Ave to include current code requirements for separated sidewalk with street trees. STA may have additional requirements for the bus stop.
4. All parking and maneuvering areas must be hard surfaced. All required parking, landscaping and onsite stormwater designs must be within the property lines and not in the public right-of-way.
5. Please dimension the parking stalls, accessible stalls and access aisles, travel lanes and driveway approaches on the site plan. Any proposed one way directional travel lanes must be signed and striped appropriately as "Enter Only" and/or "Exit Only".
6. Any new or modified driveway access locations must be reviewed and approved by Traffic Engineering prior to permit issuance and meet City Standards. All unused driveways must be removed and replaced with City standard curb and sidewalk. The maximum width for commercial approaches is 30' – anything larger will require a design deviation with justification.
7. The parking stalls must be striped to current standards and for accessible barrier free parking spaces and aisles must comply with City of Spokane Standard Plans G-54 & B-80A. An accessible route of travel connecting to the nearest accessible building entrance and to the public sidewalk is required with a marked accessible route of travel. All barrier free spaces and aisles need to be designed, drawn, noted, and must be added as details on the plans per these standards. Note on the site plan the van-accessible stalls and the sign locations. The access aisle for van accessibility must be eight feet wide.
8. Adequate access and maneuvering for refuse/emergency vehicles is required per the City Standards and must be maintained during construction.
9. Maintain clear view at intersections, pedestrian ways, and driveways. Please add the clear view triangle to the site and landscaping plans to verify any conflicts.

10. Regional pavement cut policy will be applicable for all streets surrounding this site. Confine illumination lighting to the site.
11. A transportation impact fee will not be assessed for the new 150,000sf Middle School, new 45,500sf On Track Academy, and library (with its own credit for relocation) with credit given for the existing 217,892sf school per the County Assessor's appraisal below.

Commercial/ Structure	Appraiser	Year Built	Year Remodeled	Main Floor Size	Number of Floors
GENOFF	110	1998	0	720	1
GENOFF	110	1998	0	1,440	1
SCHCLASS	110	1958	2006	112,426	1
WHSEDIST	110	1978	2011	99,610	2
COMM STORAGE	110	1990	0	2,436	
COMM STORAGE	110	1990	0	1,260	
Commercial Canopy	110	1991	0	9,200	
Fencing - Chain Link	110	1978	0	1,550	
Loading Dock	110	1978	0	2,050	
Paving	110	1958	2008	90,000	
Paving	110	1978	2008	170,600	
Tennis Courts - Standard	110	2000	0	4	

**Mike Nilsson – Engineer (625-6323):**

1. Beginning October 1, 2019 any new projects that are planning to manage stormwater with UIC wells must use the 2019 UIC BMPs. Any new project beginning the design process after this date must submit a UIC registration to Ecology at least 60 days prior to commencing UIC well construction. Ecology's approval of the registration is required prior to construction of a new UIC well.
2. Cook Street and Rich Avenue are currently designated as Tier 3 roadways and subject to the adopted Regional Pavement Cut policy.
3. There is an existing sanitary sewer system on-site. We recommend the condition of the sewer system be verified as part of your project.
4. New commercial side sewers shall be a minimum of six inches in diameter, have a minimum slope of two percent and 3.5 feet of cover where vehicular traffic passes over, two feet minimum in other areas. Sewer and Water service separation requirements are 18 inches minimum vertical, five (5) feet minimum horizontal. Sewer cleanouts shall be installed at every 100 feet and every angle 45 degrees or greater. See City of Spokane Design Standards Section 4 for additional information on Sewers.
5. A drain for the trash enclosure is required to be connected to sewer if there is food service. Hot running water needs to be available to the enclosure for cleaning.
6. A grease trap is required for food service preparation. The design of these facilities is covered in the Uniform Plumbing Code.

7. Food service may trigger additional pretreatment requirements to help capture pollutants at the source. Additional information is available at <https://my.spokanecity.org/publicworks/wastewater/business/>.
8. The proposed project is within the General Facility Charge (GFC) Waiver Zone, so GFCs will not be assessed for this project for new sewer/water service connections.
9. All storm water and surface drainage generated on-site must be disposed of on-site in accordance with SMC 17D.060.140 "Storm Water Facilities". Stormwater requirements can be found in the Spokane Regional Stormwater Manual (SRSM) and the City of Spokane Design Standards Section 6. In general, any new impervious surface will require a geotechnical site characterization (report) and drainage report/plan. Please include a detailed Site Plan or Civil Plans, which show and clearly delineate existing and proposed sewer, water, drainage structures, drywell types, swale bottom areas, and property lines. Show proposed and existing pavement. Geotechnical reports, drainage reports, and civil plans must be stamped and signed by an engineer licensed in the State of Washington.
10. Combining landscape and stormwater treatment areas per Eastern Washington Low Impact Development (LID) Guidance Manual is allowed. The link to DPE LID resources can be found at: <https://ecology.wa.gov/Regulations-Permits/Guidance-technical-assistance/Stormwater-permittee-guidance-resources/Low-Impact-Development-guidance>
11. Any drywells and subsurface drainage galleries (existing and proposed) for the site must be shown on the plans and registered with the Washington State Department of Ecology (DOE). Please send a copy of the completed registration form to the City of Spokane Development Services Center. See the following link at the Department of Ecology (DOE) website for information about the Underground Injection Control (UIC): <https://ecology.wa.gov/Regulations-Permits/Guidance-technical-assistance/Underground-injection-control-program>
12. Most land-disturbing activities require an Erosion and Sediment Control (ESC) plan. Land-disturbing activities are activities that result in a change in existing soil cover (vegetative or non-vegetative) or site topography. Land-disturbing activities include, but are not limited to, demolition, construction, clearing and grubbing, grading, and logging. An ESC plan detailing how erosion and other adverse stormwater impacts from construction activities will be handled must be submitted to the Development Services Center for review and acceptance prior to construction of said phase. See Section 9 of the SRSM for ESC requirements and applicability. The following link provides information on ESC training and certification programs: <https://ecology.wa.gov/Regulations-Permits/Permits-certifications/Certified-erosion-sediment-control>
13. Include a note stating that the Contractor is responsible for designating a location where concrete trucks and equipment can be washed out. This area shall not be located near or draining into a storm drainage area, treatment area, or facility.
14. Include the following note on the plans: **"All broken, heaved, or sunken sidewalk, curbs, and driveway approaches adjacent to the project will be replaced or repaired whether caused by construction or not."**

**Dave Kokot – Fire Prevention Engineer (625-7056):**

1. An approximate site fire flow (obtained from IFC Table B105.1 and Table C105.1) is 5,500 GPM without automatic sprinklers throughout and requires six fire hydrants. Site fire flow is 1,500 GPM with automatic sprinklers throughout and requires one fire hydrant.
2. There are six existing fire hydrants in the area that meet the code requirements for this project.
3. At least one additional fire hydrant may be required depending upon the final arrangement for Fire Department access.
4. Site fire flow will be required to be maintained or provided during construction.
5. Fire hydrant spacing shall not be more than 500 feet (along an acceptable path of travel),

within 500 feet of the property line for non-sprinklered buildings and 750 feet of the property line for fire sprinklered buildings (SMC 17F.080.030).

6. For commercial buildings, fire hydrants are required to be along an acceptable path of travel within 400 feet to all points around the building without fire sprinklers (IFC 507.5.1), and 600 feet for commercial buildings with fire sprinklers (IFC 507.5.1, exception 2).
7. Fire Department Connections for new fire sprinkler system installations shall be located no more than five hundred feet from a fire hydrant along an accessible path of travel unless where approved by the fire official.
8. The proposal does not appear to meet the requirements for fire access as required in the Fire Code. A separate meeting has been held with the applicant that discussed what options can be done to meet the requirements. Partial vacation of Cook St. will need to account for acceptable fire access.
9. Fire Department approved all-weather access must be provided to within 150 feet of any point around the outside of a building (IFC 503.1.1). For fully sprinklered buildings, this is extended to 165 feet (IFC 503.1.1, exception 1). Dead-end roads longer than 150 feet need approved fire apparatus turn-arounds (IFC 503.2.5). Fire apparatus turning radius is 50 feet external, 28 feet internal (SMC 17F.080.030.D.3). Minimum height clearance is 13 feet-6 inches (IFC 503.2.1). Fire lanes will have a maximum slope of 10 percent (based on IFC 503.2.7).
10. Minimum width for fire access is 20 feet, unobstructed (IFC 503.2.1). Buildings exceeding 30 feet in height and will be required to have a Fire Aerial Access lane of 26 feet wide along at least one side of each building (IFC D105.2). The fire aerial lane is required to be a minimum of 15' and a maximum of 30' from the building along the full length of the side of the building.
11. Fire access will be maintained during construction. The fire lanes will be maintained with an all-weather surface (IFC 3310.1).
12. The installation of security gates or barriers on fire access roads shall be approved by the Fire Department (IFC 503.6). If access to the site is required to comply with the distances around the building, at least one access gate will be setback a minimum of 48' from the edge of pavement. Gate openings will be a minimum of 14' wide, and open gates will not obstruct access to structures.
13. Fire pits will be required to comply with IFC Section 308.1.10 (State amendment) in regards to protecting occupants from exposure to flames. The protective devices are required to be reviewed and approved by the Fire Department prior to use.

**Mathias Bauman – Water Department (625-7953):**

1. There are multiple existing water services running to this parcel. Your engineer may determine that the existing services may need to be replaced or upsized to meet the needs of the project. If any existing services are not utilized, they must be disconnected at the main.
2. If the easement has been vacated for the abandoned 24-inch main, then building a structure would be allowed. The abandoned main would be part of the property; therefore, could be removed if needed.
3. If additional water is needed, there are water distribution mains in all surrounding streets available for the project.
4. The City of Spokane Water Department Cross Connection Control and Backflow program rules and regulations shall be followed in accordance with Washington Administrative Code (WAC 246-290-490) and the City of Spokane Municipal Code 13.04.0814.
5. Calculated static water pressure is approximately 64 psi at the surrounding hydrants.
6. A utility site plan illustrating new water lines and/or services to be installed shall detail the location of new tap(s) and meter(s) prepared by a Professional Engineer licensed in the State of Washington. Water Department plan reviewers and inspectors will ensure that any new water line(s) and Service line(s) needing backflow assemblies are installed in accordance with

applicable rules and regulations. Water Department Water Service Inspectors, (north side) Harry Ward (509) 625-7845, (south side) Ryan Penaluna (625-7844) will review submitted plans and inspect on-site construction. Water Department Cross Connection Control Specialists, Donovan Aurand (509) 625-7968 and Lance Hudkins (509) 625-7967, will review any backflow assemblies where required.

7. Taps and meters can be purchased at Developer Services Center, located on third floor of City Hall -Spokane. Size of service(s) shall comply with International Plumbing Code. Tap, meter, and connection fees will comply with section 13.04 of SMC. Tapping of the water main and installation of new meters shall be done by City forces. All excavation and restoration is the owner's responsibility. All trenches and/or excavations must comply with current W.A.C. #296-155 part N. No City of Spokane employee will be permitted into any trench and/or excavation without proper shoring or sloping, no exceptions. Please see Water Department Rules and Regulations for information about tap and meter sizes and sewer/water separation requirements.

**Rick Hughes – Solid Waste (625-7871):**

They were planning to do what the other schools are doing. 2x roll-off dumpsters. The city will need to agree to the plans and layout before approval.

**Becky Phillips – Urban Forestry (363-5491):**

Please see attached document.

### **Section 3 – General Information and Submittal Requirements**

1. Site plan requirements are as shown on the attached “Commercial Building Permit Plan Checklist”. For the permit intake submittal, please provide three (3) **Full Building Plan Sets** and an electronic copy of the **Site Sets**. **Full Building Plan Sets** shall include all plans created for this project: cover sheet, architectural, structural, plumbing, mechanical, electrical, civil engineered plans, landscaping and irrigation drawings. **Site Sets** shall include: cover sheet, overall site plan (either architectural or civil engineered), all civil engineering plans, landscaping and irrigation plans, and building elevations. Plans are required to be stamped and sealed by an architect, landscape architect, or engineer licensed to do business within the State of Washington. All reports and supporting documentation noted in departmental comments will also be required for the permit intake submittal (i.e. NREC, drainage report, geotechnical site characterization, etc.)
2. Please provide an electronic copy of site plans showing dimensions, **property lines, and City Limits**, relative topography, all on-street signs and street markings, any new and existing frontage improvements, all structures, on-street storm drainage facilities, sidewalks, curbs, parking calculations and dimensions, dimension existing roadway, new and existing driveways and their locations, and other relative information. Show all existing topography in the public right-of-way such as street signs, water valves, hydrants, etc. All required landscaping must be within the property lines and not in the public right-of-way.
3. An Intake Meeting handout was provided to you in your packet at the Pre-Development meeting. Please call (509) 625-6300 to schedule an Intake Meeting to submit plans for a new commercial/industrial building, an addition to an existing building, a change-of-use, or a parking lot. Appointments must be made at least 24 hours in advance and can be scheduled for Monday through Thursday.
4. Please provide a complete set of plans to Spokane Regional Health District if food and/or beverage handling business is planned.
5. If you would like a full Certificate of Occupancy on any portion of the permit prior to



completion of the other phases, it is required to file separate permits for each phase. An additional \$250 fee will be assessed for a Temporary Certificate of Occupancy and/or a Temporary Certificate of Occupancy extension per SMC 8.02.031M.

6. For additional forms and information, see [my.spokanecity.org](http://my.spokanecity.org).

## PRE-DEVELOPMENT CONFERENCE COMMENTS

August 21, 2019

Ty Miller  
Integrus Architecture  
10 S. Cedar St.  
Spokane, WA 99201



1101 West College Avenue  
Spokane, WA 99201-2095

509.324.1500 | TEL  
509.324.1464 | TDD  
[www.SRHD.org](http://www.SRHD.org)

Project Description: Shaw Middle School/On Track Academy

Project No: B19M0089PDEV/B19M0090PDEV  
Parcel No: 35045.2326  
Location: 4106 N. Cook/2802 N. Rich Ave.  
Health District Tracking No: SR0005861

Spokane Regional Health District (SRHD) has completed a preliminary review of the above-referenced project. Based on the review, the following comments are offered for consideration by both the City of Spokane and the project sponsor prior to issuance of a building permit.

### **Food Safety Program Comments**

The following items shall be submitted for review and determination of permit requirements for the main kitchen, any concession stands and any other areas where foods are offered to the student body such as DECA, home-economics, etc.:

1. A complete set of project construction plans and specifications, including an equipment list and surface finish list, must be submitted for review and approval prior to issuance of the building permit. Food service establishment plans can be submitted in hard copy or electronically. Electronic plans can be submitted to [foodsafetyprogram@srhd.org](mailto:foodsafetyprogram@srhd.org). If plans will be submitted in both formats, a statement must be included indicating both sets are identical, or any differences must be itemized. The final plan submittal shall include a plumbing plan showing all sinks and drainage, including the method used for indirect drainage of equipment such as ice machines, ice bins, dishwashers, produce preparation sinks, etc. as required by WAC 246-215-05410.
2. Any changes to the food menu and food preparation steps must be included in the plan submittal. Note: All necessary paperwork for obtaining a food service establishment permit can be obtained at <https://srhd.org/programs-and-services/food-establishment-permits>.
3. The final plan submittal shall include a plumbing plan showing all sinks and drainage, including the method used for indirect drainage of equipment such as ice machines, ice bins, dishwashers, produce preparation sinks, etc. as required by WAC 246-215-05410.
4. Lighting shall comply with WAC 246-215-06240 and 06340.
5. A written statement of intent as to method of refuse containment is to be provided, along with a description of how the containment will be maintained in a sanitary manner. The refuse containment area surface must be constructed of nonabsorbent material and shall be smooth, durable, and sloped to drain. Location, construction and maintenance of the refuse containment area shall comply with WAC 246-215 PART 5 Subpart E.

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4106 N. Cook/2802 N. Rich Ave.  
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August 21, 2019

6. All areas used for storage of food products, single service items, utensils and equipment shall have surfaces that are smooth, durable and easily cleanable. Exterior storage structures (e.g., storage buildings for espresso operations) are subject to the same requirements and shall be pre-approved by the Health District prior to being located on the site.
7. A complete submittal must be received and approved prior to release of Health District interest in the building permit. A complete food service establishment plan submittal may take up to 14 days to review.
8. Once the project is complete and ready for inspection please contact the Health District at least three (3) days prior to the projected date of opening.

### **School Program Comments**

Any publicly financed or private or parochial school or facility used for school instruction, from kindergarten through twelfth grade, must submit the following information for review:

1. A site sound level survey must be conducted to determine the ambient background noise at the site of a new school, an addition to an existing school, or the addition of a portable classroom. The ambient background noise cannot exceed an hourly average of 55 dBA or an hourly maximum of 75 dBA while school is to be in session. Exceedances of the maximum permitted site sound levels will require the submittal of a plan to mitigate the noise with building construction or other means to ensure compliance with maximum permitted sound levels in instructional areas of the school.
2. In new construction, the actual background noise at any student location within the classroom shall not exceed 45 dBA (Leqx), where x is thirty seconds or more. Compliance is determined with the ventilation system and the ventilation system's noise generating components in operation (e.g. condenser, heat pump, etc.).
3. A complete set of building construction plans and specifications must be submitted for review and approval prior to issuance of the building permits. The *K-12 School Construction Project Submittal* form is on the SRHD website at <https://srhd.org/programs-and-services/school-health-safety-program>. Plans can be submitted electronically, but a paper copy, including specification books and manuals, is required for school project plan review. An electronic copy of the final plans and specification books is required for archival purposes.
4. If available, please provide a project schedule timeline to track important project dates, such as D5 and D7 deadlines.
5. Letters must be submitted stating that the drawings and specifications for the projects are designed in accordance with the following *Primary and Secondary School Regulation WAC* sections:
  - WAC 246-366-080 – Ventilation
  - WAC 246-366-090 – Heating
  - WAC 246-366-100 – Temperature Control
  - WAC 246-366-110 – Sound Control
  - WAC 246-366-120 – Lighting

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4106 N. Cook/2802 N. Rich Ave.  
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Note: Sound and light levels will be measured for compliance during the pre-occupancy inspection conducted when construction is completed.

6. The plan submittal must include letters from the architect or engineer stating that the building ventilation systems are designed in compliance with the *International Mechanical Code* and *American Society of Heating, Refrigerating and Air-Conditioning Engineers (ASHRAE) Standard 62.1*, unless waived by SRHD. This requirement does not apply to relocatable classrooms.
7. A plan review meeting with the SRHD School Health and Safety Program will be required to discuss plan review of the proposed site, facility design and construction, and curriculum related to the school facilities. This includes office areas, restrooms, locker rooms, gymnasiums, custodial rooms, classrooms, science rooms, science preparation rooms, shops, art rooms, auditoriums, interior lighting, ventilation, food service and playgrounds. Please contact Sandy Phillips at 324-1560, extension 4, to schedule this meeting. To improve the efficiency of the plan review process it is preferred that this meeting takes place prior to final plan submittal (e.g. at the 50% plan stage).
8. Safe motor vehicle (parent and bus) drop-off and pick-up design and locations must be provided for student arrival and departure. For assistance developing safe routes to school, refer to the Feet First handbook *Improve Your School Arrival and Departure Procedures* <http://www.feetfirst.org/wp-content/uploads/2013/12/Arrive-Depart-Handbook-FINAL-for-FF-website.pdf>.
9. Light intensities shall be provided as measured 30-inches above the floor or on working surfaces as follows:
  - General instruction areas (study halls, lecture rooms, libraries) – 30 foot-candles.
  - Special instruction areas (sewing rooms, labs, chemical storage areas, shops, drafting rooms, art and craft rooms) – 50 foot-candles.
  - Non-instructional areas (auditoriums, lunch rooms, assembly rooms, corridors, stairs, store-rooms, and toilet rooms) – 10 foot-candles.
  - Gymnasiums (main and auxiliary spaces, shower rooms and locker rooms) – 20 foot-candles.
10. Any classrooms used for science, shops or art curriculum may require:
  - Submittal of a planned curriculum and Safety Data Sheets for chemicals
  - Fume hood, eyewash and emergency shower (and submittal of spec sheets)
11. Local exhaust ventilation will be required for any equipment generating contaminants, including but not limited to CNC equipment, 3D printers, high volume copiers and for classrooms where metals will be soldered (shops, robotics, etc.).
12. Ground fault interrupter (GFI) devices shall be provided on all electrical receptacles within six feet of sinks, water fountains and other grounding sources.
13. Soap and single-service towels shall be provided at all handwashing facilities, including science room handwashing sinks.

#### **Liquid Waste/Water Program Comments**

Ty Miller  
Shaw Middle School/On Track Academy  
4106 N. Cook/2802 N. Rich Ave.  
Project Number: B19M0089PDEV/B19M0090PDEV  
August 21, 2019

The site is currently served by public sewer and water. No changes to these utilities are required by the Health District.

### Solid Waste Program Comments

1. All demolition/construction debris must be transported to a licensed solid waste disposal facility. No on-site burning or burying of debris will be allowed.
2. If the site of the proposed project requires fill or grading, and clean soil or rock are used, no action is required by the Health District. If the fill will include inert waste such as concrete or asphalt, it shall not exceed 250 cubic yards without obtaining an inert waste landfill permit. Sites requiring an inert waste landfill permit shall comply with section 1.06.040 of the Spokane Regional Health District 2004 *Solid Waste Handling Standards*. Any other regulated solid waste placed on the site shall meet the requirements of the Spokane Regional Health District 2004 *Solid Waste Handling Standards*.

### General

1. These comments are based on the project as proposed and reflect requirements in place at the time of submittal. There may be additional requirements at the time of formal application submittal if there have been changes to the proposal or revisions to the regulations have occurred since the original submittal.
2. The Health District is a separate reviewing agency from the Building Department. To assist in an efficient review of your project please submit final project plans and all information requested in these comments directly to the Health District.
3. Plan review for projects that require a permit or approval from the Health District is billed at \$130 per hour including time spent reviewing the project at the pre-application phase. Projects that are considered new construction (e.g., new structures, change of use, building additions, etc.) are charged a 1.5-hour minimum, to be paid at the time of plan submittal. Additional time spent reviewing plans and conducting pre-occupancy inspections is billed at the standard plan review rate of \$130 per hour. **Plan review and pre-occupancy inspections for projects that begin construction without written Health District approval is charged at 1.5 times the standard hourly rate.** Review of submittals begins only after all required documentation and fees have been received.

Thank you for the opportunity to review your project. For general questions regarding these comments call 324-1582.

Sincerely,



Sandra J. Phillips, CPHI(C)  
Technical Advisor  
Environmental Public Health Division

SJP/lh

**PRE-DEVELOPMENT NOTES**

Date Delivered: September 16, 2019

**PROJECT: Shaw Middle School/On Track Academy B19M0089PDEV/B19M0090PDEV  
4106 N Cook/2802 E Rich Ave (Parcels 35045.2326/35045.2326)**

**To: Ty Miller, Integrus Architecture**  
**Cc: Dermott Murphy, Deputy Building Official, City of Spokane**  
**Tami Palmquist, Associate Planner, City of Spokane**

Dear Mr. Miller,

I am enclosing a packet of information from Urban Forestry that will be beneficial to you should you decide to proceed with plans to develop the above property.

Although I have not conducted a site visit, our Street Tree Inventory does not list any trees currently existing in the public right of way along either Garland Avenue, Cook Street, or Rich Avenue.

It appears that there is an eight foot wide section of public right of way behind the sidewalk along Rich Avenue that extends the length of the property. Urban Forestry would require the installation of new street trees along this stretch in conjunction with this project. Please choose from the Class II section of the Approved Street tree list and space trees 30-35 feet off center. This spacing can be adjusted with Urban Forestry approval, depending on the form and mature width of the tree canopy of the chosen species.

You will be required to hire a licensed certified arborist and a separate Tree Permit will need to be submitted for the installation of new street trees, so I am supplying you with a list of city approved arborists for that work. The arborist you choose will be familiar with Street Tree permitting process. This permitting process could take up to 10 business days so please plan with this time requirement in mind.

Since there are trees on the interior of your property boundary, I am including Tree Protection Specifications and Details in case you are planning on retaining any of these trees. If trees are identified for retention, please include these documents on your plans. The installation of tree protection fencing can greatly increase a tree's survivability during construction if installed properly and maintained throughout all phases of construction. Depending on the time of year, you may also want to create a watering plan and schedule for the trees being retained that will be affected by lack of irrigation due to construction.

You will also be required to install landscaping on the interior of your property, including trees. While a licensed certified arborist is not required to plant interior trees, the planting standards are the same as street trees, so I recommend you have a certified arborist plant the interior trees. All trees on site will be inspected to ensure they are planted correctly before a Certificate of Occupancy is issued.

Please also consider tree placement and any signage to be installed to prevent visibility issues as the trees mature. This will lessen tree maintenance in the future.

Please let me know if I can be of any assistance to you.

Respectfully,

Becky Phillips  
Urban Forestry Specialist  
City of Spokane

**PRE-DEVELOPMENT PACKET**

Date Delivered: September 16, 2019

**PROJECT: Shaw Middle School/On Track Academy B19M0089PDEV/B19M0090PDEV  
4106 N Cook/2802 E Rich Ave (Parcels 35045.2326/35045.2326)**

**To: Ty Miller, Integrus Architecture**  
**Cc: Dermott Murphy, Deputy Building Official, City of Spokane**  
**Tami Palmquist, Associate Planner, City of Spokane**

Dear Mr. Miller,

The purpose of this Pre-Development Packet is to provide general information needed to meet Street Tree requirements in the City of Spokane. If the project includes planting, pruning (crown or roots), protecting or removing street trees then the information in this packet will assist you in meeting the requirements and avoiding delays in your project.

Urban Forestry also performs final landscape inspections for the interior of the property during the Certificate of Occupancy review. This includes making sure the landscape matches the approved design, and that design elements are installed in accordance with City of Spokane Municipal Codes. A licensed certified arborist is only required for the planting of street/public trees, but the planting standards and specifications are the same for interior trees, so please use the V-101 & V-102 as planting standards for all trees and shrubs on this site.

The documents included in this packet are as follows:

- Certified & Licensed Arborists in the City of Spokane
- Tree and Shrub Planting Details Diagram
- A Clear View: Vegetation & Traffic Safety Diagram
- Existing Sidewalk Retrofit Diagram
- Tree Protection Specifications & Detail

In addition, the documents below may be helpful to you as well and can be found at the corresponding websites:

Street Tree Permit Application available online at [www.aca.spokanepermits.org](http://www.aca.spokanepermits.org)

Approved Street Tree List available online at [www.spokaneurbanforestry.org](http://www.spokaneurbanforestry.org)

Please pay particular attention to the following as these are the most common concerns:

1. Please use the City's standard tree and shrub planting details V-101 & V-102 (Attached)
2. No tree shall be planted within fifteen (15) feet of any driveway, alley, streetlight, utility pole, non-safety street sign (ex. parking, street name) or fire hydrant. No tree shall be planted within twenty (20) feet of a critical street safety sign (stop, yield, or pedestrian crossing). The potential placement



of street signs, street lights and utility poles shall be evaluated to lessen the conflict with the growth of existing street trees.

3. Any substitutions or revisions to the final approved plant schedule and planting plan must have written approval from Urban Forestry and the Landscape Architect prior to installation.
4. Please have a licensed Certified Arborist from the attached list submit a complete Street Tree Permit Application 10 days prior to tree work for this project.

The documents provided are also available on our website: [www.spokaneurbanforestry.org](http://www.spokaneurbanforestry.org) or if you have any questions please contact Katie Kosanke at 509.363.5495 or [kkosanke@spokanecity.org](mailto:kkosanke@spokanecity.org). Our intent is to provide guidance and assistance early in this process to ensure your project is successful; please do not hesitate to contact us.

Respectfully,

Katie Kosanke  
Urban Forester, City of Spokane

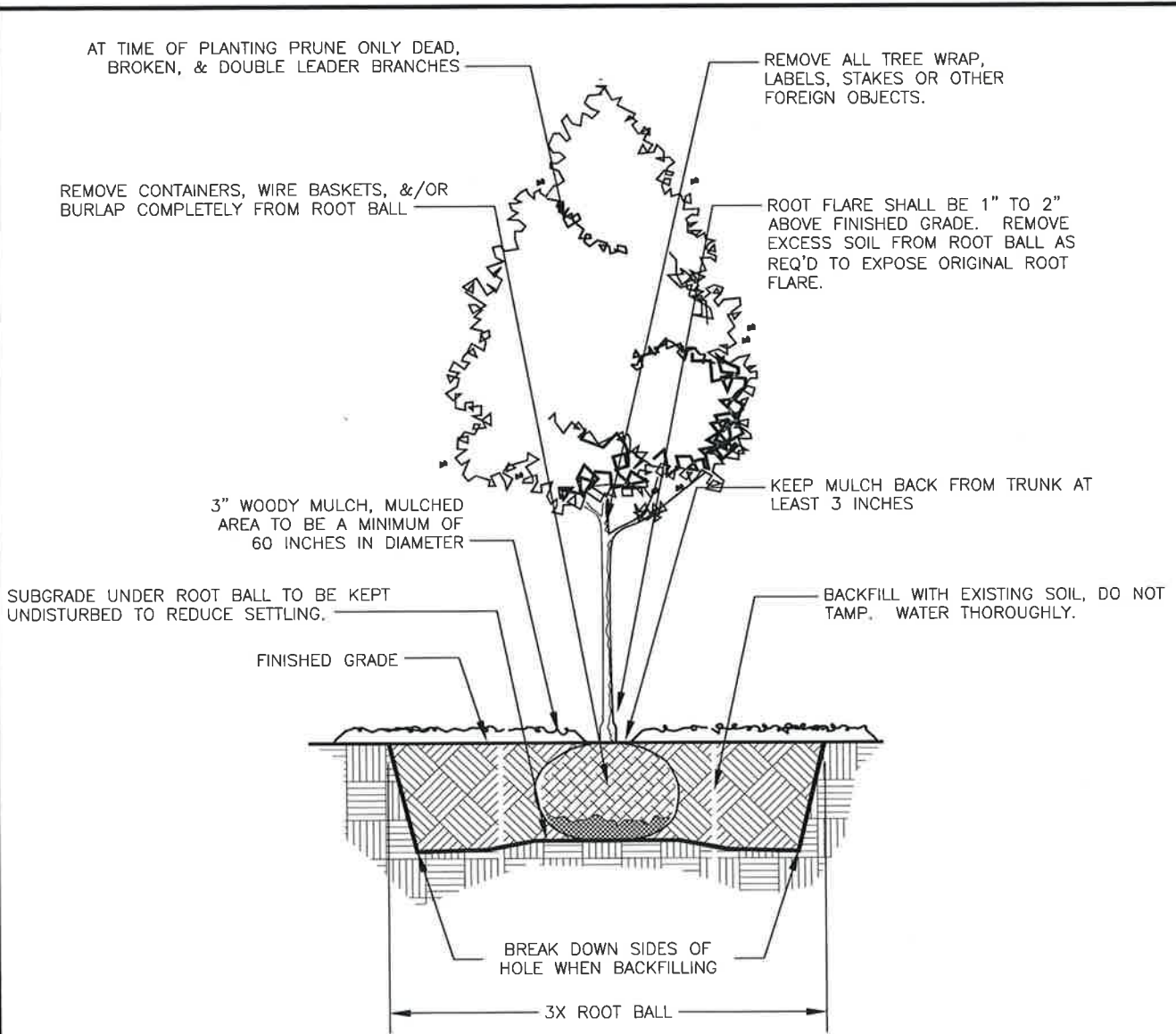
*Certified & Licensed Arborists in the City of Spokane*

[www.spokaneurbanforestry.org](http://www.spokaneurbanforestry.org)

Company Name	Phone	Email/Website
A1 Tree Service*	509-623-0344	a1stumpremovalspokane@gmail.com
A.B.C. Consulting Arborists LLC*	509-953-0293	daniel@abcarborist.com
Aardvark Tree Service	509-891-7650	aardvarktree@live.com
Affordable Arborist Tree Care Inc	509-879-0577	sandnessmerret@gmail.com
All Seasons Tree Service	208-660-7461	office@allseasonstreeservice.contractors
Bluebird Tree Care Inc*	208-651-3959	benlarsontree@gmail.com
Budget Arbor & Logging LLC	509-458-0838	mike@budget-arbor.com
C & C Yard Care Inc*	509-482-0303	chriscc@candcyardcare.com
Clearwater Summit Group Inc	509-482-2722	rnee@clearwatersummitgroup.com
Community Forestry Consultants, Inc.*	509-954-6454	cfconsults@comcast.net
Dan Dengler	970-401-0412	dandenglerlongboards@yahoo.com
Deep Roots Gardens & Landscaping	509-216-4835	christopher.re78@gmail.com
Don Taylor Tree Services, Inc.	208-640-1951	don@dontaylorreeservice.com
Frontier Tree Service	509-487-8733	frontiertreeservicespokane@gmail.com
Greenleaf Landscaping Inc	509-536-2885	Info@greenleafwa.com
Heindl Tree Care Inc*	509-475-9135	arborpaul@hotmail.com
Land Expressions	509-466-6683	frontdesk@landexpressions.com
Little Tree INW LLC	509-212-4972	clarkrjacob@gmail.com
Northwest Plant Health Care, a division of F.A. Bartlett Tree Experts	509-892-0110	shogan@bartlett.com
Palms Tree Service & Landscaping	509-939-0460	darrenpalmer1@gmail.com
Sam's Tree & Landscape LLC	509-467-3801	sam@samsapes.net
Selkirk Landscape Services	509-536-1919	selkirklandscape@gmail.com
Senske Services	509-891-6629	sjones@senske.com
Skyline Tree Service LLC	509-496-9793	crendall1@hotmail.com
Spirit Pruners LLC*	509-979-3496	k@spiritpruners.com
Spokane Tree Pro	509-998-2771	spokanetreepro@gmail.com
Tall Tree Service	509-747-8733	talltreeservice@gmail.com
The DRB Company	509-701-3100	drbcompany@comcast.net
Treescapescapes Inc	509-992-8733	treescapes@roadrunner.com

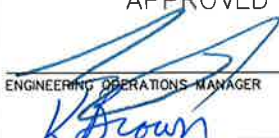

\*Currently qualified to provide Risk Assessments

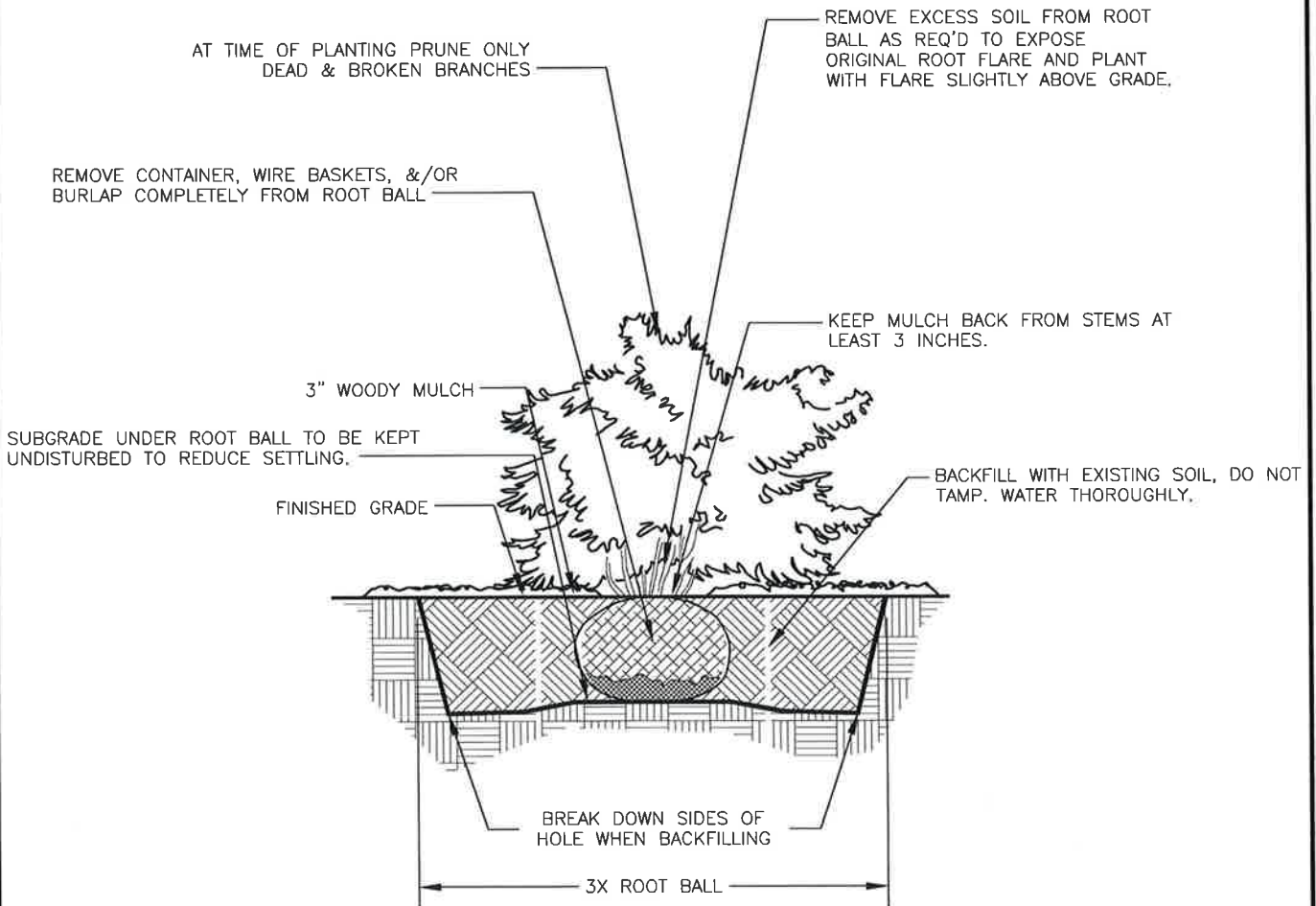
~as of July 2019



**NOTES:**




1. TREES BURIED TOO DEEP, OR WITHOUT EXPOSING ROOT FLARE WILL BE REJECTED & SHALL BE REMOVED & REPLANTED AT PROPER DEPTH.
2. ALL 'ADVENTITIOUS ROOTS' AND 'SUCKERS' SHALL BE PRUNED AWAY PRIOR TO PLANTING.
3. DEVIATIONS FROM THIS DETAIL SHALL ONLY BE ALLOWED WITH PERMISSION FROM THE CITY ARBORIST.
4. TREES NOT PLANTED IN CONFORMITY WITH THIS DETAIL WILL BE REJECTED BY THE CITY ARBORIST. REPLACEMENT OF REJECTED TREES WILL BE DONE AT THE CONTRACTOR'S EXPENSE & NOT BY THE CITY OF SPOKANE.
5. LOCATIONS OF TREES TO MEET THE REQUIREMENTS OF DESIGN STANDARDS 3.5-2. ≥ 15 FT FROM DRIVEWAYS, ≥ 10 FT FROM DRAINAGE INLETS, ≥ 20 FT FROM DRYWELLS, NOT OBSTRUCT TRAFFIC SIGNS OR SIGHT TRIANGLES, AND 15 FT FROM UNDERGROUND UTILITIES
6. AFTER PLANTING, IF TREES ARE UNSTABLE, STAKING MAY BE USED BUT ONLY AS NECESSARY. AT 6 MONTHS, ALL STAKING MATERIAL SHALL BE REMOVED. IF TREE IS STILL UNSTABLE, AFTER 6 MONTHS, TREE MAY NEED TO BE REPLACED.

<p>APPROVED BY</p>  <p>ENGINEERING OPERATIONS MANAGER      KYLE TWOHIG</p>  <p>PRINCIPAL ENGINEER, CONST.      KENNETH M. BROWN, P.E.</p>	<p>ADOPTED: 2/1986          REVISED: 05/2015          SUPERSEDES: 04/2012          CHECKED BY: SJS          SCALE: NTS          REVISED BY: MLD</p>	<p><b>TREE PLANTING DETAILS</b>          ALL TYPES, FORMS AND SPECIES</p> <p>ENGINEERING SERVICES          CITY OF SPOKANE, WASHINGTON</p>	<p>STANDARD          PLAN No.  <b>V-101</b></p>
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**NOTES:**

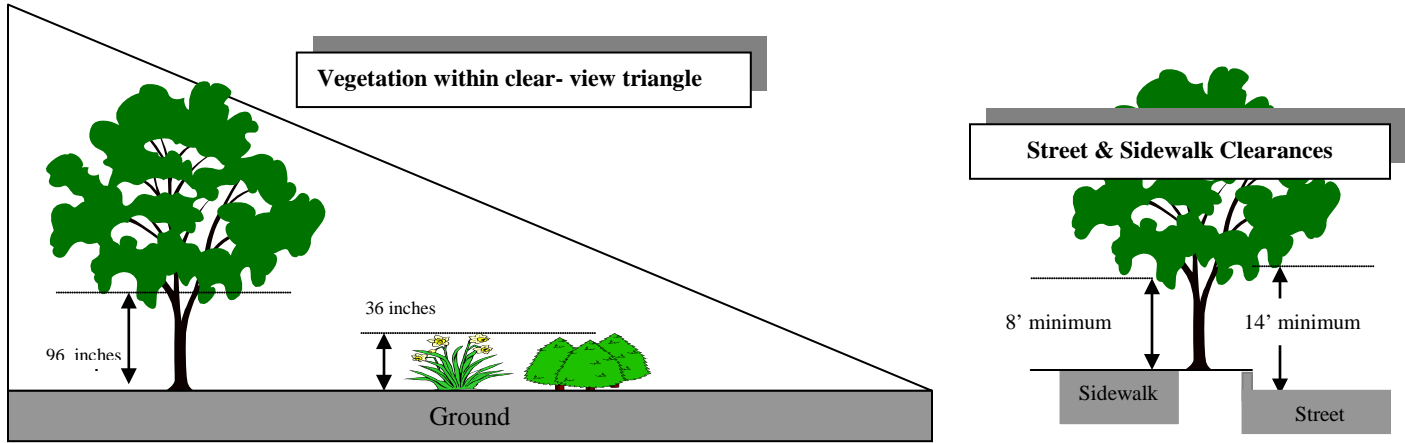
1. SHRUBS BURIED TOO DEEP, OR WITHOUT EXPOSING ROOT FLARE WILL BE REJECTED & SHALL BE REMOVED & REPLANTED AT PROPER DEPTH.
2. DEVIATIONS FROM THIS DETAIL SHALL ONLY BE ALLOWED WITH PERMISSION FROM THE CITY ARBORIST.
3. SHRUBS NOT PLANTED IN CONFORMITY WITH THIS DETAIL WILL BE REJECTED BY THE CITY ARBORIST. REPLACEMENT OF REJECTED SHRUBS WILL BE DONE AT THE CONTRACTOR'S EXPENSE & NOT BY THE CITY OF SPOKANE.

<p>APPROVED BY</p>  <p>ENGINEERING OPERATIONS MANAGER      KYLE TWOHIG</p>  <p>PRINCIPAL ENGINEER, CONST.      KENNETH M. BROWN, P.E.</p>	<p>ADOPTED: 2/1986          REVISED: 05/2015          SUPERSEDES: 04/2012          CHECKED BY: SJS          SCALE: NTS          REVISED BY: MLD</p>	<p><b>SHRUB PLANTING DETAILS</b>          ALL TYPES, FORMS AND SPECIES</p>  <p>ENGINEERING SERVICES          CITY OF SPOKANE, WASHINGTON</p>	<p>STANDARD          PLAN No.  <b>V-102</b></p>
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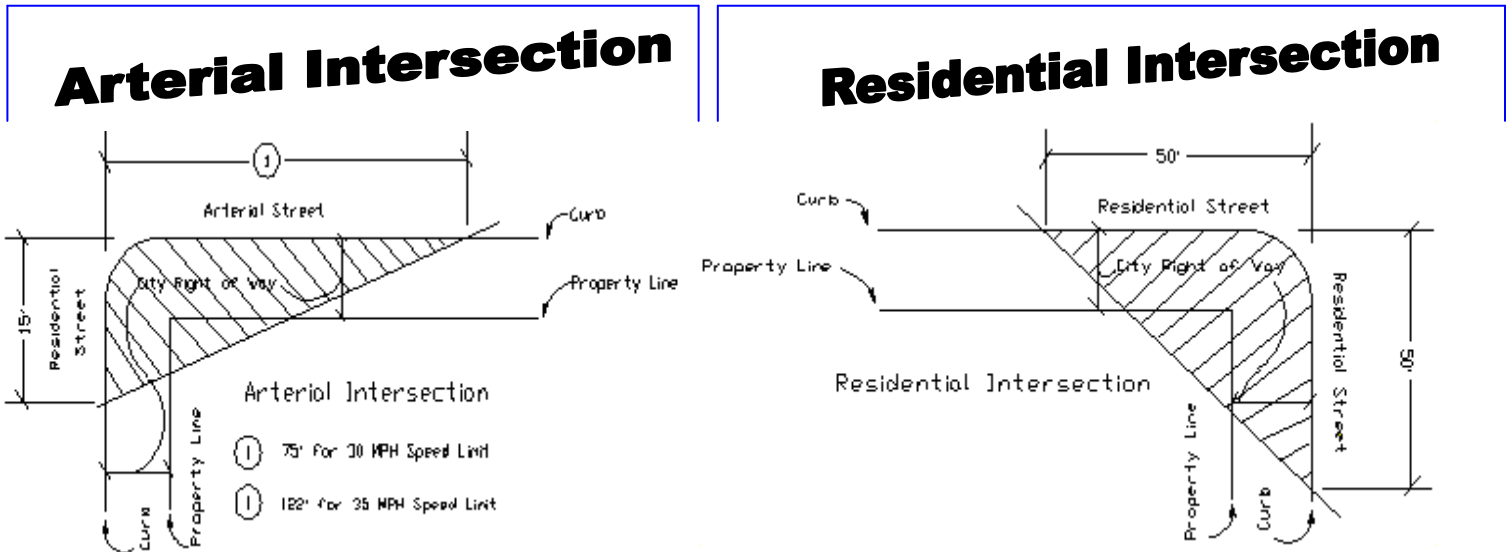
**A CLEAR VIEW: VEGETATION & TRAFFIC SAFETY**

**A way To Make Our Streets Safer:**

Overgrown vegetation impedes the safe flow of traffic when it blocks our view of traffic signs, pedestrians and other vehicles. If vegetation is blocking visibility in the street or an intersection, it is your responsibility as the adjacent property owner or resident to trim the vegetation. Below are the City vegetation standards as they apply to visibility.

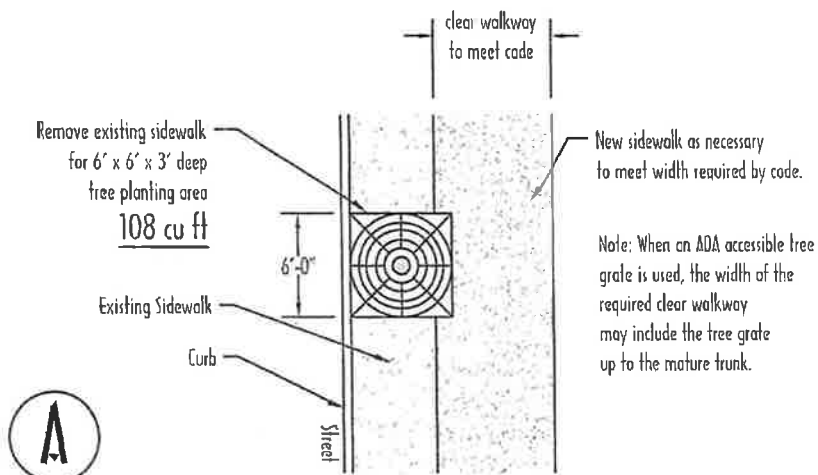


**Types of Intersections (Diagonal Lines = Clear View Triangle):**

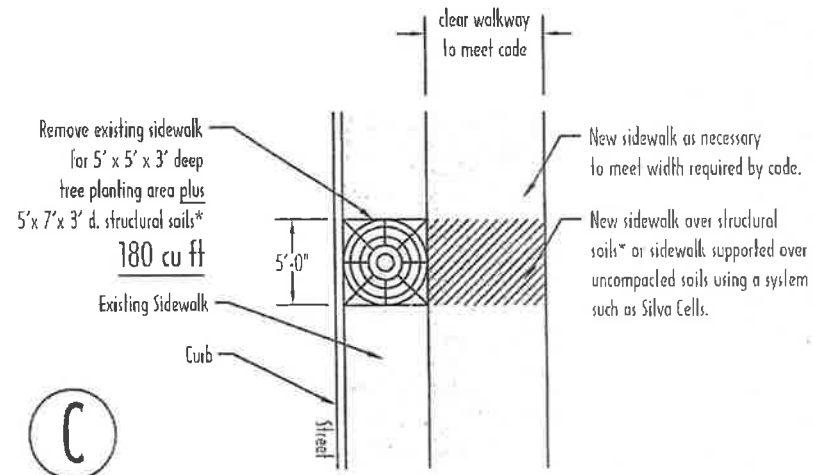


**Visibility Standards:**

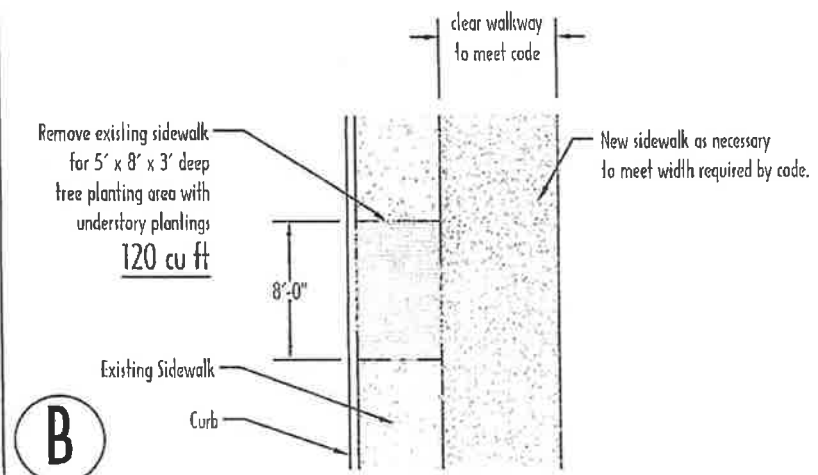
	Description of Existing Vegetation	Vegetation Requirements	Reference in City Codes
1.	Shrubs/Hedge/Plants existing in Clear Triangle.	Trim Shrubs/Hedge/Plants to 36 inches in height.	17C.200.050
2.	Tree branches and any vegetation overhanging in Clear Triangle (no sidewalk).	Remove all tree limbs/vegetation existing from ground level to minimum height of 96 inches.	17C.200.050
3.	Tree branches and any vegetation overhanging sidewalk (in and outside Clear Triangle).	Remove all branches/vegetation existing from sidewalk level to minimum height of 8 feet.	12.02.0202
4.	Tree branches and any vegetation overhanging street (in and outside Clear Triangle).	Remove all branches/vegetation existing from street level to a minimum height of 14 feet.	12.02.0202



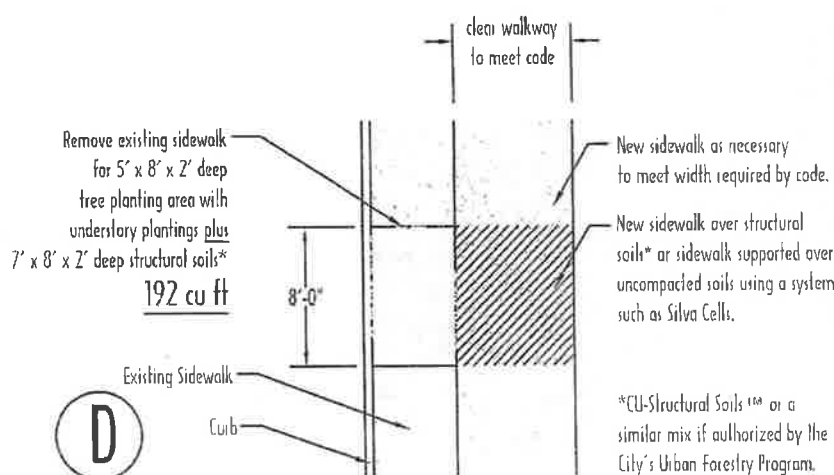
**A**



**C**



**B**



**D**

\*CU-Structural Soils 11A or a similar mix if authorized by the City's Urban Forestry Program.



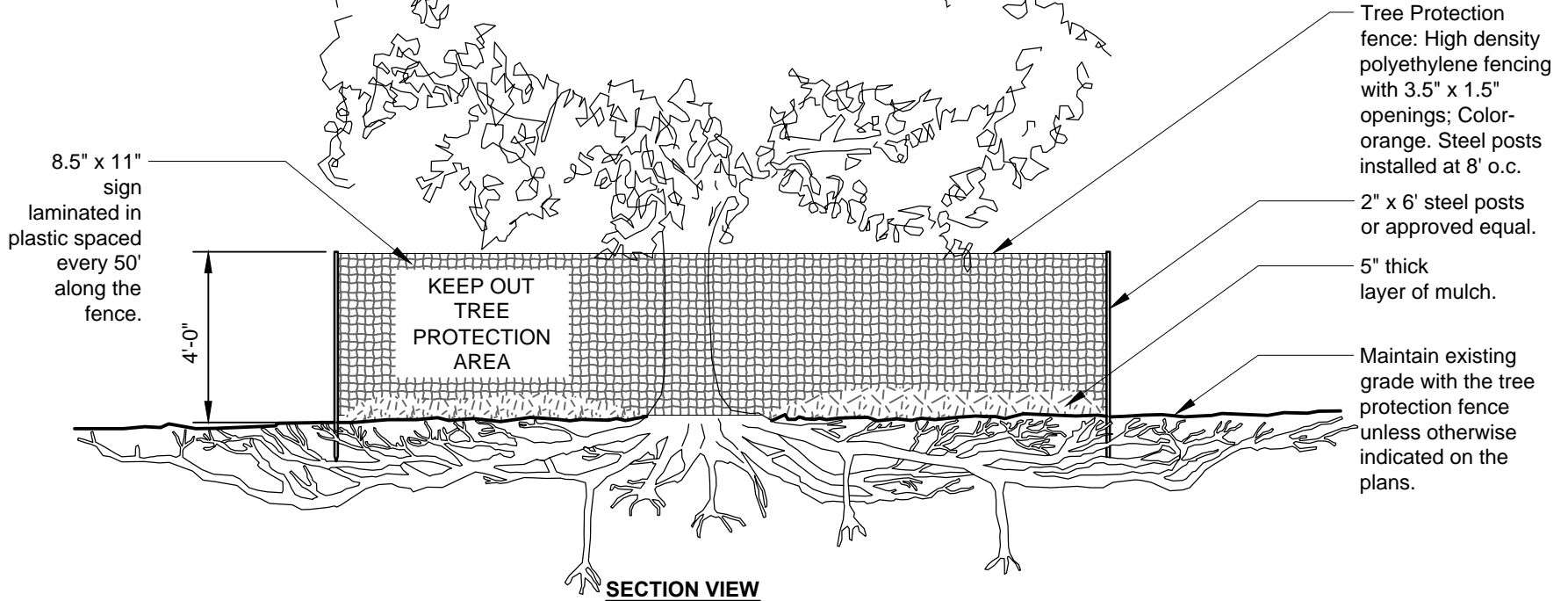
### Existing Sidewalk Retrofit - Possible options to provide 100 cu ft of uncompacted soil for street trees.

Soil is a key factor for tree health but in an urban setting it's almost impossible to provide ideal soil volumes. The City of Spokane highly encourages building permit applicants to consider providing as much uncompacted soil as possible for trees, and requires at least 100 cu ft (max. 3' depth may be factored into volume). A permit is necessary to plant a tree in the public right of way; please contact the Urban Forestry Program at 363-5470. Courtesy of the Urban Design Section of the Planning Services Department.

Crown drip line or other limit of Tree Protection area. See tree preservation plan for fence alignment.

Notes:

- 1- See specifications for additional tree protection requirements.
- 2- If there is no existing irrigation, see specifications for watering requirements.
- 3- No pruning shall be performed except by approved arborist.
- 4- No equipment shall operate inside the protective fencing including during fence installation and removal.
- 5- See site preparation plan for any modifications with the Tree Protection area.



## TREE PROTECTION

URBAN TREE FOUNDATION © 2014  
OPEN SOURCE FREE TO USE

## Tree Protection Specifications for Development in the City of Spokane

### 1. General

The City of Spokane's Municipal Code requires that tree pruning, planting, or removal work within the public right-of-way and on public property must be performed by a person or entity with a commercial tree license. (SMC 10.25.010)

Additionally, all tree pruning (crown or root) and tree removal work must be performed by an International Society of Arboriculture (ISA) certified arborist or certified tree worker. Tree planting must be directly supervised by an ISA certified arborist or certified tree worker.

The term "Contracted Arborist" shall be used in the remainder of this document to refer to the licensed tree company.

All equipment to be used and all work to be performed must be in full compliance with the most current revision of the American National Standards Institute Z-133-2017, or as amended.

### 2. Tree Protection Zone (TPZ)

For the purpose of protecting trees in the right of way during development, the contractor/developer may install the TPZ in accordance with the standards below.

The tree protection zone (TPZ) will either be determined in the field by Urban Forestry staff or established by the Contracted Arborist for approval by Urban Forestry staff prior to any excavation or work by the following method. The minimum TPZ shall be equal to the Critical Root Zone (CRZ) as defined by the International Society of Arboriculture (ISA): an area equal to 1 foot radius from the base of the tree's trunk for each 1 inch of the tree's diameter at 4.5 feet above grade (referred to as diameter at breast height or dbh). TPZ modifications may be made due to construction objectives and site infrastructure only with prior authorization by Urban Forestry staff.

**Mulch:** The area within the TPZ shall be mulched with 1-2 inches of untreated wood chips, leaving a 1 foot radius from the trunk free of mulching materials, unless otherwise pre-approved by Urban Forestry staff.

**Water:** All trees designated for protection shall receive 5-10 gallons of water per caliper inch every seven days throughout the construction period. The amount and frequency of irrigation may be adjusted as needed due to temperature fluctuations and site conditions.





**Temporary Fencing:** Install temporary fencing, 3' tall minimum, orange plastic construction fencing per manufacturer's specifications, located as indicated or outside the TPZ of trees to protect remaining vegetation from construction damage. Fencing must be maintained at all times during construction. Alternative or modified fencing material may be permitted with prior authorization by Urban Forestry staff.

**Removal of Hardscapes:** Where equipment is necessary to remove hardscapes in proximity of a protected tree, construction personnel must exhibit due care to ensure no damage occurs to the existing roots. If roots are encountered in the demo area, consultation with Urban Forestry staff or a Contracted Arborist is required to determine best management practice to meet construction and tree preservation objectives.

Protect tree root systems from damage due to noxious materials caused by runoff or spillage while mixing, placing, or storing construction materials. Protect root systems from flooding, eroding, or excessive wetting caused by dewatering operations.

Do not store construction materials, debris, or excavated material within the TPZ of remaining trees. Do not permit vehicles or foot traffic within the TPZ; prevent soil compaction over root systems.





## Pre-Development Conference Notes

**Project Name: On Track Academy**

**To:** Ty Miller  
Integrus Architecture  
10 S Cedar St  
Spokane, WA 99201  
tmiller@integrusarch.com

**Phone:** 838-8681

**From:** Mike Nilsson, Facilitator

**Phone:** 625-6323

**Project Name:** On Track Academy  
**Permit No.:** B19M0090PDEV  
**Site Address:** 2802 E Rich Ave  
**Parcel No.:** 35045.2326  
**Meeting Date:** Thursday, August 22, 2019

Thank you for attending a Pre-Development meeting with the City of Spokane. Below are notes summarizing the information that was presented to you at your meeting on Thursday, August 22, 2019. These notes are broken down into three sections:

- Section 1: This section describes those proposed items specific to the building improvements with directives for code compliance addressed by the Building and Fire Departments as well as Spokane Regional Health District when warranted.
- Section 2: This section describes all issues outside of the building within the property boundaries including landscaping, parking requirements and accessibility, utilities, traffic, and refuse addressed by Planning, Engineering, Traffic, and Solid Waste Departments.
- Section 3: This section contains information for permit submittal, our intake process, and general information.

Please be advised that these notes are non-binding and do not constitute permit review or approval. The comments were generated based on current development standards and information provided by the applicant; therefore, they are subject to change. Comments on critical items will be highlighted in **bold** text.

### Project Information:

- A. Project Description: New Alternative School.
- B. Scope and Size: The scope of work is a new alternative high school building with one floor and no basement.
- C. Special Considerations: CUP
- D. Estimated Schedule: End of 2019
- E. Estimated Construction Cost: \$46,200,000

## **Section 1 – Comments Specific to the Building**

### **Dermott Murphy - Deputy Building Official (625-6142):**

#### **GENERAL PLAN REVIEW REQUIREMENTS**

1. The size and scope of this project will require that a Washington State Licensed Architect stamp the plans. Plans not stamped by the architect must be stamped by an appropriate engineer.
2. Codes which will be used to approve this project will be the 2015 I.C.C. code series and the appropriate Washington State Amendment document for each. Exceptions to this will be the 2017 National Electrical Code and WAC 296-46B and the Uniform Plumbing Code 2015 and WAC 50-56. Accessibility Standards will come from Document ICC A117.12009. Residential Energy Code (REC), which applies to this project,
3. The designer of the structures will need to observe structural design requirements as shown in IBC chapter 16 for critical elements, including earthquake loading.
4. The designer of the structure will need to identify any methods of construction which require special inspections identified in IBC chapter 17.
5. A statement of special inspection, where necessary, must be provided to receive the permit.

#### **Plans and Specifications**

The Plan Review will reflect the extent and completeness of the submitted documents. Attached is a listing (by discipline) of the plans, specifications, and engineering details which should be submitted.

**NOTE: Not all information requested may affect your project.**

#### **BUILDING PLAN REVIEW REQUIREMENTS**

In order to perform a thorough Building Plan Review, the following specifications, drawings and details should be submitted:

**Complete signed and sealed architectural plans, structural plans and material specifications of all work.**

#### **A site plan including the following information:**

1. Size and location of all new construction and all existing structures on the site.
2. Distances from lot lines.
3. Established street grades and proposed finish grades.

#### **Architectural plans and specifications to include:**

1. Description of uses and the proposed use group(s) for all portions of the building. The design approach for mixed-uses (as applicable).
2. Proposed type of construction of the building.
3. Fully dimensioned drawings to determine areas and building height.
4. Adequate details and dimensions to evaluate means of egress, including occupant loads for each floor, exit arrangement and sizes, corridors, doors, stairs, etc.
5. Exit signs/means of egress lighting, including power supply.
6. Accessibility provisions.

7. Description and details of proposed special occupancies such as a covered mall, high-rise, mezzanine, atrium, public garage, etc.
8. Adequate details to evaluate fire resistive construction requirements, including data substantiating required ratings.
9. Details of plastic, insulation, and safety glazing installation.
10. Details of required fire protection systems.

**Structural plans, specifications, and engineering details to include:**

1. Soils report indicating the soil type and recommended allowable bearing pressure and foundation type.
2. Signed and sealed structural design calculations which support the member sizes on the drawings.
3. Local design load criteria, including frost depth.
4. Earthquake seismic zone/effective peak acceleration coefficient.
5. Details of foundations and superstructure.
6. Provisions for required special inspections.
7. Applicable construction standards and material specifications (i.e., masonry, concrete, wood, steel, etc.).

**MECHANICAL PLAN REVIEW REQUIREMENTS**

In order to perform a thorough Mechanical Plan Review, the following specifications, drawings and details should be submitted:

**Complete signed and sealed plans and specifications of all heating, ventilating and air conditioning work.**

**Labeling criteria of all mechanical equipment.**

**Heating equipment data including the following information:**

1. Equipment capacity (b.t.u.).
2. Controls.
3. Appliance layouts showing location, access and clearances.
4. Disconnect switches.
5. Indoor and outdoor design temperatures.

**Ventilation data, ductwork and equipment including the following:**

6. Ventilation schedule indicating the amount of outside air (in c.f.m.) supplied to each room or space.
7. Layout showing outside air intakes.
8. Construction of ducts, including support and sheet metal thickness.
9. Duct lining and insulation materials with flame spread and smoke-developed ratings.
10. Exhaust fan ductwork layout and termination to the outside.
11. Size of louvers and grilles for attic ventilation.

**Boiler and water heater equipment and piping details including safety controls and distribution piping layout.**

**Gas and fuel oil piping layout, material, sizes, and valves.**

**Combustion air intake quantities and details.**

**Commercial kitchen exhaust equipment details including hood and fan drawings, details of automatic fire suppression, and clearances.**

**Chimney and chimney connector or vent and vent connector details and connector gages and clearances.**

**Mechanical refrigeration equipment data and details.**

**Solid fuel burning appliance details including incinerator and fireplace drawings and details. Energy conservation equipment data and details.**

## **PLUMBING PLAN REVIEW REQUIREMENTS**

In order to perform a thorough Plumbing Plan Review, the following specifications, drawings and details should be submitted:

**Complete signed and sealed plans and specifications of all plumbing work.**

**Plumbing fixture and piping material specifications including identification of the applicable referenced standard.**

**Plumbing fixture information to include:**

1. The occupant load used to determine the number of required plumbing fixtures.
2. Number and distribution based on the use group.
3. Separate facilities for each sex.
4. Accessible plumbing facilities and details.
5. Anti-scald shower valves.

**Plumbing piping plan showing layout, pitch of drainage lines, cleanouts, size of traps, and riser diagram.**

**Water supply and distribution plan showing piping sizes, valves, water heater details and temperature-pressure relief valve with discharge pipe.**

**Sanitary drainage and vent system riser diagram showing drainage fixture units (dfu), sizes and vent termination details through the roof.**

**Potable water system riser diagram showing piping sizes and provisions for protection of potable water supply.**

**Piping support and installation schedule.**

**Storm drainage details including rain gutter or roof drain sizes and downspout/leader sizes. Health care plumbing and fixture details.**

## **ELECTRICAL PLAN REVIEW REQUIREMENTS**

In order to perform a thorough Electrical Plan Review, the following specifications, drawings and details should be submitted:

Complete signed and sealed plans and specifications of all electrical work.

Labeling criteria of all electrical equipment.

Lighting floor plan including electrical circuits indicating conduit and wiring sizes.

Power floor plans including electrical circuits indicating conduit and wiring sizes, equipment and disconnect switches.

Exit sign/means of egress lighting location and power supply.

Panel board schedule.

Lighting fixture schedule.

Symbol schedule and diagrams.

**Specifications to include requirements for:**

1. Raceway and conduit with fittings.
2. Wire and cable.
3. Electrical boxes, fittings and installation.
4. Electrical connections.
5. Electrical wiring devices.
6. Circuit and motor disconnects.
7. Hangers and supporting devices.
8. Electrical identification.
9. Service entrance and details.
10. Overcurrent protection.
11. Switchboards.
12. Grounding.
13. Transformers.
14. Panelboards.
15. Motor control centers.
16. Lighting fixtures.
17. Fire protective signaling systems.
18. Automatic fire detection systems.
19. Emergency/standby systems.

**ACCESSIBILITY PLAN REVIEW REQUIREMENTS**

Accessibility Plan Reviews are based on the specified edition of the ICC/ANSI A117.1 standard as referenced by the building code.

In order to perform a thorough Accessibility Plan Review, the following specifications, drawings and details should be submitted.

**1. Complete signed and sealed (as required by applicable laws) architectural plans and material specifications of all work.** Details and plans drawn to scale with sufficient clarity, details and dimensions to show the nature and extent of the work proposed.

**2. A site plan including the following information:**

- a. Size and location of all new construction and all existing structures on the site.
- b. Location of any recreational facilities (i.e., pool, tennis courts, etc.)
- c. Established street grades and proposed finished grade.
- d. Accessible parking, other locations of public access to the facility, accessible exterior routes and locations of accessible entrances.

**3. Architectural plans and specifications to include:**

- a. Description of uses and the proposed use group(s) for all portions of the building. The design approach for mixed-uses (as applicable).
- b. Fully dimensioned drawings to determine areas and building height.
- c. Adequate details and dimensions to evaluate accessible means of egress, including occupant loads for each floor, exit arrangement and sizes, corridors, doors, stairs, areas of refuge, etc.
- d. Adequate details and dimensions to evaluate the accessible route to areas required to be accessible, including corridors, doors, protruding objects, maneuvering clearances, clear floor space at fixtures and controls, etc.
- e. Accessibility provisions including but not limited to access to services, seating, listening systems, accessible fixtures, elevators, work surfaces, etc.
- f. Accessible plumbing facilities and details.
- g. Tactile signage provided.
- h. Details of required fire protection systems.

**Note:** The Accessibility Review will cover the scoping requirements in Chapter 11 and other accessibility related requirements mainstreamed throughout the applicable building code. Technical requirements covered will be based on the applicable edition of ICC/ANSI A117.1. Accessible and Usable Buildings and Facilities.

**Dave Compton - Assistant Planner (625-6089):**

1. Development Standards:

- a. Front yard setback: 15 feet from front property line
- b. Side yard setback: 5 feet
- c. Rear yard setback: 25 feet
- d. Lot Coverage: 2,250 sq. ft. +35% for portion of lot over 5,000 sq. ft.
- e. FAR: 0.5

2. Design Standards: Per *SMC 17C.110.500*

This project must address Institutional Design Standards. Please refer to *17C.120.500* for institution design standards, which address:

- 1. Transition between Institutional and Residential Development
- 2. Buildings Along the Street
- 3. Lighting
- 4. Treatment of Blank Walls
- 5. Prominent Entrances
- 6. Massing
- 7. Roof Form
- 8. Historic Context Considerations
- 9. Screening

**Dave Kokot – Fire Prevention Engineer (625-7056):**

1. The scope of work is a new alternative high school building with one floor and no basement.
2. The total area of the project is approximately 45,500 square feet. The occupancy is E. The construction type was not noted, and is assumed to be Type IIB.
3. Construction and demolition shall be conducted in accordance with IFC Chapter 33 and NFPA 241.
4. The building will be required to be provided with fire sprinklers. (IFC 903)
5. A voice fire alarm system with central monitoring is required for the common areas of the building in accordance with the Municipal Code including the provision for “Special Areas to be Protected”. (SMC 17F.080.110)
6. Smoke detectors are required above the panel, power supplies, annunciator, and other panels associated with the fire alarm system
7. An emergency voice/alarm system is required for this building (IFC 907 amended with SMC 17F.080.110).
8. Duct smoke detectors (if required) shall be wired to a supervisory zone only, not an alarm-initiating zone, as per Spokane Fire Department policy and as provided in NFPA 90A. The codes require duct detection only on return air.
9. The Fire Department requires annual operating permits for specific operations for buildings and sites in accordance with Section 105 of the Fire Code.
10. Fire extinguishers are required for A, B, E, F, H, I, M, R-1, R-2, R-3 and S occupancies in accordance with IFC 906 – Table 906.3(1).
11. Address numbers or other approved signs are required to be provided on the building in a visible location (IFC 505).
12. If the building is equipped with a fire protection system, a Fire Department key box will be required (IFC 506).
13. Critical materials are any products that can contaminate the ground water of the aquifer. Critical materials can be hazardous or non-hazardous. An inventory of all critical materials is required to be submitted to the Building Department as part of the Building Permit Application (SMC 17G.010.150). A permit with the Fire Department may be required.

**Eric Meyer – Spokane Regional Health District (324-1582):**

Please see attached letter.

**Section 2 – Comments Specific to the Site**

**Dave Compton - Assistant Planner (625-6089):**

1. **A school is outright permitted in a Residential Multi-Family (RMF).**
2. **Design Review will be required prior to building permit submittal.**
3. Landscaping and Sidewalks:
  - a. Separated Sidewalk with planting zone are required. We can take a look at keeping the existing sidewalks in the loading zone areas.
  - b. Sidewalks, including interior pathways, shall have the minimum dimension of five feet. This dimension shall be applied to the clear, unobstructed pathway between the planting zone for street trees per SMC 17C.200.050 and building facades or parking lot screening.



- c. Irrigation is required as per *17C.200.100*.
  - d. A six-foot wide planting area of L2 landscaping, including street trees as per *17C.200.050* are required along street frontages.
  - e. Building setbacks and all other portions of a site not covered by structures, hard surfaces, or other prescribed landscaping shall be planted in L3 open area landscaping until the maximum landscape requirement threshold is reached (see *SMC 17C.200.080*).
4. Parking:
- a. Please show parking calculations on your building plans when you submit for permit. Minimum and Maximum parking ratios are per *SMC 17C.230*.
    - i. Minimum Ratio for junior high schools: one parking stall per classroom
    - ii. Maximum Ratio for junior high schools: 2.5 parking stalls per classroom
5. Any new fencing will require a separate permit.

**Patty Kells – Traffic Engineering Assistant (625-6447):**

1. From Inga Note: She wants to make sure you are still thinking about how a trail connection can be made between the Children of the Sun Trail and Shaw Middle School, the library, and the community center and how the site layout can be adjusted to better facilitate bike travel. One route takes the pathway up Regal and into the site. The other option is to take the parking lane way on Garland and connect the pathway to Cook Street.
2. Please provide an overall campus parking analysis to verify all required, existing, and proposed parking including the required ADA requirements.
3. Further review and discussions by City Staff from all departments is needed for the Cook St proposed improvements. Frontage improvements for Garland Ave to include current code requirements for separated sidewalk with street trees. STA may have additional requirements for the bus stop.
4. All parking and maneuvering areas must be hard surfaced. All required parking, landscaping and onsite stormwater designs must be within the property lines and not in the public right-of-way.
5. Please dimension the parking stalls, accessible stalls and access aisles, travel lanes and driveway approaches on the site plan. Any proposed one way directional travel lanes must be signed and striped appropriately as “Enter Only” and/or “Exit Only”.
6. Any new or modified driveway access locations must be reviewed and approved by Traffic Engineering prior to permit issuance and meet City Standards. All unused driveways must be removed and replaced with City standard curb and sidewalk. The maximum width for commercial approaches is 30’ – anything larger will require a design deviation with justification.
7. The parking stalls must be striped to current standards and for accessible barrier free parking spaces and aisles must comply with City of Spokane Standard Plans G-54 & B-80A. An accessible route of travel connecting to the nearest accessible building entrance and to the public sidewalk is required with a marked accessible route of travel. All barrier free spaces and aisles need to be designed, drawn, noted, and must be added as details on the plans per these standards. Note on the site plan the van-accessible stalls and the sign locations. The access aisle for van accessibility must be eight feet wide.
8. Adequate access and maneuvering for refuse/emergency vehicles is required per the City Standards and must be maintained during construction.
9. Maintain clear view at intersections, pedestrian ways, and driveways. Please add the clear view triangle to the site and landscaping plans to verify any conflicts.
10. Regional pavement cut policy will be applicable for all streets surrounding this site. Confine illumination lighting to the site.

11. A transportation impact fee will not be assessed for the new 150,000sf Middle School, new 45,500sf On Track Academy, and library (with its own credit for relocation) with credit given for the existing 217,892sf school per the County Assessor's appraisal below.

Commercial/ Structure	Appraiser	Year Built	Year Remodeled	Main Floor Size	Number of Floors
GENOFF	110	1998	0	720	1
GENOFF	110	1998	0	1,440	1
SCHCLASS	110	1958	2006	112,426	1
WHSEDIST	110	1978	2011	99,610	2
COMM STORAGE	110	1990	0	2,436	
COMM STORAGE	110	1990	0	1,260	
Commercial Canopy	110	1991	0	9,200	
Fencing - Chain Link	110	1978	0	1,550	
Loading Dock	110	1978	0	2,050	
Paving	110	1958	2008	90,000	
Paving	110	1978	2008	170,600	
Tennis Courts - Standard	110	2000	0	4	

**Mike Nilsson – Engineer (625-6323):**

1. Beginning October 1, 2019 any new projects that are planning to manage stormwater with UIC wells must use the 2019 UIC BMPs. Any new project beginning the design process after this date must submit a UIC registration to Ecology at least 60 days prior to commencing UIC well construction. Ecology's approval of the registration is required prior to construction of a new UIC well.
2. Cook Street and Rich Avenue are currently designated as Tier 3 roadways and subject to the adopted Regional Pavement Cut policy.
3. There is an existing sanitary sewer system on-site. We recommend the condition of the sewer system be verified as part of your project.
4. New commercial side sewers shall be a minimum of six inches in diameter, have a minimum slope of two percent and 3.5 feet of cover where vehicular traffic passes over, two feet minimum in other areas. Sewer and Water service separation requirements are 18 inches minimum vertical, five (5) feet minimum horizontal. Sewer cleanouts shall be installed at every 100 feet and every angle 45 degrees or greater. See City of Spokane Design Standards Section 4 for additional information on Sewers.
5. A drain for the trash enclosure is required to be connected to sewer if there is food service. Hot running water needs to be available to the enclosure for cleaning.
6. A grease trap is required for food service preparation. The design of these facilities is covered in the Uniform Plumbing Code.
7. Food service may trigger additional pretreatment requirements to help capture pollutants at the source. Additional information is available at

<https://my.spokanecity.org/publicworks/wastewater/business/>.

8. The proposed project is within the General Facility Charge (GFC) Waiver Zone, so GFCs will not be assessed for this project for new sewer/water service connections.
9. All storm water and surface drainage generated on-site must be disposed of on-site in accordance with SMC 17D.060.140 "Storm Water Facilities". Stormwater requirements can be found in the Spokane Regional Stormwater Manual (SRSM) and the City of Spokane Design Standards Section 6. In general, any new impervious surface will require a geotechnical site characterization (report) and drainage report/plan. Please include a detailed Site Plan or Civil Plans, which show and clearly delineate existing and proposed sewer, water, drainage structures, drywell types, swale bottom areas, and property lines. Show proposed and existing pavement. Geotechnical reports, drainage reports, and civil plans must be stamped and signed by an engineer licensed in the State of Washington.
10. Combining landscape and stormwater treatment areas per Eastern Washington Low Impact Development (LID) Guidance Manual is allowed. The link to DPE LID resources can be found at: <https://ecology.wa.gov/Regulations-Permits/Guidance-technical-assistance/Stormwater-permittee-guidance-resources/Low-Impact-Development-guidance>
11. Any drywells and subsurface drainage galleries (existing and proposed) for the site must be shown on the plans and registered with the Washington State Department of Ecology (DOE). Please send a copy of the completed registration form to the City of Spokane Development Services Center. See the following link at the Department of Ecology (DOE) website for information about the Underground Injection Control (UIC): <https://ecology.wa.gov/Regulations-Permits/Guidance-technical-assistance/Underground-injection-control-program>
12. Most land-disturbing activities require an Erosion and Sediment Control (ESC) plan. Land-disturbing activities are activities that result in a change in existing soil cover (vegetative or non-vegetative) or site topography. Land-disturbing activities include, but are not limited to, demolition, construction, clearing and grubbing, grading, and logging. An ESC plan detailing how erosion and other adverse stormwater impacts from construction activities will be handled must be submitted to the Development Services Center for review and acceptance prior to construction of said phase. See Section 9 of the SRSM for ESC requirements and applicability. The following link provides information on ESC training and certification programs: <https://ecology.wa.gov/Regulations-Permits/Permits-certifications/Certified-erosion-sediment-control>
13. Include a note stating that the Contractor is responsible for designating a location where concrete trucks and equipment can be washed out. This area shall not be located near or draining into a storm drainage area, treatment area, or facility.
14. Include the following note on the plans: "**All broken, heaved, or sunken sidewalk, curbs, and driveway approaches adjacent to the project will be replaced or repaired whether caused by construction or not.**"

**Dave Kokot – Fire Prevention Engineer (625-7056):**

1. An approximate site fire flow (obtained from IFC Table B105.1 and Table C105.1) is 4,500 GPM without automatic sprinklers throughout and requires five fire hydrants. Site fire flow is 1,500 GPM with automatic sprinklers throughout and requires one fire hydrant.
2. There are existing fire hydrants in the area that meet the code requirements for this project.
3. At least one additional fire hydrant may be required depending upon the final arrangement for Fire Department access.
4. Site fire flow will be required to be maintained or provided during construction.
5. Fire hydrant spacing shall not be more than 500 feet (along an acceptable path of travel), within 500 feet of the property line for non-sprinklered buildings and 750 feet of the property line for fire sprinklered buildings (SMC 17F.080.030).

6. For commercial buildings, fire hydrants are required to be along an acceptable path of travel within 400 feet to all points around the building without fire sprinklers (IFC 507.5.1), and 600 feet for commercial buildings with fire sprinklers (IFC 507.5.1, exception 2).
7. Fire Department Connections for new fire sprinkler system installations shall be located no more than five hundred feet from a fire hydrant along an accessible path of travel unless where approved by the fire official.
8. A separate meeting was held to discuss the site access. A revised plan is being provided prior to the application of the building permit to get concurrence with the Fire Department.
9. Fire Department approved all-weather access must be provided to within 150 feet of any point around the outside of a building (IFC 503.1.1). For fully sprinklered buildings, this is extended to 165 feet (IFC 503.1.1, exception 1). Dead-end roads longer than 150 feet need approved fire apparatus turn-arounds (IFC 503.2.5). Fire apparatus turning radius is 50 feet external, 28 feet internal (SMC 17F.080.030.D.3). Minimum height clearance is 13 feet-6 inches (IFC 503.2.1). Fire lanes will have a maximum slope of 10 percent (based on IFC 503.2.7)
10. Minimum width for fire access is 20 feet, unobstructed (IFC 503.2.1). Buildings exceeding 30 feet in height and will be required to have a Fire Aerial Access lane of 26 feet wide along at least one side of each building (IFC D105.2). The fire aerial lane is required to be a minimum of 15' and a maximum of 30' from the building along the full length of the side of the building.
11. Fire access will be maintained during construction. The fire lanes will be maintained with an all-weather surface (IFC 3310.1).
12. The installation of security gates or barriers on fire access roads shall be approved by the Fire Department (IFC 503.6). If access to the site is required to comply with the distances around the building, at least one access gate will be setback a minimum of 48' from the edge of pavement. Gate openings will be a minimum of 14' wide, and open gates will not obstruct access to structures.

**Mathias Bauman – Water Department (625-7953):**

1. There are multiple existing water services running to this parcel. Your engineer may determine that the existing services may need to be replaced or upsized to meet the needs of the project. If any existing services are not utilized, they must be disconnected at the main.
2. If the easement has been vacated for the abandoned 24-inch main, then building a structure would be allowed. The abandoned main would be part of the property; therefore, could be removed if needed.
3. If additional water is needed, there are water distribution mains in all surrounding streets available for the project.
4. The City of Spokane Water Department Cross Connection Control and Backflow program rules and regulations shall be followed in accordance with Washington Administrative Code (WAC 246-290-490) and the City of Spokane Municipal Code 13.04.0814.
5. Calculated static water pressure is approximately 64 psi at the surrounding hydrants.
6. A utility site plan illustrating new water lines and/or services to be installed shall detail the location of new tap(s) and meter(s) prepared by a Professional Engineer licensed in the State of Washington. Water Department plan reviewers and inspectors will ensure that any new water line(s) and Service line(s) needing backflow assemblies are installed in accordance with applicable rules and regulations. Water Department Water Service Inspectors, (north side) Harry Ward (509) 625-7845, (south side) Ryan Penaluna (625-7844) will review submitted plans and inspect on-site construction. Water Department Cross Connection Control Specialists, Donovan Aurand (509) 625-7968 and Lance Hudkins (509) 625-7967, will review any backflow assemblies where required.
7. Taps and meters can be purchased at Developer Services Center, located on third floor of

City Hall -Spokane. Size of service(s) shall comply with International Plumbing Code. Tap, meter, and connection fees will comply with section 13.04 of SMC. Tapping of the water main and installation of new meters shall be done by City forces. All excavation and restoration is the owner's responsibility. All trenches and/or excavations must comply with current W.A.C. #296-155 part N. No City of Spokane employee will be permitted into any trench and/or excavation without proper shoring or sloping, no exceptions. Please see Water Department Rules and Regulations for information about tap and meter sizes and sewer/water separation requirements.

**Rick Hughes – Solid Waste (625-7871):**

They were planning to do what the other schools are doing. 2x roll-off dumpsters. The city will need to agree to the plans and layout before approval.

### **Section 3 – General Information and Submittal Requirements**

1. Site plan requirements are as shown on the attached "Commercial Building Permit Plan Checklist". For the permit intake submittal, please provide three (3) **Full Building Plan Sets** and an electronic copy of the **Site Sets**. **Full Building Plan Sets** shall include all plans created for this project: cover sheet, architectural, structural, plumbing, mechanical, electrical, civil engineered plans, landscaping and irrigation drawings. **Site Sets** shall include: cover sheet, overall site plan (either architectural or civil engineered), all civil engineering plans, landscaping and irrigation plans, and building elevations. Plans are required to be stamped and sealed by an architect, landscape architect, or engineer licensed to do business within the State of Washington. All reports and supporting documentation noted in departmental comments will also be required for the permit intake submittal (i.e. NREC, drainage report, geotechnical site characterization, etc.)
2. Please provide an electronic copy of site plans showing dimensions, **property lines, and City Limits**, relative topography, all on-street signs and street markings, any new and existing frontage improvements, all structures, on-street storm drainage facilities, sidewalks, curbs, parking calculations and dimensions, dimension existing roadway, new and existing driveways and their locations, and other relative information. Show all existing topography in the public right-of-way such as street signs, water valves, hydrants, etc. All required landscaping must be within the property lines and not in the public right-of-way.
3. An Intake Meeting handout was provided to you in your packet at the Pre-Development meeting. Please call (509) 625-6300 to schedule an Intake Meeting to submit plans for a new commercial/industrial building, an addition to an existing building, a change-of-use, or a parking lot. Appointments must be made at least 24 hours in advance and can be scheduled for Monday through Thursday.
4. Please provide a complete set of plans to Spokane Regional Health District if food and/or beverage handling business is planned.
5. If you would like a full Certificate of Occupancy on any portion of the permit prior to completion of the other phases, it is required to file separate permits for each phase. An additional \$250 fee will be assessed for a Temporary Certificate of Occupancy and/or a Temporary Certificate of Occupancy extension per SMC 8.02.031M.
6. For additional forms and information, see [my.spokanecity.org](http://my.spokanecity.org).

## PRE-DEVELOPMENT CONFERENCE COMMENTS

August 21, 2019

Ty Miller  
Integrus Architecture  
10 S. Cedar St.  
Spokane, WA 99201



1101 West College Avenue  
Spokane, WA 99201-2095

509.324.1500 | TEL  
509.324.1464 | TDD  
[www.SRHD.org](http://www.SRHD.org)

Project Description: Shaw Middle School/On Track Academy

Project No: B19M0089PDEV/B19M0090PDEV  
Parcel No: 35045.2326  
Location: 4106 N. Cook/2802 N. Rich Ave.  
Health District Tracking No: SR0005861

Spokane Regional Health District (SRHD) has completed a preliminary review of the above-referenced project. Based on the review, the following comments are offered for consideration by both the City of Spokane and the project sponsor prior to issuance of a building permit.

### **Food Safety Program Comments**

The following items shall be submitted for review and determination of permit requirements for the main kitchen, any concession stands and any other areas where foods are offered to the student body such as DECA, home-economics, etc.:

1. A complete set of project construction plans and specifications, including an equipment list and surface finish list, must be submitted for review and approval prior to issuance of the building permit. Food service establishment plans can be submitted in hard copy or electronically. Electronic plans can be submitted to [foodsafetyprogram@srhd.org](mailto:foodsafetyprogram@srhd.org). If plans will be submitted in both formats, a statement must be included indicating both sets are identical, or any differences must be itemized. The final plan submittal shall include a plumbing plan showing all sinks and drainage, including the method used for indirect drainage of equipment such as ice machines, ice bins, dishwashers, produce preparation sinks, etc. as required by WAC 246-215-05410.
2. Any changes to the food menu and food preparation steps must be included in the plan submittal. Note: All necessary paperwork for obtaining a food service establishment permit can be obtained at <https://srhd.org/programs-and-services/food-establishment-permits>.
3. The final plan submittal shall include a plumbing plan showing all sinks and drainage, including the method used for indirect drainage of equipment such as ice machines, ice bins, dishwashers, produce preparation sinks, etc. as required by WAC 246-215-05410.
4. Lighting shall comply with WAC 246-215-06240 and 06340.
5. A written statement of intent as to method of refuse containment is to be provided, along with a description of how the containment will be maintained in a sanitary manner. The refuse containment area surface must be constructed of nonabsorbent material and shall be smooth, durable, and sloped to drain. Location, construction and maintenance of the refuse containment area shall comply with WAC 246-215 PART 5 Subpart E.

Ty Miller  
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4106 N. Cook/2802 N. Rich Ave.  
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August 21, 2019

6. All areas used for storage of food products, single service items, utensils and equipment shall have surfaces that are smooth, durable and easily cleanable. Exterior storage structures (e.g., storage buildings for espresso operations) are subject to the same requirements and shall be pre-approved by the Health District prior to being located on the site.
7. A complete submittal must be received and approved prior to release of Health District interest in the building permit. A complete food service establishment plan submittal may take up to 14 days to review.
8. Once the project is complete and ready for inspection please contact the Health District at least three (3) days prior to the projected date of opening.

### **School Program Comments**

Any publicly financed or private or parochial school or facility used for school instruction, from kindergarten through twelfth grade, must submit the following information for review:

1. A site sound level survey must be conducted to determine the ambient background noise at the site of a new school, an addition to an existing school, or the addition of a portable classroom. The ambient background noise cannot exceed an hourly average of 55 dBA or an hourly maximum of 75 dBA while school is to be in session. Exceedances of the maximum permitted site sound levels will require the submittal of a plan to mitigate the noise with building construction or other means to ensure compliance with maximum permitted sound levels in instructional areas of the school.
2. In new construction, the actual background noise at any student location within the classroom shall not exceed 45 dBA (Leqx), where x is thirty seconds or more. Compliance is determined with the ventilation system and the ventilation system's noise generating components in operation (e.g. condenser, heat pump, etc.).
3. A complete set of building construction plans and specifications must be submitted for review and approval prior to issuance of the building permits. The *K-12 School Construction Project Submittal* form is on the SRHD website at <https://srhd.org/programs-and-services/school-health-safety-program>. Plans can be submitted electronically, but a paper copy, including specification books and manuals, is required for school project plan review. An electronic copy of the final plans and specification books is required for archival purposes.
4. If available, please provide a project schedule timeline to track important project dates, such as D5 and D7 deadlines.
5. Letters must be submitted stating that the drawings and specifications for the projects are designed in accordance with the following *Primary and Secondary School Regulation* WAC sections:
  - WAC 246-366-080 – Ventilation
  - WAC 246-366-090 – Heating
  - WAC 246-366-100 – Temperature Control
  - WAC 246-366-110 – Sound Control
  - WAC 246-366-120 – Lighting

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4106 N. Cook/2802 N. Rich Ave.  
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Note: Sound and light levels will be measured for compliance during the pre-occupancy inspection conducted when construction is completed.

6. The plan submittal must include letters from the architect or engineer stating that the building ventilation systems are designed in compliance with the *International Mechanical Code* and *American Society of Heating, Refrigerating and Air-Conditioning Engineers (ASHRAE) Standard 62.1*, unless waived by SRHD. This requirement does not apply to relocatable classrooms.
7. A plan review meeting with the SRHD School Health and Safety Program will be required to discuss plan review of the proposed site, facility design and construction, and curriculum related to the school facilities. This includes office areas, restrooms, locker rooms, gymnasiums, custodial rooms, classrooms, science rooms, science preparation rooms, shops, art rooms, auditoriums, interior lighting, ventilation, food service and playgrounds. Please contact Sandy Phillips at 324-1560, extension 4, to schedule this meeting. To improve the efficiency of the plan review process it is preferred that this meeting takes place prior to final plan submittal (e.g. at the 50% plan stage).
8. Safe motor vehicle (parent and bus) drop-off and pick-up design and locations must be provided for student arrival and departure. For assistance developing safe routes to school, refer to the Feet First handbook *Improve Your School Arrival and Departure Procedures* <http://www.feetfirst.org/wp-content/uploads/2013/12/Arrive-Depart-Handbook-FINAL-for-FF-website.pdf>.
9. Light intensities shall be provided as measured 30-inches above the floor or on working surfaces as follows:
  - General instruction areas (study halls, lecture rooms, libraries) – 30 foot-candles.
  - Special instruction areas (sewing rooms, labs, chemical storage areas, shops, drafting rooms, art and craft rooms) – 50 foot-candles.
  - Non-instructional areas (auditoriums, lunch rooms, assembly rooms, corridors, stairs, store-rooms, and toilet rooms) – 10 foot-candles.
  - Gymnasiums (main and auxiliary spaces, shower rooms and locker rooms) – 20 foot-candles.
10. Any classrooms used for science, shops or art curriculum may require:
  - Submittal of a planned curriculum and Safety Data Sheets for chemicals
  - Fume hood, eyewash and emergency shower (and submittal of spec sheets)
11. Local exhaust ventilation will be required for any equipment generating contaminants, including but not limited to CNC equipment, 3D printers, high volume copiers and for classrooms where metals will be soldered (shops, robotics, etc.).
12. Ground fault interrupter (GFI) devices shall be provided on all electrical receptacles within six feet of sinks, water fountains and other grounding sources.
13. Soap and single-service towels shall be provided at all handwashing facilities, including science room handwashing sinks.

### **Liquid Waste/Water Program Comments**



Ty Miller  
Shaw Middle School/On Track Academy  
4106 N. Cook/2802 N. Rich Ave.  
Project Number: B19M0089PDEV/B19M0090PDEV  
August 21, 2019

The site is currently served by public sewer and water. No changes to these utilities are required by the Health District.

### Solid Waste Program Comments

1. All demolition/construction debris must be transported to a licensed solid waste disposal facility. No on-site burning or burying of debris will be allowed.
2. If the site of the proposed project requires fill or grading, and clean soil or rock are used, no action is required by the Health District. If the fill will include inert waste such as concrete or asphalt, it shall not exceed 250 cubic yards without obtaining an inert waste landfill permit. Sites requiring an inert waste landfill permit shall comply with section 1.06.040 of the Spokane Regional Health District 2004 *Solid Waste Handling Standards*. Any other regulated solid waste placed on the site shall meet the requirements of the Spokane Regional Health District 2004 *Solid Waste Handling Standards*.

### General

1. These comments are based on the project as proposed and reflect requirements in place at the time of submittal. There may be additional requirements at the time of formal application submittal if there have been changes to the proposal or revisions to the regulations have occurred since the original submittal.
2. The Health District is a separate reviewing agency from the Building Department. To assist in an efficient review of your project please submit final project plans and all information requested in these comments directly to the Health District.
3. Plan review for projects that require a permit or approval from the Health District is billed at \$130 per hour including time spent reviewing the project at the pre-application phase. Projects that are considered new construction (e.g., new structures, change of use, building additions, etc.) are charged a 1.5-hour minimum, to be paid at the time of plan submittal. Additional time spent reviewing plans and conducting pre-occupancy inspections is billed at the standard plan review rate of \$130 per hour. **Plan review and pre-occupancy inspections for projects that begin construction without written Health District approval is charged at 1.5 times the standard hourly rate.** Review of submittals begins only after all required documentation and fees have been received.

Thank you for the opportunity to review your project. For general questions regarding these comments call 324-1582.

Sincerely,



Sandra J. Phillips, CPHI(C)  
Technical Advisor  
Environmental Public Health Division

SJP/lh

**PRE-DEVELOPMENT NOTES**

Date Delivered: September 16, 2019

**PROJECT: Shaw Middle School/On Track Academy B19M0089PDEV/B19M0090PDEV  
4106 N Cook/2802 E Rich Ave (Parcels 35045.2326/35045.2326)**

**To: Ty Miller, Integrus Architecture**  
**Cc: Dermott Murphy, Deputy Building Official, City of Spokane**  
**Tami Palmquist, Associate Planner, City of Spokane**

Dear Mr. Miller,

I am enclosing a packet of information from Urban Forestry that will be beneficial to you should you decide to proceed with plans to develop the above property.

Although I have not conducted a site visit, our Street Tree Inventory does not list any trees currently existing in the public right of way along either Garland Avenue, Cook Street, or Rich Avenue.

It appears that there is an eight foot wide section of public right of way behind the sidewalk along Rich Avenue that extends the length of the property. Urban Forestry would require the installation of new street trees along this stretch in conjunction with this project. Please choose from the Class II section of the Approved Street tree list and space trees 30-35 feet off center. This spacing can be adjusted with Urban Forestry approval, depending on the form and mature width of the tree canopy of the chosen species.

You will be required to hire a licensed certified arborist and a separate Tree Permit will need to be submitted for the installation of new street trees, so I am supplying you with a list of city approved arborists for that work. The arborist you choose will be familiar with Street Tree permitting process. This permitting process could take up to 10 business days so please plan with this time requirement in mind.

Since there are trees on the interior of your property boundary, I am including Tree Protection Specifications and Details in case you are planning on retaining any of these trees. If trees are identified for retention, please include these documents on your plans. The installation of tree protection fencing can greatly increase a tree's survivability during construction if installed properly and maintained throughout all phases of construction. Depending on the time of year, you may also want to create a watering plan and schedule for the trees being retained that will be affected by lack of irrigation due to construction.

You will also be required to install landscaping on the interior of your property, including trees. While a licensed certified arborist is not required to plant interior trees, the planting standards are the same as street trees, so I recommend you have a certified arborist plant the interior trees. All trees on site will be inspected to ensure they are planted correctly before a Certificate of Occupancy is issued.

Please also consider tree placement and any signage to be installed to prevent visibility issues as the trees mature. This will lessen tree maintenance in the future.

Please let me know if I can be of any assistance to you.

Respectfully,

Becky Phillips  
Urban Forestry Specialist  
City of Spokane

**PRE-DEVELOPMENT PACKET**

Date Delivered: September 16, 2019

**PROJECT: Shaw Middle School/On Track Academy B19M0089PDEV/B19M0090PDEV  
4106 N Cook/2802 E Rich Ave (Parcels 35045.2326/35045.2326)**

**To: Ty Miller, Integrus Architecture**  
**Cc: Dermott Murphy, Deputy Building Official, City of Spokane**  
**Tami Palmquist, Associate Planner, City of Spokane**

Dear Mr. Miller,

The purpose of this Pre-Development Packet is to provide general information needed to meet Street Tree requirements in the City of Spokane. If the project includes planting, pruning (crown or roots), protecting or removing street trees then the information in this packet will assist you in meeting the requirements and avoiding delays in your project.

Urban Forestry also performs final landscape inspections for the interior of the property during the Certificate of Occupancy review. This includes making sure the landscape matches the approved design, and that design elements are installed in accordance with City of Spokane Municipal Codes. A licensed certified arborist is only required for the planting of street/public trees, but the planting standards and specifications are the same for interior trees, so please use the V-101 & V-102 as planting standards for all trees and shrubs on this site.

The documents included in this packet are as follows:

- Certified & Licensed Arborists in the City of Spokane
- Tree and Shrub Planting Details Diagram
- A Clear View: Vegetation & Traffic Safety Diagram
- Existing Sidewalk Retrofit Diagram
- Tree Protection Specifications & Detail

In addition, the documents below may be helpful to you as well and can be found at the corresponding websites:

Street Tree Permit Application available online at [www.aca.spokanepermits.org](http://www.aca.spokanepermits.org)

Approved Street Tree List available online at [www.spokaneurbanforestry.org](http://www.spokaneurbanforestry.org)

Please pay particular attention to the following as these are the most common concerns:

1. Please use the City's standard tree and shrub planting details V-101 & V-102 (Attached)
2. No tree shall be planted within fifteen (15) feet of any driveway, alley, streetlight, utility pole, non-safety street sign (ex. parking, street name) or fire hydrant. No tree shall be planted within twenty (20) feet of a critical street safety sign (stop, yield, or pedestrian crossing). The potential placement

of street signs, street lights and utility poles shall be evaluated to lessen the conflict with the growth of existing street trees.

3. Any substitutions or revisions to the final approved plant schedule and planting plan must have written approval from Urban Forestry and the Landscape Architect prior to installation.
4. Please have a licensed Certified Arborist from the attached list submit a complete Street Tree Permit Application 10 days prior to tree work for this project.

The documents provided are also available on our website: [www.spokaneurbanforestry.org](http://www.spokaneurbanforestry.org) or if you have any questions please contact Katie Kosanke at 509.363.5495 or [kkosanke@spokanecity.org](mailto:kkosanke@spokanecity.org). Our intent is to provide guidance and assistance early in this process to ensure your project is successful; please do not hesitate to contact us.

Respectfully,

Katie Kosanke  
Urban Forester, City of Spokane

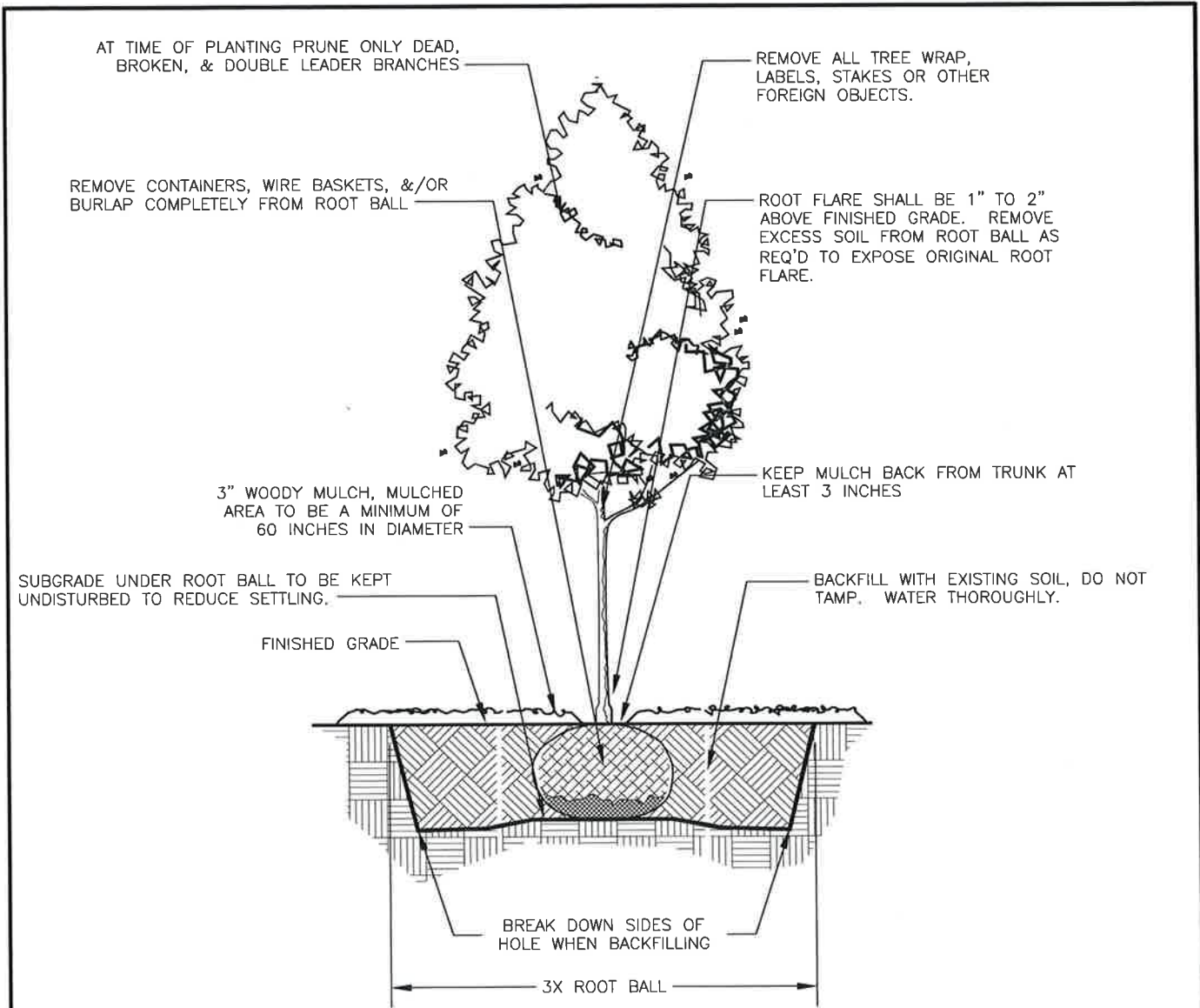
*Certified & Licensed Arborists in the City of Spokane*

[www.spokaneurbanforestry.org](http://www.spokaneurbanforestry.org)

Company Name	Phone	Email/Website
A1 Tree Service*	509-623-0344	a1stumpremovalspokane@gmail.com
A.B.C. Consulting Arborists LLC*	509-953-0293	daniel@abcarborist.com
Aardvark Tree Service	509-891-7650	aardvarktree@live.com
Affordable Arborist Tree Care Inc	509-879-0577	sandnessmerret@gmail.com
All Seasons Tree Service	208-660-7461	office@allseasonstreeservice.contractors
Bluebird Tree Care Inc*	208-651-3959	benlarsontree@gmail.com
Budget Arbor & Logging LLC	509-458-0838	mike@budget-arbor.com
C & C Yard Care Inc*	509-482-0303	chriscc@candcyardcare.com
Clearwater Summit Group Inc	509-482-2722	rnee@clearwatersummitgroup.com
Community Forestry Consultants, Inc.*	509-954-6454	cfconsults@comcast.net
Dan Dengler	970-401-0412	dandenglerlongboards@yahoo.com
Deep Roots Gardens & Landscaping	509-216-4835	christopher.re78@gmail.com
Don Taylor Tree Services, Inc.	208-640-1951	don@dontaylortreeservice.com
Frontier Tree Service	509-487-8733	frontiertreeservicespokane@gmail.com
Greenleaf Landscaping Inc	509-536-2885	Info@greenleafwa.com
Heindl Tree Care Inc*	509-475-9135	arborpaul@hotmail.com
Land Expressions	509-466-6683	frontdesk@landexpressions.com
Little Tree INW LLC	509-212-4972	clarkrjacob@gmail.com
Northwest Plant Health Care, a division of F.A. Bartlett Tree Experts	509-892-0110	shogan@bartlett.com
Palms Tree Service & Landscaping	509-939-0460	darrenpalmer1@gmail.com
Sam's Tree & Landscape LLC	509-467-3801	sam@samsapes.net
Selkirk Landscape Services	509-536-1919	selkirklandscape@gmail.com
Senske Services	509-891-6629	sjones@senske.com
Skyline Tree Service LLC	509-496-9793	crendall1@hotmail.com
Spirit Pruners LLC*	509-979-3496	k@spiritpruners.com
Spokane Tree Pro	509-998-2771	spokanetreepro@gmail.com
Tall Tree Service	509-747-8733	talltreeservice@gmail.com
The DRB Company	509-701-3100	drbcompany@comcast.net
Treescapescapes Inc	509-992-8733	treescapes@roadrunner.com

\*Currently qualified to provide Risk Assessments

~as of July 2019



**NOTES:**

1. TREES BURIED TOO DEEP, OR WITHOUT EXPOSING ROOT FLARE WILL BE REJECTED & SHALL BE REMOVED & REPLANTED AT PROPER DEPTH.
2. ALL 'ADVENTITIOUS ROOTS' AND 'SUCKERS' SHALL BE PRUNED AWAY PRIOR TO PLANTING.
3. DEVIATIONS FROM THIS DETAIL SHALL ONLY BE ALLOWED WITH PERMISSION FROM THE CITY ARBORIST.
4. TREES NOT PLANTED IN CONFORMITY WITH THIS DETAIL WILL BE REJECTED BY THE CITY ARBORIST. REPLACEMENT OF REJECTED TREES WILL BE DONE AT THE CONTRACTOR'S EXPENSE & NOT BY THE CITY OF SPOKANE.
5. LOCATIONS OF TREES TO MEET THE REQUIREMENTS OF DESIGN STANDARDS 3.5-2. ≥ 15 FT FROM DRIVEWAYS, ≥ 10 FT FROM DRAINAGE INLETS, ≥ 20 FT FROM DRYWELLS, NOT OBSTRUCT TRAFFIC SIGNS OR SIGHT TRIANGLES, AND 15 FT FROM UNDERGROUND UTILITIES
6. AFTER PLANTING, IF TREES ARE UNSTABLE, STAKING MAY BE USED BUT ONLY AS NECESSARY. AT 6 MONTHS, ALL STAKING MATERIAL SHALL BE REMOVED. IF TREE IS STILL UNSTABLE, AFTER 6 MONTHS, TREE MAY NEED TO BE REPLACED.

APPROVED BY



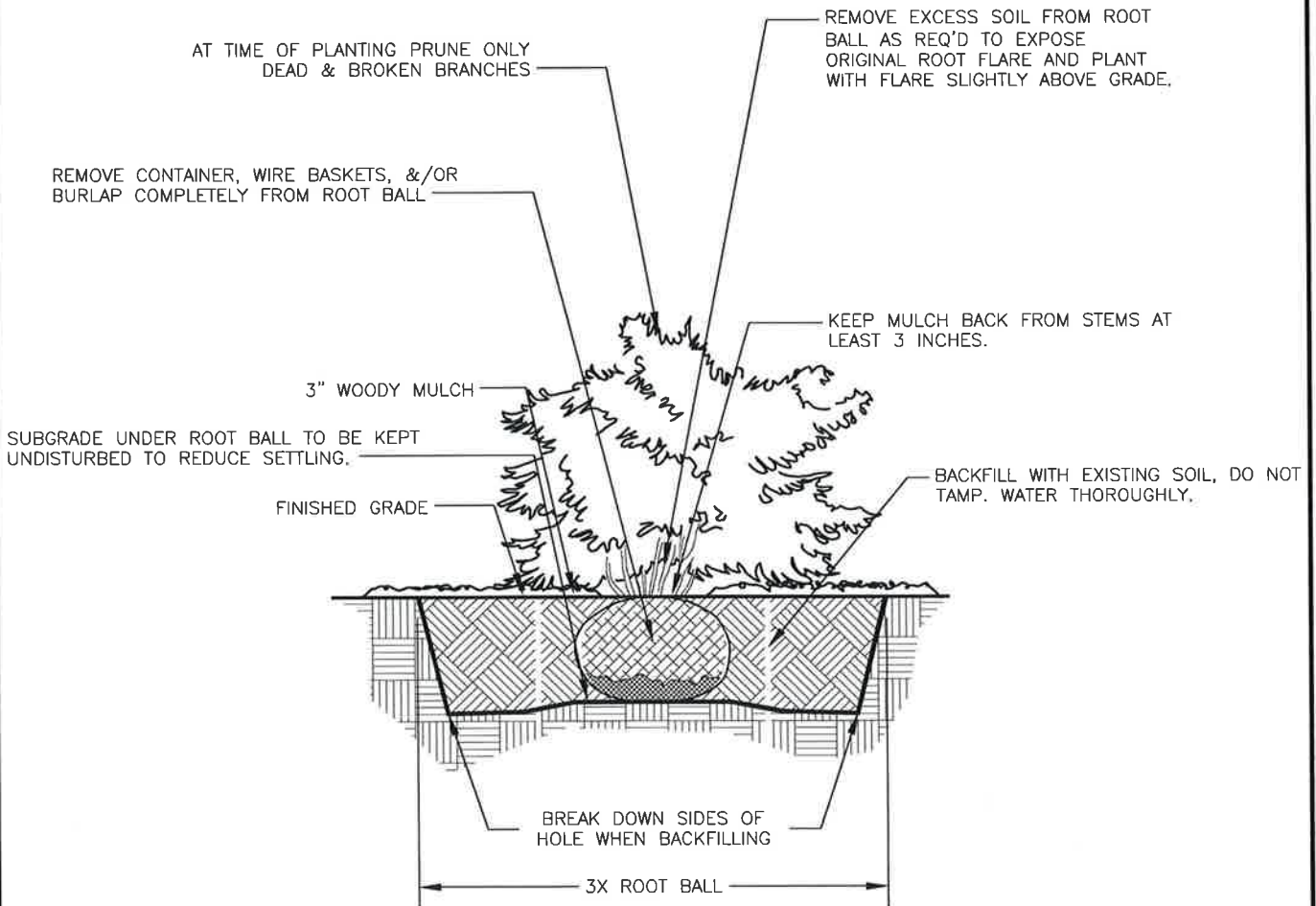
ENGINEERING OPERATIONS MANAGER KYLE TWOHIG



PRINCIPAL ENGINEER, CONST. KENNETH M. BROWN, P.E.




ADOPTED: 2/1986  
 REVISED: 05/2015  
 SUPERSEDES: 04/2012  
 CHECKED BY: SJS  
 SCALE: NTS  
 REVISED BY: MLD

<b>TREE PLANTING DETAILS</b> ALL TYPES, FORMS AND SPECIES			STANDARD PLAN No. <b>V-101</b>
ENGINEERING SERVICES CITY OF SPOKANE, WASHINGTON			



**NOTES:**

1. SHRUBS BURIED TOO DEEP, OR WITHOUT EXPOSING ROOT FLARE WILL BE REJECTED & SHALL BE REMOVED & REPLANTED AT PROPER DEPTH.
2. DEVIATIONS FROM THIS DETAIL SHALL ONLY BE ALLOWED WITH PERMISSION FROM THE CITY ARBORIST.
3. SHRUBS NOT PLANTED IN CONFORMITY WITH THIS DETAIL WILL BE REJECTED BY THE CITY ARBORIST. REPLACEMENT OF REJECTED SHRUBS WILL BE DONE AT THE CONTRACTOR'S EXPENSE & NOT BY THE CITY OF SPOKANE.

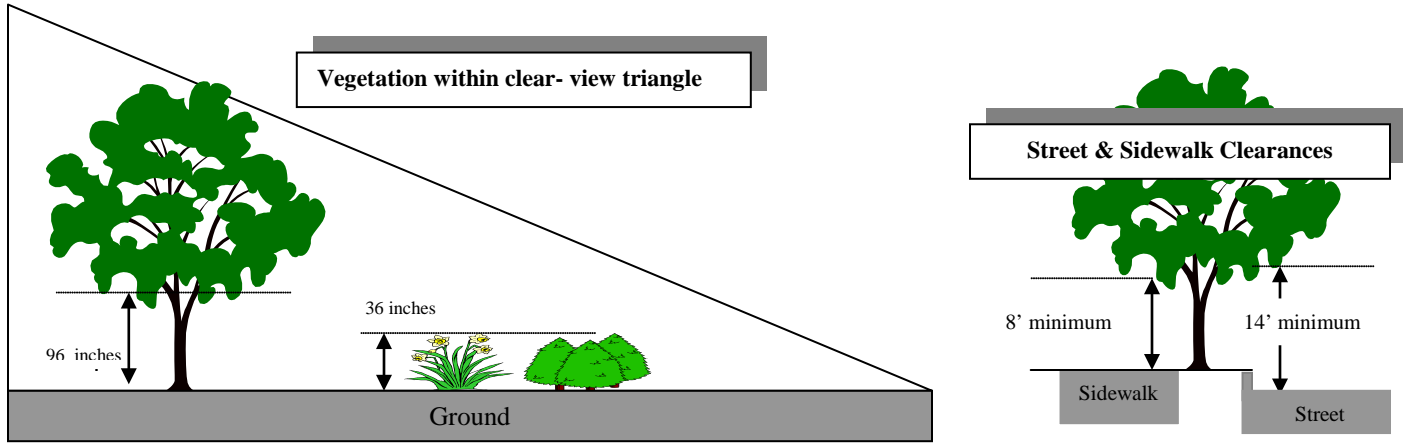
<p>APPROVED BY</p>  <p>ENGINEERING OPERATIONS MANAGER      KYLE TWOHIG</p>  <p>PRINCIPAL ENGINEER, CONST.      KENNETH M. BROWN, P.E.</p>	<p>ADOPTED: 2/1986          REVISED: 05/2015          SUPERSEDES: 04/2012          CHECKED BY: SJS          SCALE: NTS          REVISED BY: MLD</p>	<p><b>SHRUB PLANTING DETAILS</b>          ALL TYPES, FORMS AND SPECIES</p>  <p>ENGINEERING SERVICES          CITY OF SPOKANE, WASHINGTON</p>	<p>STANDARD          PLAN No.  <b>V-102</b></p>
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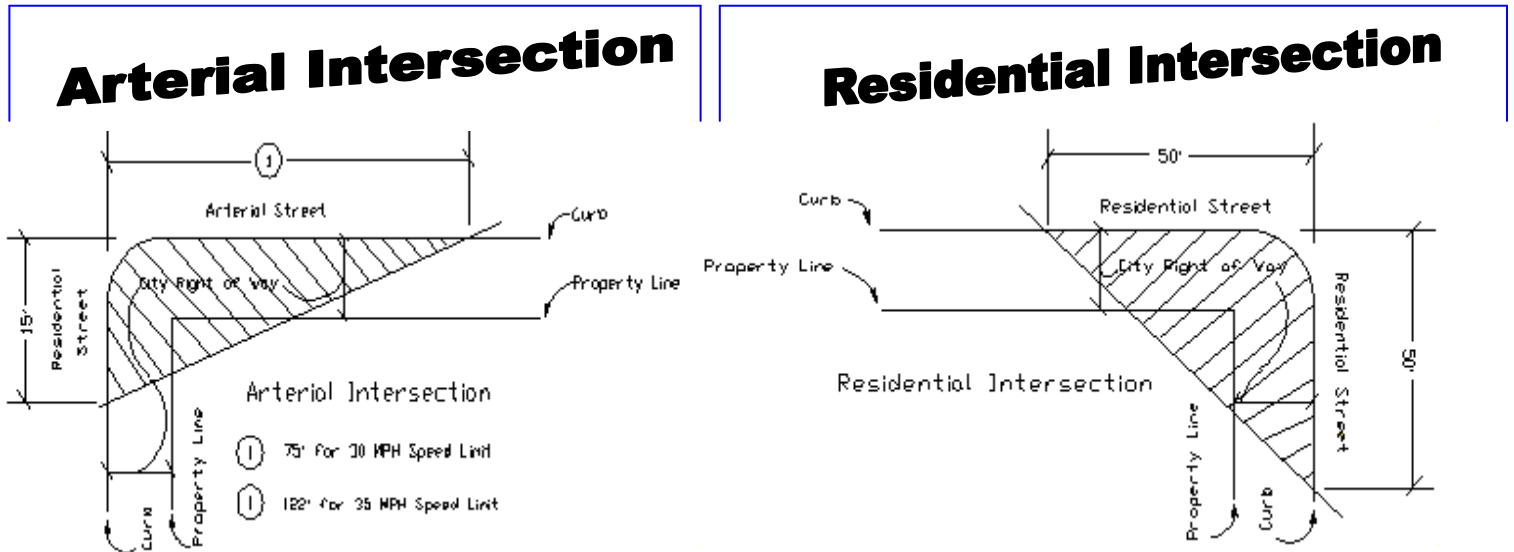
**A CLEAR VIEW: VEGETATION & TRAFFIC SAFETY**

**A way To Make Our Streets Safer:**

Overgrown vegetation impedes the safe flow of traffic when it blocks our view of traffic signs, pedestrians and other vehicles. If vegetation is blocking visibility in the street or an intersection, it is your responsibility as the adjacent property owner or resident to trim the vegetation. Below are the City vegetation standards as they apply to visibility.

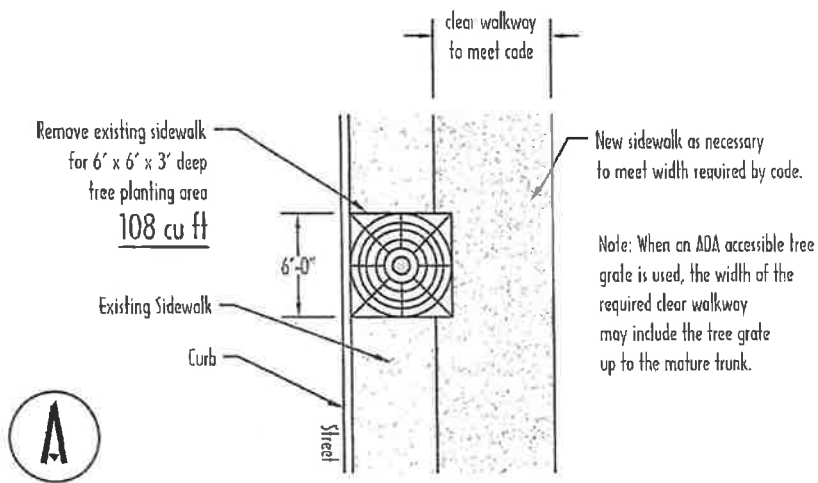


**Types of Intersections (Diagonal Lines = Clear View Triangle):**

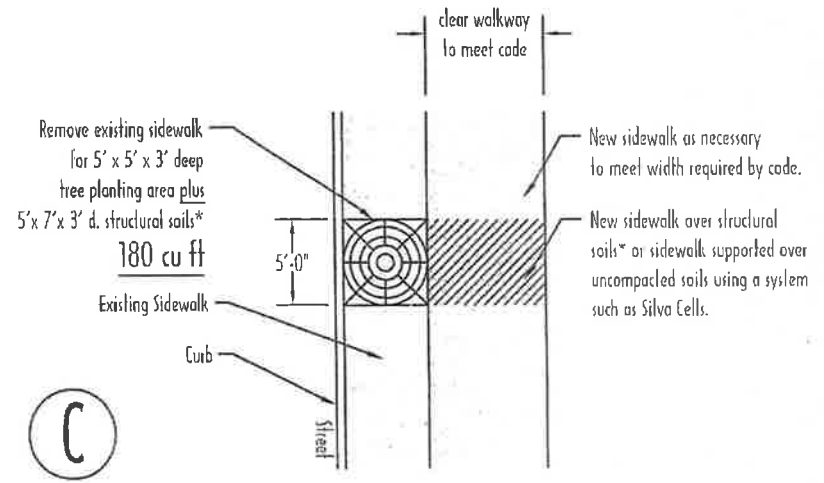


**Visibility Standards:**

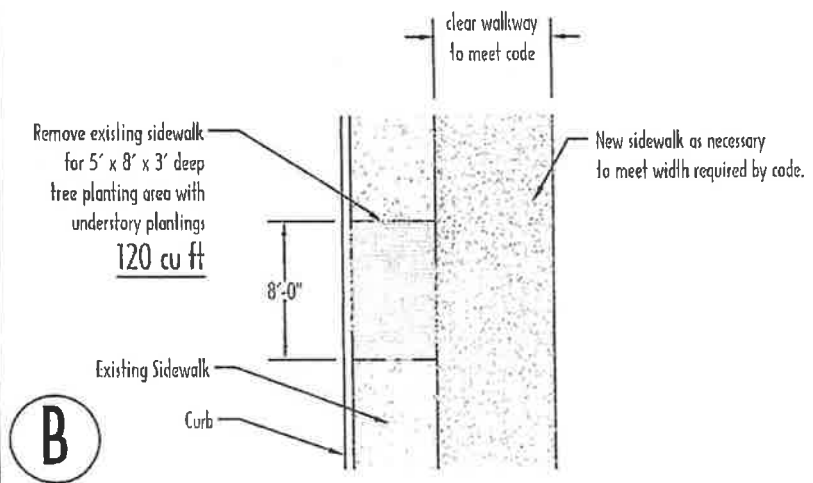
	Description of Existing Vegetation	Vegetation Requirements	Reference in City Codes
1.	Shrubs/Hedge/Plants existing in Clear Triangle.	Trim Shrubs/Hedge/Plants to 36 inches in height.	17C.200.050
2.	Tree branches and any vegetation overhanging in Clear Triangle (no sidewalk).	Remove all tree limbs/vegetation existing from ground level to minimum height of 96 inches.	17C.200.050
3.	Tree branches and any vegetation overhanging sidewalk (in and outside Clear Triangle).	Remove all branches/vegetation existing from sidewalk level to minimum height of 8 feet.	12.02.0202
4.	Tree branches and any vegetation overhanging street (in and outside Clear Triangle).	Remove all branches/vegetation existing from street level to a minimum height of 14 feet.	12.02.0202



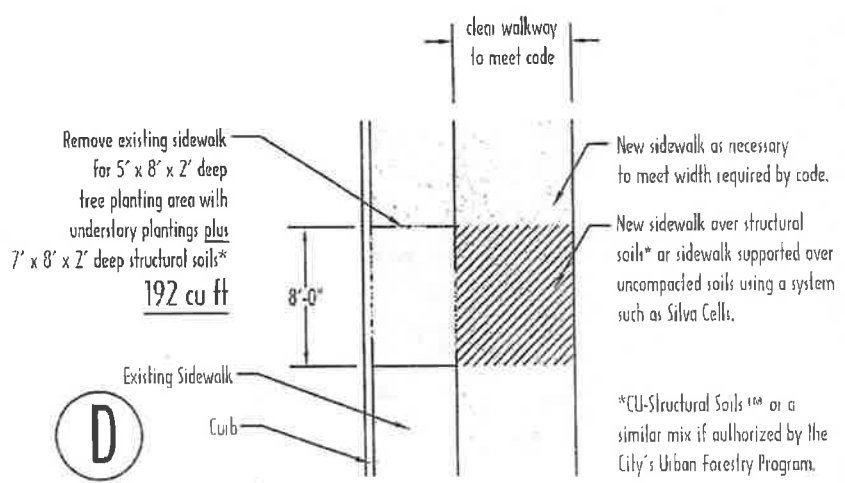
**A**



**C**



**B**



**D**

\*CU-Structural Soils 11A or a similar mix if authorized by the City's Urban Forestry Program.



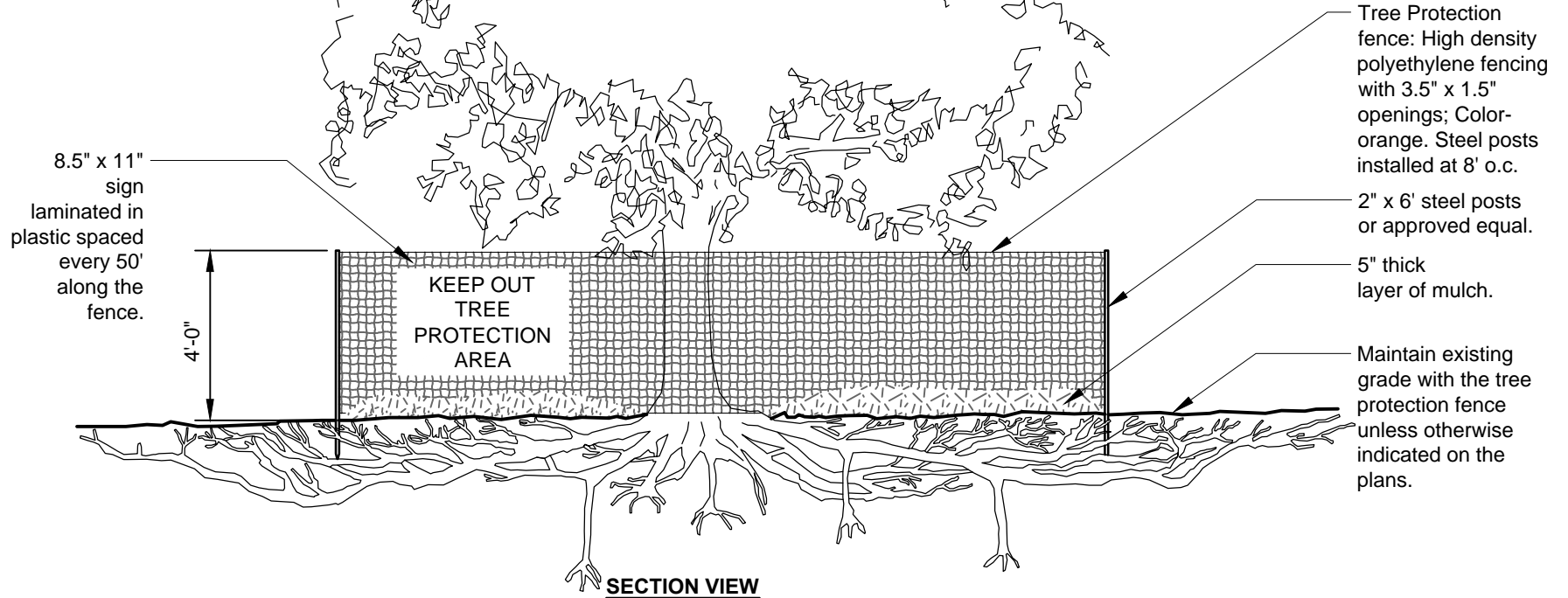
### Existing Sidewalk Retrofit - Possible options to provide 100 cu ft of uncompacted soil for street trees.

Soil is a key factor for tree health but in an urban setting it's almost impossible to provide ideal soil volumes. The City of Spokane highly encourages building permit applicants to consider providing as much uncompacted soil as possible for trees, and requires at least 100 cu ft (max. 3' depth may be factored into volume). A permit is necessary to plant a tree in the public right of way; please contact the Urban Forestry Program at 363-5470. Courtesy of the Urban Design Section of the Planning Services Department.

Crown drip line or other limit of Tree Protection area. See tree preservation plan for fence alignment.

Notes:

- 1- See specifications for additional tree protection requirements.
- 2- If there is no existing irrigation, see specifications for watering requirements.
- 3- No pruning shall be performed except by approved arborist.
- 4- No equipment shall operate inside the protective fencing including during fence installation and removal.
- 5- See site preparation plan for any modifications with the Tree Protection area.



## TREE PROTECTION

## Tree Protection Specifications for Development in the City of Spokane

### 1. General

The City of Spokane's Municipal Code requires that tree pruning, planting, or removal work within the public right-of-way and on public property must be performed by a person or entity with a commercial tree license. (SMC 10.25.010)

Additionally, all tree pruning (crown or root) and tree removal work must be performed by an International Society of Arboriculture (ISA) certified arborist or certified tree worker. Tree planting must be directly supervised by an ISA certified arborist or certified tree worker.

The term "Contracted Arborist" shall be used in the remainder of this document to refer to the licensed tree company.

All equipment to be used and all work to be performed must be in full compliance with the most current revision of the American National Standards Institute Z-133-2017, or as amended.

### 2. Tree Protection Zone (TPZ)

For the purpose of protecting trees in the right of way during development, the contractor/developer may install the TPZ in accordance with the standards below.

The tree protection zone (TPZ) will either be determined in the field by Urban Forestry staff or established by the Contracted Arborist for approval by Urban Forestry staff prior to any excavation or work by the following method. The minimum TPZ shall be equal to the Critical Root Zone (CRZ) as defined by the International Society of Arboriculture (ISA): an area equal to 1 foot radius from the base of the tree's trunk for each 1 inch of the tree's diameter at 4.5 feet above grade (referred to as diameter at breast height or dbh). TPZ modifications may be made due to construction objectives and site infrastructure only with prior authorization by Urban Forestry staff.

**Mulch:** The area within the TPZ shall be mulched with 1-2 inches of untreated wood chips, leaving a 1 foot radius from the trunk free of mulching materials, unless otherwise pre-approved by Urban Forestry staff.

**Water:** All trees designated for protection shall receive 5-10 gallons of water per caliper inch every seven days throughout the construction period. The amount and frequency of irrigation may be adjusted as needed due to temperature fluctuations and site conditions.



**Temporary Fencing:** Install temporary fencing, 3' tall minimum, orange plastic construction fencing per manufacturer's specifications, located as indicated or outside the TPZ of trees to protect remaining vegetation from construction damage. Fencing must be maintained at all times during construction. Alternative or modified fencing material may be permitted with prior authorization by Urban Forestry staff.

**Removal of Hardscapes:** Where equipment is necessary to remove hardscapes in proximity of a protected tree, construction personnel must exhibit due care to ensure no damage occurs to the existing roots. If roots are encountered in the demo area, consultation with Urban Forestry staff or a Contracted Arborist is required to determine best management practice to meet construction and tree preservation objectives.

Protect tree root systems from damage due to noxious materials caused by runoff or spillage while mixing, placing, or storing construction materials. Protect root systems from flooding, eroding, or excessive wetting caused by dewatering operations.

Do not store construction materials, debris, or excavated material within the TPZ of remaining trees. Do not permit vehicles or foot traffic within the TPZ; prevent soil compaction over root systems.



# Esmeralda Commerce Park

## Projects of Citywide Significance

### Staff Report and Recommendation

May 6, 2019



#### Staff

Teri Stripes  
Planning Services  
Economic Development Section

#### Applicant

Nick Czapla  
[nickczapla@LBStoneProperties.com](mailto:nickczapla@LBStoneProperties.com)  
509.343.9003  
Authorized Agent/COO  
Esmeralda Commerce Park, LLC

Owner:  
Esmeralda Commerce Park, LLC  
PO Box 3949.  
Spokane WA, 99220

## Introduction

The City of Spokane's Projects of Citywide Significance program is designed to help incent and encourage significant private development projects that add lasting value to the City and achieve measurable positive impacts by bringing new livable wage jobs, generating tax revenue, and advancing the community's visions. The program was created by Spokane City Council, Resolution 2015-0101 and follows the Projects of Citywide Significance Incentive Policy administrative procedures contained within City of Spokane Administrative Policy and Procedure, Admin 0650-16-02.

## Project Description

The Esmeralda Commerce Park (ECP) project is a proposed development project in southwestern portion of the YARD consisting of approximately seventeen blighted, vacant, Light Industrial zoned acres. The project is described in the application and related attachments as a modern industrial park, featuring 5-6 buildings, sidewalks, with landscaping featuring Ponderosa Pine and Douglass Fir, trees native to Spokane. ECP is planned to be phase over 5 years, this is a similar development pace as another of their properties, Playfair Business Park. The buildings, when completely built out, will include 470,000 sq ft of manufacturing businesses, employing nearly 1,000 people with living wage jobs in the key priority sectors of Technology, Manufacturing, and Aerospace. This first phase of development, will complete the core infrastructure needed for future phases as well as fully construct one building of 96,300 sq ft in year one and likely a second of equal size by the end of year two. This project implements the NEPDA's core mission of replacing blight with jobs on one of the identified catalytic development sites. ECP and has the NEPDA's full support and financial assistance in moving forward.

## Location & Context

The Esmeralda Commerce Park (ECP) project will be developed on a 17 acre site located at the southwest corner of Freya Street and Rich Avenue at 4101 N Freya St. The 17 acre site contains multiple parcels. It is expected that the parcel boundaries will be reconfigured to accomplish the desired build out plan of 5 to 6 new buildings. The site immediately adjacent to the new US 395.

The project site and surrounding area are located in an area commonly referred to as the YARD. This target area includes heavy and light industrial properties as well as residential and mixed-use properties along Market Street. The YARD has an extensive Master Plan that focuses on the redevelopment and development of the industrial area to help implement the neighborhood's plan of the area returning to a strong industrial job generator.

The Esmeralda Commerce Park will increase public connectivity in the area. For instance, WSDOT has Garland Avenue targeted as a pedestrian corridor to connect Freya neighborhoods on the east side of the US 395, North Spokane Corridor to the retail areas on the west side along Market. Improvements made by ECP in the public right-of-way along Garland will support the planned walking and bike trails.

### Other Incentive Awards or Programs Available to the Project

The Esmeralda Commerce Park Building, by virtue of its location in the YARD Spokane Target Investment Area is eligible for and could receive City incentives in addition to the Projects of Citywide Incentive. The following provides a summary of these incentives, which combined public investment could total up to **\$1,509,056** of additional benefit value. Where known, actual values are used. Otherwise staff has used the best available information to estimate the value of the incentives to the project.

The additional incentives may include:

- Funding allocated to the Northeast Public Development Authority (NEPDA) for infrastructure improvements in the YARD has been earmarked to assist the Esmeralda Commerce Park. The site has long been identified by the NEPDA as one of the YARD's catalytic development site. Esmeralda development aligns with all past planning efforts of the NEDPA for manufacturing job creation. As such the NEPDA has partnered with Esmeralda Commerce Park, LLC and authorized **\$1,250,000** towards the construction of a new public road that will service the interior of the commerce park.
- The General Facility Charge (GFC) Waivers - waives system development charges for new sewer and water connections – benefit value is dependent on size and number of new or upgraded connections. For ECP the value of the GFC waiver is estimated at **\$48,000** based upon the projected needs for 8" fire, 4" hydrant, 2" water, and 6" sewer infrastructure – the actual amount will be determined at the time of permitting for these facilities. This incentive is automatic and applied to the permit.
- The Urban Utility Installation Program - provides up to **\$10,000** for water, sewer, and/or fire line installation associated with development of vacant land.
- Esmeralda Commerce Park buildings and manufacturing firms are each eligible for a few State incentives as well and the applicants are working with Stan Key at GSI to solidify those applications for Community Empowerment Zone (CEZ) and others that apply to manufacturing.

## Financial Partnership Portfolio Evaluation Matrix

### Project Based Incremental Revenue

This category measures the project's contribution to City revenue and potential return on investment. To receive any points in this category, a project must generate a three-year total incremental revenue value of at least \$250,000. Projects with over \$1million in three-year incremental revenue receive 30 points. The three-year total incremental City revenue resulting from the project is estimated at **\$505,245**. Therefore, **20 points are awarded to the project in this category.**

### Job Creation

The applicant has provided an estimate of the number of jobs by type and average salary for the completed project (see application). Overall, in years one and two, 193 (~ 8 managers, 16 sales, 62 production, 50 laborers, 54 clerks) jobs are expected with over 71% expected at an hourly rate above what the program defines as a livable hourly wage of \$17.50/hour. The rest are at approximately \$15/hour. Based on this, the job creation points (10 points for 192 new jobs for the first new building) are multiplied by 5 (the living wage job creation multiplier) resulting in a **category score of 50 points.**

### Comp Plan, Design and the Environment

The project qualifies under the following criteria:

- |  |          |
|--|----------|
| • Brownfield Redevelopment                         | 5 points |
| • Innovative Site Design                           | 5 points |
| • Project Includes Sub-Area Plan Improvements      | 5 points |
| • Design includes enhanced public amenities        | 5 points |
| • Incorporation of Low Impact Development standard | 5 points |
| • Incorporation of adopted green building standard | 5 points |
| • Blight removal                                   | 5 points |

**Total Category Score:**

**35 points**

**Industry Cluster Advancement**

The applicant identifies three priority industry cluster (Manufacturing, Aerospace, and Technology). **The resulting category score is the max at 10 points.**

**Geographic Priority Areas**

The project is located in the YARD Target Incentive Area. **The resulting category score is the max 10 points.**

**Special Considerations Bonus**

The Esmeralda Commerce Park will increase public connectivity in the area. For instance, WSDOT has Garland Avenue targeted as a pedestrian corridor to connect Freya neighborhoods on the east side of the US 395, North Spokane Corridor to the retail areas on the west side along Market. Improvements made by ECP in the public right-of-way along Garland will support the planned walking and bike trails.

The project is very eligible for Special Consideration Bonus points but staff notes that those points do not reflect a change in the amount of the recommended investment award, so none are applied.

**Total Project Matrix Score: 64 points.****Incentive Value Calculations**

The project's total matrix score (125 points) and 3-year revenue return to the City (\$505,245) are used to calculate the incentive value for the project as shown in the Table I below. By scoring in the top category (85+ points) the project warrants a base incentive of **\$100,000** plus **20%** of the three-year revenue (\$101,049) for a total incentive value of **\$201,049**

**Table I. Matrix Score**

Values-Based Score	125			
Revenue (3-Year)	\$ 505,245			
Point Score:	Base Incentive	ROI Multiplier	ROI-Based Incentive	Total Incentive
85+	\$100,000	20%	\$101,049	\$201,049
70	\$80,000	15%	\$75,787	\$155,787
55	\$60,000	10%	\$50,525	\$110,525
40	\$40,000	5%	\$25,262	\$65,262
<40	\$0	0%	\$0	\$0



## Recommendation

Staff finds that the project will provide significant community and public benefits as described in the application and supplemental materials and therefore as a project of Citywide Significance warrants the City's investment of **\$201,049** towards public improvements pursuant to the Projects of Citywide Significance Incentive Policy.

When considered with the other incentives or assistance, the project may have already received or could receive in the future including the NEPDA's infrastructure contribution, GFC waivers and the Urban Utility Installation program incentives which have been estimated to provide a benefit value of up to **\$1,509,056** the total incentive package for the project is estimated at **\$259,056**, which is equivalent to less than **1%** of the \$32 million project construction cost.

## Next Steps

This recommendation will be forwarded to the Project Review Committee who will review the recommendation and make a final determination of project score and level of financial partnership eligibility. Based on that determination, staff will brief City Council at an Urban Experience committee meeting and prepare a development agreement setting forth the terms and conditions under which the financial incentive value will be applied to eligible public improvements costs related to the project.

The final development agreement will be forwarded to the Spokane City Council for approval by resolution and signature by the Mayor. The determination of financial incentive value and corresponding development agreement shall have no force or affect whatsoever unless and until the development agreement is approved by the Spokane City Council and signed by the Mayor.

## Authority

**City of Spokane Administrative Policy and Procedure, Admin 0650-16-02  
Projects of Citywide Significance Incentive Policy**

Section 5.0 Policy: Individual projects which include new investment and physical improvements to real property which equal or exceed \$5 million in value can provide significant City wide public benefits. Such public benefits include: bringing new living wage jobs to the community; generating new property, sales and utility tax revenues; improving the community through the advancement or implementation of existing community plans including the Comprehensive Plan and neighborhood plans; protecting or improving the environment and conserving natural and historic resources; advancing State and regional industry cluster growth and regional economic development plans; and investing in targeted investment areas such as YARD Spokane, identified centers and corridors and target investment areas identified in the City's Economic Development strategy. In order to provide for an equitable and transparent process for the use of financial incentives to encourage investments which provide significant public benefits to the City as described above, the Spokane City Council has adopted Resolution 2015-0101 which provides for an evaluation matrix allowing evaluation of a project's public benefits which are reasonably likely to accrue as a result of successful completion and intended operation of the project. The evaluation will be made using the standardized evaluation matrix attached as exhibit "A" hereto in accordance with the policies and procedures described herein.

### Procedure

6.1 Application: Application for a financial incentive will be made on forms provided by the City of Spokane and shall contain all information and details required and necessary for a review of the project and evaluation of the public benefits associated thereto.

6.2 Determination of Qualification: Within 10 business days of receipt of a complete application, the Staff Technical Support Team will evaluate the application and make a determination that: the project is a qualified project with a public benefit and may be considered for a financial incentive; that additional information is needed to make the determination; or, that the project does not qualify for a financial incentive under this program. Such determination will be made in writing.

6.3 Evaluation of Qualified Projects: Qualified projects will be forwarded to the Project Review Committee for evaluation according to the evaluation matrix. The committee members will be provided copies of the application and any supplemental information provided by the applicant and a technical memorandum prepared by the Staff Technical Support Team. The report will include analysis of the project application and assessment of the public benefits that may result. Each project review committee member will use the application and technical memorandum to score the project against the evaluation matrix. The committee member's total scores will be summed and divided by the number of committee members providing a score to determine the project's average and final score.

6.4 Determination of Financial Incentive Value: The project's total score and other relevant data will be used to determine the financial incentive value based on the annually adopted project funding schedule and subject to availability of funds at the time of award. Determination of financial incentive value is not a guarantee of availability of funds or of an actual cash value of a project's eligible public improvement costs. Once a determination of financial incentive value is made, the determination and project score are final.

6.5 Development Agreement: Upon completion of the determination of financial incentive value, the project proponent and Staff Technical Support Team shall prepare a development agreement setting forth the terms and conditions under which the financial incentive value will be applied to eligible public improvements costs related to the project.

6.6 City Council Approval: The determination of financial incentive value and corresponding development agreement shall have no force or effect whatsoever unless and until the development agreement is approved by the Spokane City Council and signed by the Mayor.

# Esmeralda Commerce Park Building Project

## PROJECT REVIEW COMMITTEE RECOMMENDATION

Evaluation Matrix Score: 125

Incentive Value: \$201,049

Pursuant to the Projects of Citywide Significance Incentive Policy, the Project Review Committee, hereby:

- Accepts and concurs with the staff recommendations, evaluation matrix score and determination of financial incentive value, and adopts these recommendations as our own findings for the reasons stated.
- Accepts and concurs with the staff recommendations, evaluation matrix score and determination of financial incentive value, and adopts these recommendations as our own findings for the reasons stated, with the following modifications:

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Project Review Committee Members:

  
\_\_\_\_\_  
Ben Stuckart, City Council President

7/15/19  
\_\_\_\_\_  
Date:

  
\_\_\_\_\_  
Candace Mumm, City Council

7/15/19  
\_\_\_\_\_  
Date:

  
\_\_\_\_\_  
Rick Romero, Office of the Mayor

7/15/19  
\_\_\_\_\_  
Date:

  
\_\_\_\_\_  
Gavin Cooley, Chief Financial Officer

7/15/19  
\_\_\_\_\_  
Date:

cc: Heather Trautman, Director, Planning  
Applicant

**BRIEFING PAPER**  
**City of Spokane**  
**Design Review Board Presentation**  
**November 13, 2019**

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Subject – North Bank Plan & South University District Plans

The City currently has two subarea planning processes occurring that are adjacent to the central downtown area – [North Bank Planning](#) & [South University District Planning](#). Of particular interest to the Design Review Board is that both of these planning efforts are recommending potential changes to the perimeter areas designated in SMC 17G.040-M1, Downtown Design Review Threshold Map. This map is attached to this briefing paper for discussion.

Changes to the Zoning Map are proposed in both the North Bank and South University District to expand Downtown Zoning (either DTG or DTU).

- No changes are proposed to the Design Review procedures (except for the threshold map change).
- No changes are proposed to the Downtown Development Code (SMC 17C.124) at this time. This is slated to occur after the Downtown Plan is adopted for consistency.
- The “trigger” for Perimeter Area projects is not proposed to be amended and is defined in SMC 17G.040.020(E)(2):
  - New buildings and structures greater than 50,000 square feet.
  - Modification of more than 25% (at minimum 3,000 square feet) of a building façade visible from an adjacent street.

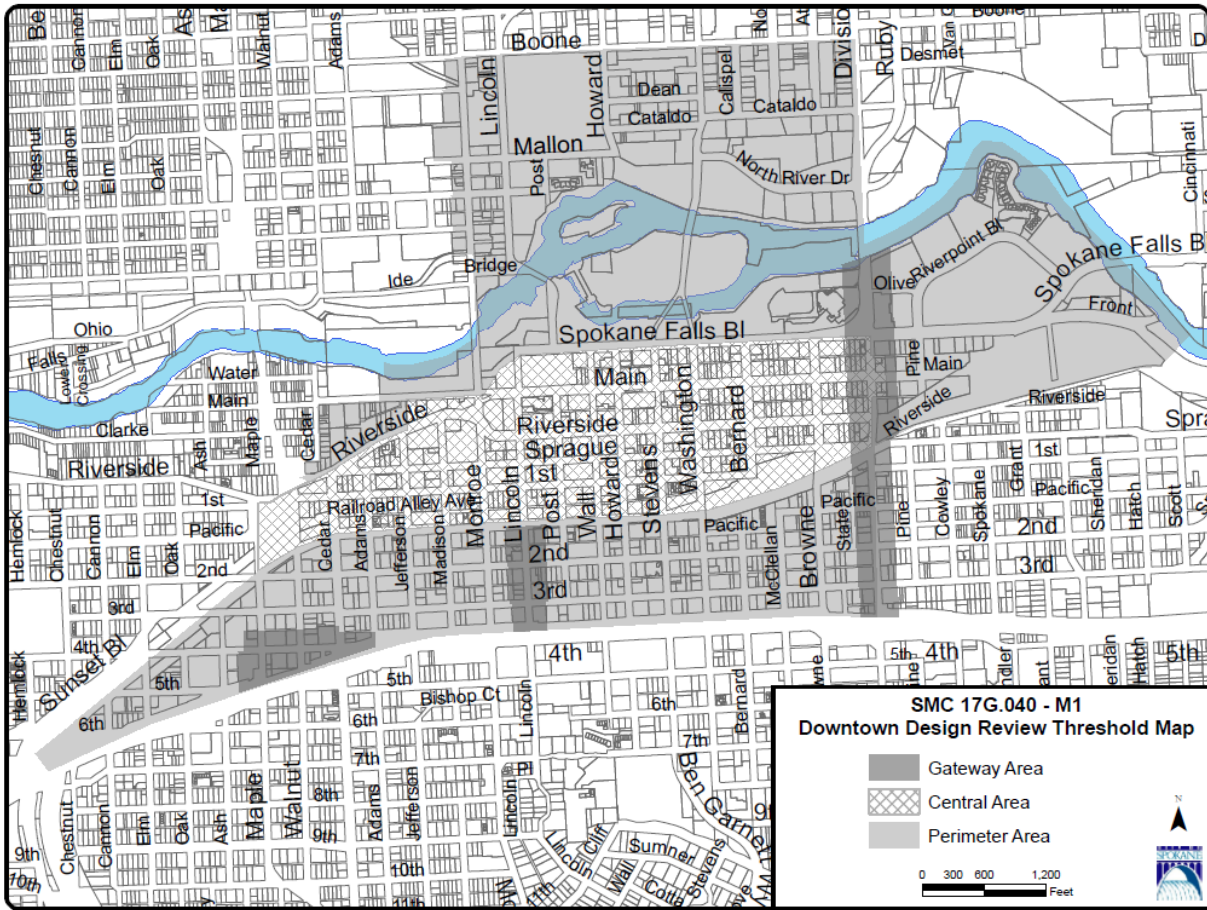
DRB Action:

*SMC 17G.040.010, Design Review Board Authority* directs the DRB to provide review and comment on the development of new design guidelines or revision of existing design guidelines, subject to final legislative approval by the City.

The Plan Commission will be holding a Public Hearing on both of these items and forwarding a recommendation to City Council. The timing of Plan Commission action is not yet certain, but likely to be in first quarter of 2020.

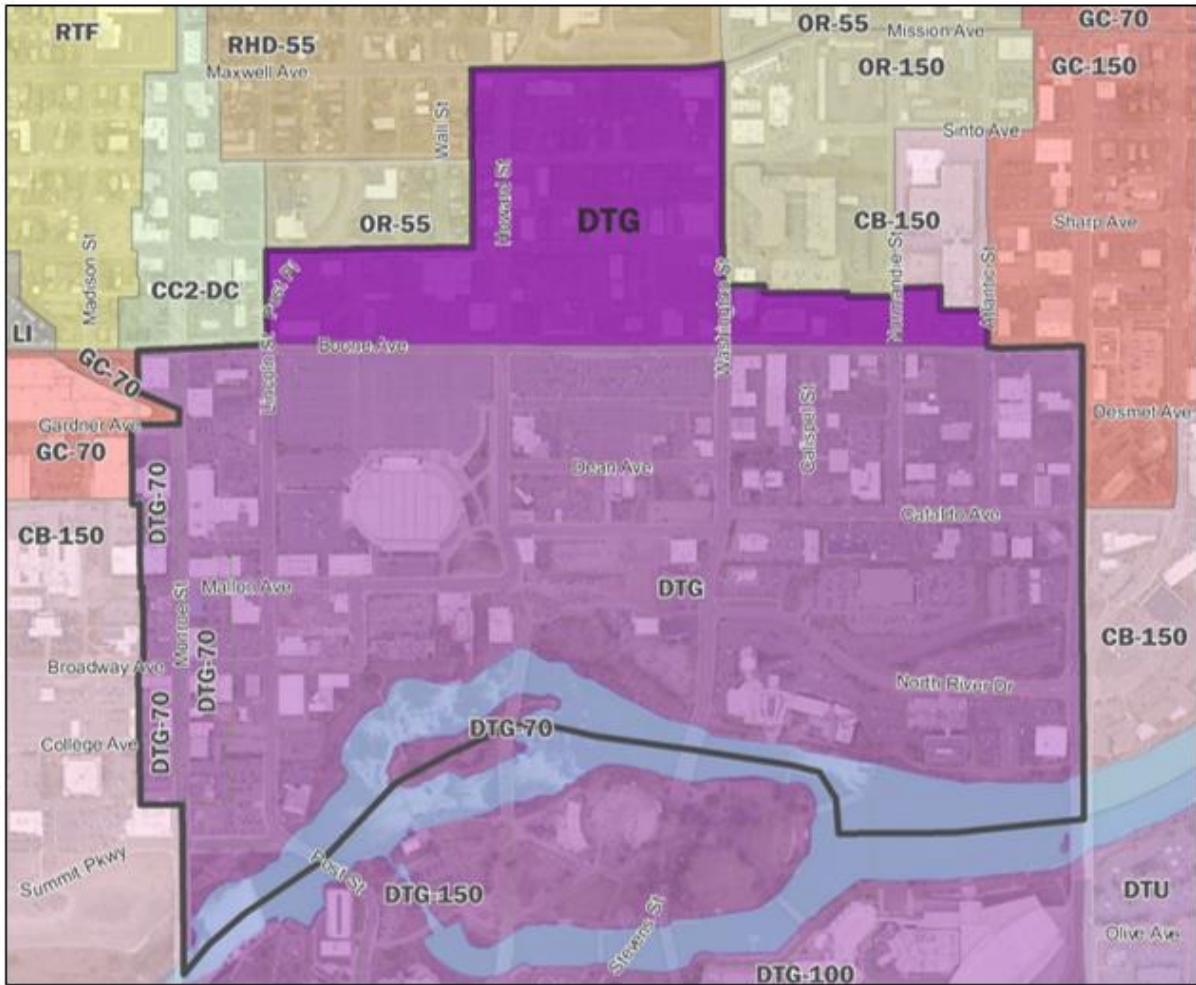
DRB can choose to make a recommendation that would become part of the adoption process.

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**Proposed Boundary of North River Overlay and DTG Zoning (November 2019), extension of DTG zoning shown in dark purple.**



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**Proposed Changes to South University District Zoning (November 13, 2019)**

**Proposed Change from GC-150 to DTU**

