



# Design Review Board

June 28, 2017

5:30 PM

City Council Briefing Center  
3<sup>rd</sup> Floor, City Hall

**TIMES GIVEN ARE AN ESTIMATE AND ARE SUBJECT TO CHANGE**

## Commission Briefing Session:

- |             |  |               |
|-------------|--|---------------|
| 5:30 - 5:40 | 1) Chair Report  | Austin Dickey |
|             | 2) Staff Report  | Louis Meuler  |
|             | 3) Approve the <a href="#">June 13, 2017</a> meeting minutes |               |

## Workshop:

- |             |   |             |
|-------------|---|-------------|
| 5:40 - 6:40 | 1) <a href="#">Recommendation Meeting: CSO 24</a> | Omar Akkari |
|             | • Staff Report                                    |             |
|             | • Applicant Presentation                          |             |
|             | • Public Comment                                  |             |
|             | • Board Discussion and Motions                    |             |

## Board Business:

- |             |  |             |
|-------------|--|-------------|
| 6:40 - 7:30 | 1) <b>Staff Changes and Ongoing DRB Support</b> (10 min.)  | Omar Akkari |
|             | 2) <a href="#">Proposed Code Amendments</a> (30 min.). <i>Review staff recommendations to help focus and strengthen the process. This is a follow-up to the February 22, 2017 and June 13, 2017 discussions.</i> | Omar Akkari |
|             | 3) <b>Spokane Mayor's Urban Design Awards Special Recognition Awards</b> (10 min.). <i>Discussion and selection of the Heritage Project Award and Creative Citizen(s) Award.</i>                                 | Omar Akkari |

## Adjournment:

Next Design Review Board meeting will be held on July 12, 2017

The password for City of Spokane Guest Wireless access has been changed:

**Username: COS Guest**

**Password:**

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# Design Review Board

**June 13, 2017**

Meeting Minutes

Meeting called to order at 5:38 PM

## **Attendance**

- Board Members Present: Austin Dickey, Steven Meek, Ann Hanenburg, Ryan Leong
- Board Members Not Present: David Buescher, Kathy Lang, Ted Teske, Charlene Kay
- Staff Present: Lisa Key, Omar Akkari Julie Neff; City of Spokane Planning and Development

## **Briefing Session:**

1. Chair Report-Austin Dickey
  - None

## **Board Business:**

1. Staff Changes and Ongoing DRB Support-Lisa Key
  - Lisa Key, Director of the Planning Department, provided an update to board members regarding Staff Changes in the Planning and adjustments to Staff Support for the Design Review Board.
  - Questions asked and answered.
  - Discussion ensued.
2. Proposed Code Amendments-Julie Neff
  - Julie Neff with the Planning Department opened the discussion regarding recommendations from staff on the proposed code amendments.
  - Questions asked and answered
  - Discussion ensued.
3. Discussion with Mark Hinshaw-Mark Hinshaw
  - Mark Hinshaw discussed the role of a Design Review Board and best practices.
  - Questions asked and answered.
  - Discussion ensued.

**Meeting Adjourned at 8:58 PM**

Next Design Review Board meeting is scheduled for **April 26, 2017**

Note: Minutes summarized by staff. An audiotape of the meeting is on file with the Planning & Development Department, City of Spokane.

**CSO 24****2 – RECOMMENDATION MEETING****Design Review Staff Report**

June 16, 2017

**Staff:**

Omar Akkari, Urban Designer  
 Julie Neff, Urban Designer / Associate Planner  
 Planning & Development Services Department

**Applicants:**

Dan Buller, PE  
 City of Spokane / Engineering Services  
 Mike Terrell, ASLA  
 MTLA | Mike Terrell Landscape Architecture

**Background**

The Design Review Board Collaborative Workshops were held on December 14, 2016.

*The following materials are supplemental to this report:*

- *Design Review Board | Collaborative Workshop Recommendation, December 14, 2016*
- *Design Review Staff Report | Program Review/Collaborative Workshop, December 14, 2016*

**Topics for Discussion**

During the workshop, the applicant is encouraged to please describe changes to the design since the Collaborative Workshop/Program Review including any changes made in response to recommendations offered by the Design Review Board on December 14, 2016 as follows:

1. Explore opportunities to acknowledge and celebrate the historic character of the site in the context of the West Downtown Historic Transportation Corridor.
2. Refine, edit and focus the programming and amenities to be provided.
3. Explore further opportunities to integrate, communicate, and celebrate the stormwater solutions being implemented.
4. Explore strategies to integrate art in a cohesive way.
5. Further, develop strategies for dealing with an unimproved façade on the west side of the park, should that be necessary.
6. Please address the items listed in the staff report, item number 10, at the recommendation meeting.

Additional suggested topics for discussion by staff based on the June 7, 2017 submittal:

**Site**

1. **Design Language.** What is the overriding form / pattern (angles, grid or curvilinear) informing the layout? How do the proposed features and their design language relate to each other? Are there opportunities to simplify the design to use only two of these three types of forms and patterns?

*Please See Downtown Design Guideline B-4 Design a Well-proportioned & Unified Building*

2. **Function.** What are the anticipated uses for the various places within the plaza?

*Please See Downtown Design Guideline D-1 Provide Inviting and Useable Open Space*

3. **Sidewalk Paving Pattern.** Would the DRB offer support for matching the historic sidewalk score pattern in this area instead of the standard 2' x 2' sidewalk grid?

*Please See Downtown Design Guideline D-3 Respect Historic Features that Define Spokane*

4. **Street Trees.** Street tree spacing is defined in the code requirements and the applicants are requested to show how they have been met at the time of the Recommendation Meeting. For any areas where it's not possible to meet requirements, what features can be included to provide similar benefits to the pedestrian experience? Could the planting beds next to the Sprague Ave trellis be enlarged to accommodate street trees and increase the planting depth (A similar strategy is proposed on CSO 26 next to City Hall.)?

*Please See Downtown Design Guideline D-8 Create "Green Streets" and SMC [Section 17C.200.050](#) Street Tree Requirements*

### **Built Elements**

5. **Historic Materials.** Are there opportunities to use recycled granite curbing in other areas of the site such as the kiosk, raised planters or benches?

*Please See Downtown Design Guideline D-3 Respect Historic Features that Define Spokane*

6. **Lighting, Site Furniture, Grading, Materials, Signage and Artwork.** At the time of the Recommendation Meeting, please present additional information on the proposed lighting fixtures, site furniture, grading, materials, signage and artwork concepts and locations.

### **Note**

The recommendation of the Design Review Board does not alleviate any requirements that may be imposed on this project by other City Departments including the Current Planning Section of Planning and Development Services.

### **Policy Basis**

Spokane Municipal Codes  
City of Spokane Comprehensive Plan  
Downtown Design Guidelines  
Public Project Design Guidelines

## DESIGN REVIEW BOARD

CSO 24 at 1<sup>st</sup> and Adams

1 - Program Review/Collaborative Workshop

December 14, 2016



**From :**  
**Design Review Board**  
Austin Dickey, DRB Chair  
  
c/o Julie Neff, DRB Secretary  
Planning & Development  
808 W. Spokane Falls Blvd.  
Spokane, WA 99201

**To**  
Mike Terrell, MTLA

**CC :**  
Lisa Key, Planning Director, City of Spokane  
Dan Buller, PE, Engineering Services, City of Spokane

**Based on review of the materials submitted by the applicant and discussion during the December 14, 2016 workshop, the Design Review Board recommends the following:**

**NEIGHBORHOOD**

- Explore opportunities to acknowledge and celebrate the historic character of the site in the context of the West Downtown Historic Transportation Corridor.

**SITE**

- Refine, edit and focus the programming and amenities to be provided.
- Explore further opportunities to integrate, communicate, and celebrate the stormwater solutions being implemented.
- Explore strategies to integrate art in a cohesive way.

**BUILDING**

- Further, develop strategies for dealing with an unimproved façade on the west side of the park, should that be necessary.

**GENERAL**

- Please address the items listed in the staff report, item number 10, at the recommendation meeting.

Austin Dickey, Chair, Design Review Board

Note: Supplementary information, audio tape and meeting summary are on file with City of Spokane Design Review Board.

## CSO 24 / Carnegie Square

## 1 – COLLABORATIVE WORKSHOP/PROGRAM REVIEW

Design Review Staff Report

December 14<sup>th</sup>, 2016**Staff:**

Julie Neff, Urban Designer / Associate Planner  
 Omar Akkari, Urban Designer  
 Planning & Development Services Department

**Applicants:**

Dan Buller, PE  
 City of Spokane / Engineering Services  
  
 Mike Terrell, ASLA  
 MTLA|Mike Terrell Landscape Architecture

## Meeting Goals

At the February 10, 2016 Design Review Board (DRB) meeting, the DRB should:

- Determine how adopted plans and policy including the the Downtown Plan, the Downtown Design Guidelines and Comprehensive Plan affect or pertain to the proposed project.
- Determine what other application materials, besides what is required by the submittal checklist, are needed for the Recommendation Meeting.

## Design Review Board Authority

**Spokane Municipal Code [Chapter 04.13](#) Design Review Board**

A. Purpose. The design review board is hereby established to:

1. improve communication and participation among developers, neighbors and the City early in the design and siting of new development subject to design review under the Spokane Municipal Code;
2. ensure that projects subject to design review under the Spokane Municipal Code are consistent with adopted design guidelines and help implement the City's Comprehensive Plan.
3. advocate for the aesthetic quality of Spokane's public realm;
4. encourage design and site planning that responds to context, enhances pedestrian characteristics, considers sustainable design practices, and helps make Spokane a desirable place to live, work and visit.
5. provide flexibility in the application of development standards as allowed through development standard departures; and
6. ensure that public facilities and projects within the City's right of way:
  - a. wisely allocate the City's resources,
  - b. serve as models of design quality

Under SMC [Section 17G.040.020](#) **Design Review Board Authority**, all public projects or structures are subject to design review. Recommendations of the Design Review Board must be consistent with regulatory requirements per [Section 17G.040.080](#) **Design Review Board**.

**Recommendations**

Recommendations of the Design Review Board shall be forwarded to the Planning Director and City Engineer.

## Project Description

The CSO tank is approximately 220' long by 100' wide and shall extend under Sprague Avenue and 1st Avenue. Please see applicant's submittal for more information.

## Location & Context

CSO 24 is located on the west side of downtown between 1st Ave., Sprague Ave., and Adams Street. The property is within the Riverside Neighborhood Council District and bordered by the West Downtown Historic District. The surrounding area is a mix of entertainment venues, bars, restaurants, hotels, and mixed-use buildings. The majority of the surrounding buildings are two to three stories and of brick construction. Adjacent uses include the San Marco Apartment Building (north), Spokane Home Healthcare Inc. (south), Password (south), and KHQ Television Station (east).

The project area falls within the Riverside Neighborhood Council District and within the Downtown Planning Area. Directly abutting the site to the west are Studio One Hair Salon (north end) and Watt's Wheel Service (south end). STA operates a bus stop for Routes 5, 13 and 189 at the corner of Adams St. and Sprague Ave. on the north side of the street. The [Central City Line Bus Rapid Transit Route](#) shows preliminary stations proposed near the site at First & Adams and Sprague & Adams.

## Character Assets

### **Downtown Character Area Considerations, West Downtown Character Area – Carnegie Square Sub Area, pages 10-11.**

<https://static.spokanecity.org/documents/business/resources/codepolicies/2009-downtown-character-area-considerations.pdf>

*This area has historic significance due to its association with railroad commerce, as evidenced by the large brick warehouses adjacent to the railroad corridor; the early influence of the automobile as seen in the showrooms and other auto-oriented buildings along West First Avenue.*

*Features that contribute to the positive character of this area and may provide inspiration for new projects include:*

- *The historic enclosure of the pedestrian realm created by buildings at the property line with no setbacks.*
- *Flat roofs.*
- *Building materials that contribute to the historic character of this area include poured concrete or stone (such as basalt) for foundations; brick, reinforced masonry or concrete for walls; and terracotta, stone and metal accents and trims for architectural details.*

### **Surrounding Historic Districts**

<http://www.historicspokane.org/HeritageTours/downtown/west.html>

<http://properties.historicspokane.org/district/>

While the site is not within a Historic District, it is bounded by the W. Downtown Historic Transportation Corridor to the South and West. The Riverside Avenue Historic District is immediately to the north. The visual terminus on Adams St. facing north is an entrance to the San Marco Apartments which is within the Riverside Avenue Historic District.

### **West Downtown Historic Transportation Corridor**

*Period of Significance: 1890-1949*

*The district is historically significant because of its association with the expansion of the railroads, the advent of the automobile, and the rise of Spokane as a regional distribution center.*

**San Marco Apartments**, a complex of four of the oldest apartments in Spokane. Designed by Albert Held, the four elegant buildings were constructed between 1904 and 1911.

**Carnegie Square**, a collection of restored buildings, includes: Buena Vista Apartments, Carnegie Library (Integrus Architecture), Upton Hotel (Grand Coulee Apartments) and the Eldridge Building.

# Regulatory Analysis

## Zoning Code Requirements

**Zoning Designation:** The site is zoned DTG - Downtown General

The downtown general zoning category is a mixed-use use category applied within a large area of the downtown. This is a high-density, mixed-use area in which community-serving retail uses are encouraged, especially at street level; and residential and office uses are encouraged, especially as part of a mixed-use building. A wide range of uses are allowed. New auto-oriented or intensive industrial uses are discouraged or not allowed.

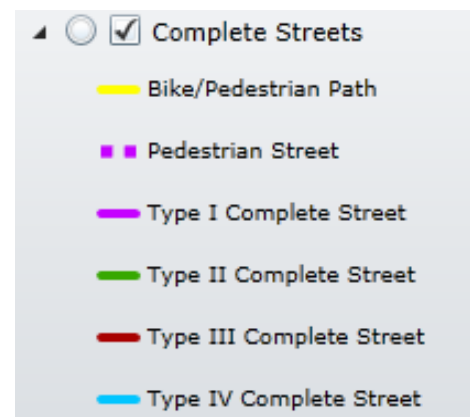
**17C.124.230 Structure Setbacks, Sidewalks, and Street Trees.** Sidewalks are required to be constructed and shall consist of a clear walking path at least seven feet wide (in addition to a minimum five-foot wide pedestrian buffer zone and planting zone for street trees). Part of the sidewalk may be located on private property. For sidewalks fourteen feet or wider the minimum clear distance is eight feet; for sidewalks with a width less than twelve feet the minimum clear distance is six feet. Within the clear walking path sidewalk paving material shall be concrete, two-foot grid, standard sidewalk color, and float finish.

### Section 17C.124.035 Complete Streets

The downtown zones are complemented by the complete streets designations map (described in detail in the downtown plan) that further guides public and private development within the downtown. The different complete streets designations set different street standards and desired amenities based upon the intended use and desired qualities of the street.

Complete streets border the site on all sides. The complete streets designation type is summarized below:

- A. Type I – Community Activity Street. (West 1<sup>st</sup> Ave., one-way eastbound)  
Type I streets are slow, two-way streets with wide, well-maintained sidewalks and pedestrian amenities to encourage strolling, walking, and shopping.
- B. Type II – Community Connector. (West Sprague Ave., one-way westbound)  
Type II streets move traffic and pedestrians into and around downtown. These streets provide some of the major pedestrian connection to surrounding neighborhoods and districts.
- D. Type IV – Neighborhood Streets. (Adams St, two-way north-south)  
Type IV streets carry little through traffic and tend to have less commercial activity than the other types of complete streets. These tend to have generous sidewalks, landscaping, and street trees.



## Bicycle Plan

<https://my.spokanecity.org/projects/master-bike-plan/>

First and Sprague Avenues are designated for a marked, shared roadway. A Marked/Shared Roadway designation is typically found on important roadways where bicycle lanes may not be feasible. A Marked/Shared Roadway may use on-street markings and signs to alert motorists and cyclists to the designation. Sharrows are used to remind all roadway users to share the road while directing cyclists out of the “door zone”.

## City of Spokane Comprehensive Plan

<https://static.spokanecity.org/documents/planning/2012/01/comprehensive-plan-revised-edition.pdf>

- **Urban Design and Historic Preservation Policy 6.3 Transit and Pedestrian-Oriented Development** – *Encourage attractive transit and pedestrian-oriented development.*
- **Urban Design and Historic Preservation Policy 6.7 - Design Standards for Public Projects and Structures.** *Design all public projects and structures to uphold the highest design standards and neighborhood compatibility.*
- **Natural Environment Goal 1** – *Protect the Spokane Valley-Rathdrum Prairie Aquifer and other water sources so they provide clean, pure water.*
- **Natural Environment Policy 5.6 Barrier Free Environments** – *Create barrier free walking and bicycling environments throughout the city in order to make alternative transportation a viable option.*
- **Natural Environment Policy 6.1 Native and Non-Native Adaptive Plants and Trees** – *Encourage the use of and develop standards for using native and non-native adaptive plants and trees in landscape designs for public and private projects.*
- **Natural Environment Policy 14.2 New Plaza Design** - *Develop plazas with native natural elements and formations, such as basalt, Missoula flood stones, stream patterns, river character, native trees, and plants that attract native birds.*
- **Natural Environment Policy 15.5 Nature Themes** – *Identify and use nature themes in large scale public and private landscape projects that reflect the natural character of the Spokane region.*
- **Neighborhoods Policy 4.5 Multimodal Transportation** – *Promote alternative forms of transportation.*
- **Neighborhoods Policy 4.6** – *Establish a continuous pedestrian and bicycle network within and between all neighborhoods.*
- **Neighborhoods Policy 4.13 Pedestrian Safety** – *Design neighborhoods for pedestrian safety.*

## Fast Forward Spokane: Downtown Plan Update

<https://static.spokanecity.org/documents/business/resources/compplan/subarea/fast-forward-downtown-plan-update.pdf>

### **District Plazas and Gathering Places (pg. 102)**

1.3 Develop a system of gathering places, parks, and plazas in each Downtown district to provide a local focal point and meeting place for residents, shoppers, and visitors. General locations with potential for use as public open space have been mapped, but specific sites have not yet been identified. Guidelines should be developed to identify appropriate sites and design elements (e.g., use of public art, landscaping, and other features) for neighborhood gathering places.

# Downtown Design Guidelines

<https://static.spokanecity.org/documents/projects/divisiongateway/2010-downtown-design-guidelines.pdf>

## Three overarching principles:

1. Contextual Fit
2. Pedestrian Friendly Streets
3. Sustainability

Guidelines that appear to be especially applicable to this proposal are noted under the “Topics for Discussion” section below. The DRB may determine during the workshop that other guidelines are more relevant to the proposal.

## Topics for Discussion

Public projects are expected to uphold high standards of design, comply with adopted standards and policies, be consistent with district plans, and serve as a positive example of how to incorporate resource conservation into a project. To address the Downtown Design Guidelines, Comprehensive Plan Policies, and Public Project Design Guidelines listed in the staff report, staff would offer the following for consideration and discussion:

### General

1. **Program Elements.** What needs to be here and what items are under consideration as possibilities.
2. **Character.** What will inform the character of site and built elements? Could the adjacent West Downtown Historic Transportation Corridor provide inspiration for any transportation oriented program elements that may be proposed such as Central City Line shelters or bicycle racks?

*Please see the Downtown Character Area Considerations, West Downtown Character Area – Carnegie Square Sub Area, pg. 11*

3. **Site Activity.** In addition to the information included in the design guidelines, what program elements will encourage positive activity and natural surveillance?

*Please See Downtown Design Guidelines D-1 Provide Inviting and Usable Open Space and D-7 Design for Personal Safety & Security.*

### Neighborhood

4. **Surrounding Area.** Surrounding features that should be considered when composing the design such as circulation patterns (pedestrian, bicycle, transit, and auto) and views.

*Please See Downtown Design Guidelines A-1 Respond to the Physical Environment and B-1 Respond to Neighborhood Context.*

### Site

5. **Street Trees.** What creative options are available to address the code requirement for street trees along 1<sup>st</sup> Avenue?”
6. **Stormwater.** How will the design demonstrate best practices?

*Please See Downtown Design Guideline D-8 Create “Green Streets” and B-5 Explore Opportunities for Building “Green.”*

7. **Placemaking.** Are there opportunities for site and built elements to reference the area’s history? Other ways to make the place unique to Spokane might be to use native plant species, or include local features or materials in the design. Will an artist be included in the design process?

*Please See Downtown Design Guideline D-3 Respect Historic Features that Define Spokane and D-4 Provide Elements that Define the Place. In addition, please see Comprehensive Plan policies included in this staff report.*

#### **Built Elements**

- 8. Form, massing, and scale.** What opportunities are there to engage the corner of First Ave. and Adams St.? Could a more prominent kiosk feature reinforce the distinctive character of the surrounding area?

*Please See Downtown Design Guideline B-3 Reinforce the Urban Form and Architectural Attributes of the Surrounding Area.*

- 9. Service Access.** Are there opportunities to use built features to obscure or mitigate ventilation stacks and other service access areas?

*Please See Downtown Design Guideline E-3 Minimize the Presence of Service Areas.*

- 10. Materials, color, signage and lighting.** At the time of the Recommendation Meeting, please present additional information on what will be proposed for built elements such as walls, trellises, plantings, paving, and kiosk signage as well as any pedestrian lighting that will be included.

*Please see suggestions for building materials to be used in the Downtown Character Area Considerations, West Downtown Character Area – page 11.*

*In addition please see Downtown Design Guidelines C-7 Install Pedestrian Friendly Materials at Street Level; D-4 Provide Elements That Define the Place and D-5 Provide Appropriate Signage; and D-6 Provide Appropriate and Attractive Lighting.*

## Note

The recommendation of the Design Review Board does not alleviate any requirements that may be imposed on this project by other City Departments including the Current Planning Section of Planning and Development Services.

## Policy Basis

Spokane Municipal Codes  
City of Spokane Comprehensive Plan  
Downtown Design Guidelines



**Recommendation Meeting Design Review Submittal for:  
CSO 24**

**CITY OF SPOKANE, WASHINGTON  
June 28, 2017**

**Applicant:**

City of Spokane—Engineering Services  
808 West Spokane Falls Blvd  
Spokane, WA 99201  
Dan Buller, P.E.  
(509) 625-6391

**Submitted by:**

Michael Terrell ■ Landscape Architecture, PLLC  
1421 N. Meadowwood Lane, Suite 150  
Liberty Lake, WA 99019  
(509) 922-7449

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- E. Bird's Eye View Looking SE from Sprague Street

CITY OF  
SPOKANE



# 1. Design Review Application

## A. Spokane Design Review Application: Submittal Checklist



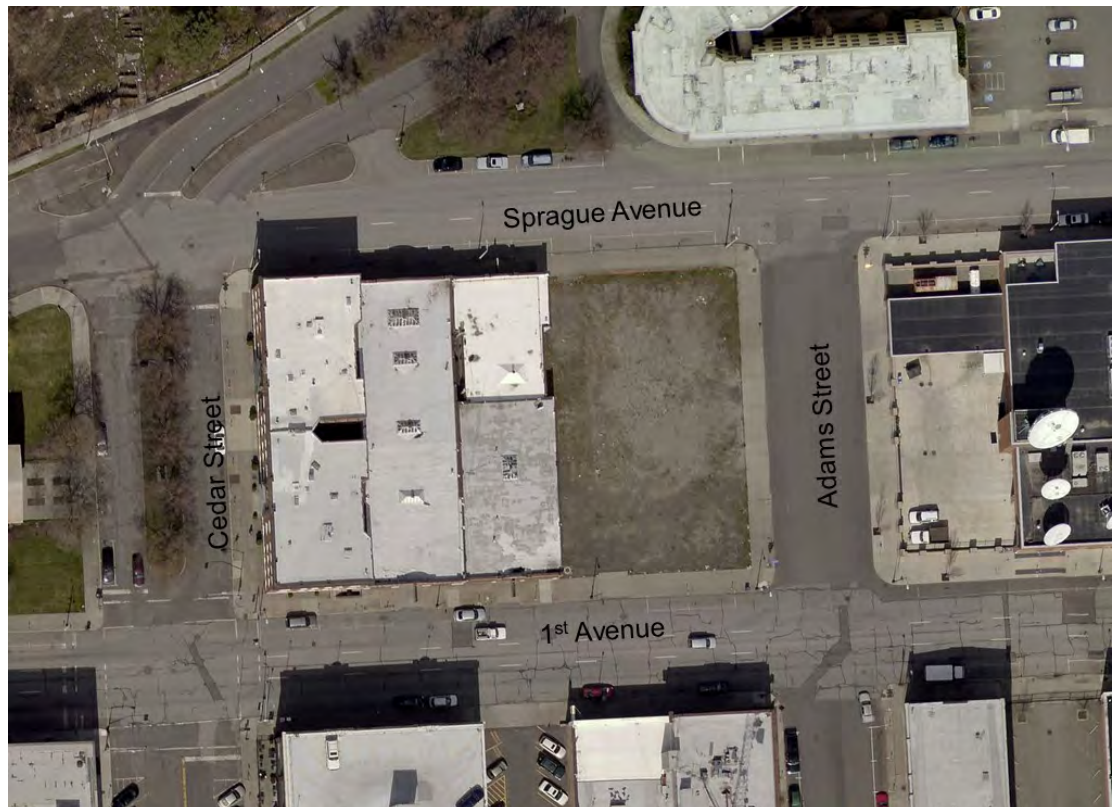
## **2. Project Summary**

- A. Introduction
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- F. Urban Open Space
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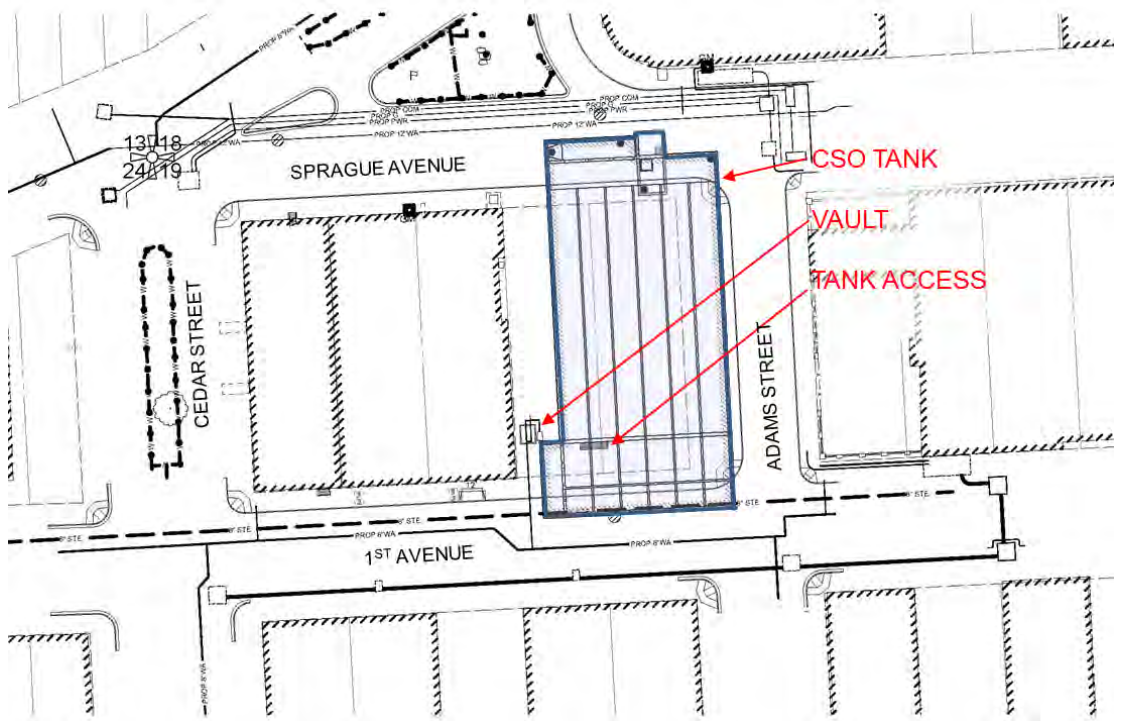


## A. Introduction

The City of Spokane has is well into the process of implementing infrastructure improvements to address the Combined Sewer Outflow (CSO) issues that can result in sewage discharges into the Spokane River during high runoff events. The underground construction of CSO 24, located in the western portion of downtown between 1st Avenue and Sprague Avenue, just west of Adams Street is well underway. The project consists of a buried approx. 2 million gallon cast in place concrete tank (approx. 220'x 100') intended to temporarily store combined sewage (i.e. sanitary and storm) which exceeds the capacity of the downstream sewer interceptor during a storm event. The tank will extend into Sprague, Adams and 1st Avenue. The design of the surface of the site after construction is to be public open space that includes the necessary infrastructure for maintenance and operation of tank.



Recommendation Meeting Design Review Submittal  
CSO 24  
Spokane, Washington  
June 28, 2017



VICINITY MAP



## B. Design Goals, Opportunities and Constraints

The design goals for the project include:

- ◆ Celebrate the historic character of the site and the West Downtown Historic Transportation Corridor.
- ◆ Recognize the importance of the CSO system in protecting the river.
- ◆ Integrate art into the design through collaboration with the Susan Zoccola, the city's selected artist.
- ◆ The tank and surface improvements will be maintained by the city's utilities department. The surface improvements including landscaping should not require exceptional levels of maintenance.
- ◆ Turf incorporated into the design to provide relief from the large amounts of pavement surrounding the sit..
- ◆ The public space should support the maintenance and operations of the tank.
- ◆ The public space should incorporate or provide opportunities to collaborate with adjacent property owners and the neighborhood for programming and activities that encourage positive use throughout the year.
- ◆ The public space should be multi-use and adaptable to evolving programming opportunities.
- ◆ The public space should act as a catalyst for investment and activities in the neighborhood.
- ◆ Incorporate Crime Prevention through Environmental Design techniques.
- ◆ Coordinate development with the proposed plans for the Central City Line.



Preliminary Artist Concept

The site presents a number of Opportunities and Constraints.

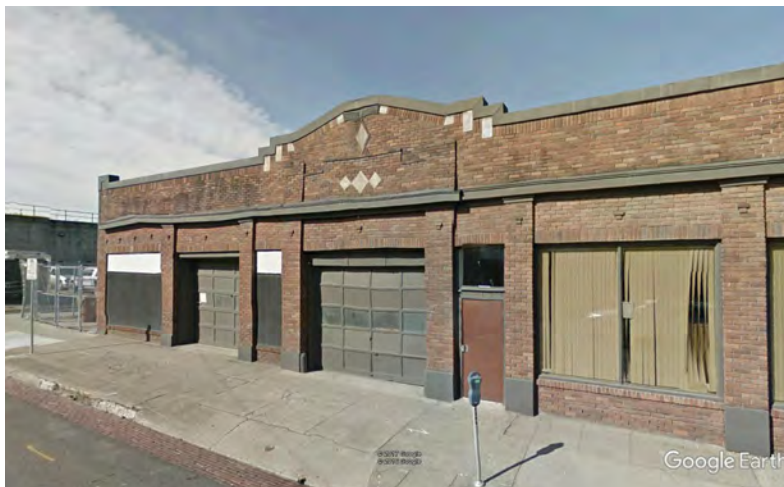
The Opportunities include:

- ◆ CSO 24 is an opportunity to reduce combined sewer outflows to the Spokane River.
- ◆ The project at approximately 1/2 an acre, would add to the limited public open space available in the west end of downtown Spokane.
- ◆ The project could serve as a gathering spot for neighborhood activities and functions.
- ◆ The surface improvements could serve as a catalyst for redevelopment of adjacent properties, supporting the 'The West End District' as 'A Craft Industry Incubator'.
- ◆ Improvements to the streetscape with lighting and street trees where possible.
- ◆ Create 'sense of place' that reflects the historic context of the neighborhood while conveying a



Maple Street Plaza—Escondido

Recommendation Meeting Design Review Submittal  
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more contemporary urban feel.

Challenges include:

- ♦ Integration of the essential maintenance and operations of the CSO tank with the surface improvements and potential programming opportunities.
- ♦ Develop the space and activities so that it is safe for all users.
- ♦ Ensure a space that is adaptable and flexible to support a range of activities.
- ♦ Develop landscape strategies that can be implemented in the shallow soils over the CSO tank. This includes limitations on location and size of trees.

### C. Site Context and Analysis

The Downtown Spokane Partnership's 'The West End District—A Craft Industry Incubator, October 2017' describes the West End District around the project site as:

*'A peripheral district to the downtown core, the west end is home to a burgeoning mix of urban housing, craft breweries, local wineries, restaurants, small-scale retail, and automotive repair and supply stores. Home to two historic districts, the west end was the initial gateway into the city from the west via the Sunset Highway. The west end grew up around the automobile, the railroad, and services and housing that supported those industries. During the early 2000s, the west end saw the first of the Spokane's resurgence of downtown housing condominiums and lofts, developed in the late 1990s and early 2000s.'*

This district has a wide range of land uses including office, multi-family residential and a growing restaurant service component. Major employers include two architecture firms, a television station and many smaller businesses. It was noted at a recent stakeholder meeting that 120 multi-family units are managed by one company near the site.

Analysis:

The proposed use of the site as a multi-use public space is:

- ♦ Consistent with the comprehensive plan and zoning.
- ♦ Consistent with the Downtown Plan and ongoing West End District discussions facilitated by the Downtown Spokane Partnership.
- ♦ Significantly contributes to the goals a dynamic West End District.

### B. Transportation System / Circulation

The overall connectivity to the street grid neighborhood street grid is preserved by the development.

Fundamental to the development of CSO 24 and



the surface public space is the need to provide a multi-use public amenity for the West End District. Spokane Transit's Central City line has conceptually identified stops near the project site. Improvement of public transit to/from the West End District and contribute to greater activity and support events in the public spaces. Adams Street does not have parking on either side of the street and is proposed to be narrowed to 32' wide with parking on the west side. Narrowing the street will allow more public space and provide a space between the curb and sidewalk on Adams Street for street trees. This space for street trees will not be over the CSO tank.

#### E. Housing Element

Housing is not a component of this plan, however the introduction of a dynamic and safe public space enhances the existing residential housing with open space that creates relief from the urban environment.

#### F. Urban Open Space

The urban open space created by the project will provide opportunities for group gatherings, active and passive recreation in an intensely urban environment. Existing historic Riverside Boulevard and triangle parks with monuments are significant features of the Riverside Neighborhood and provide green space. The steep slopes on the south rim of the Great Spokane River Gorge along Peaceful Valley provide a more natural green space that is not accessible. True urban gathering spaces are limited to outdoor dining in the Carnegie Square area.

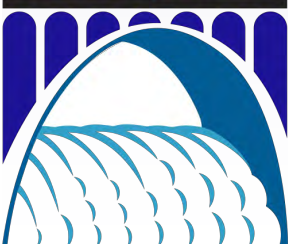


#### G. Design Concept: Urban Gathering

During stakeholder meetings a number of options for what the fundamental function of the site and plaza were discussed. Some of these included:

- ◆ Neighborhood events. Movies, concerts, etc.
- ◆ Beer garden, activation of the adjacent property with outdoor dining.
- ◆ Dog park or dog park by default.
- ◆ Historic connections. Firefighter memorial recognition.
- ◆ Exercise equipment
- ◆ Basketball hoop.

The concept that was developed to synthesize both needs and desires in a preliminary design that creates a flexible framework for changes surrounding the site.



### **3. Response to Collaborative Workshop Comments**

- A. Staff Report
- B. Design Review Board Collaborative Recommendations



## A. Design Review Board Staff Report

The December 14, 2016 Staff Report included a number of topics to be discussed and considered during the next steps in design. This topics are listed below with responses to how the new proposed design has addressed them.

General:

1. **Program Elements.** What needs to be here and what items are under consideration as possibilities.

*Response:*

*The following program elements have been identified:*

- ◆ *Plaza space: open, hard surfaced plaza space was identified as a key program element for neighborhood and city events. These events could include: neighborhood gathering, yoga classes, food truck/market events with booths, concerts and outdoor movies.*
- ◆ *Green space: open lawn area for seating, picnicking and passive recreation. Provides space for gathering and relief from the large areas of street hardscape.*
- ◆ *Art integration of site specific art that reflects the historic context of the site and district.*
- ◆ *Seating: variety of seating with elements that deter laying on steps, seatwalls or benches.*
- ◆ *Lighting: street lighting and plaza lighting including pedestrian scale lighting, bollards and opportunities string lights in trees. Lighting provides safety and security.*
- ◆ *Landscaping and street trees: provide landscaping that defines spaces, provides relief from hardscape, creates human scale and provides increased soil depth for planting trees over the CSO tank.*
- ◆ *Performance space: provide a space with infrastructure that supports music, movie and other types of performances.*

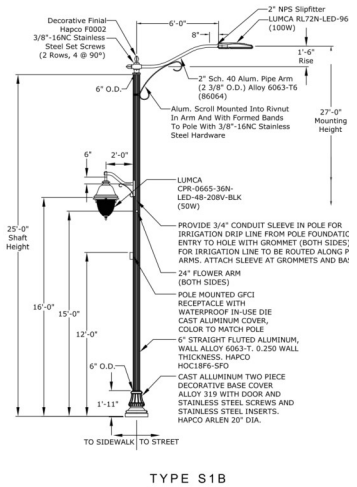
2. **Character.** What will inform the character of site and built elements? Could the adjacent West Downtown Historic Transportation Corridor provide inspiration for any transportation oriented program elements that may be proposed such as Central City Line shelters or bicycle racks? Please see the Downtown Character Area Considerations, West Downtown Character Area – Carnegie Square Sub Area, pg. 11

*Response: The following character elements are incorporated in the*



design:

- ◆ *Historic character: integration of materials, shapes and elements that reflect the character of the Historic Transportation Corridor. These materials include granite, brick, steel and concrete. Elements include wheel forms (see artist concepts), environmental graphics of historic automobile manufacturers. The kiosk will incorporate key architectural elements from historic buildings. These elements will include brick and steel.*
- ◆ *Sidewalks: The sidewalks are separated from the plaza and are 12' wide to provide a character consistent with the city's Complete Street requirements.*
- ◆ *Streetscape elements: Street lights, trash receptacles and other site elements have been selected to reflect the draft Downtown Streetscape Infrastructure Program 'kit of parts'. Integrated street and pedestrian lights, for example would be used for the perimeter street lighting.*



3. **Site Activity.** In addition to the information included in the design guidelines, what program elements will encourage positive activity and natural surveillance?  
*Please See Downtown Design Guidelines D-1 Provide Inviting and Usable Open Space and D-7 Design for Personal Safety & Security.*

*Response: The design of the plaza encourages activity programming, while supporting positive passive use for lunch time users and neighbors. Natural surveillance is facilitated by the open character of the plaza with clear circulation and sight lines. The proposed restaurant uses for the south portion of the adjacent building to west with outdoor dining will contribute to positive activity in the plaza.*

4. **Surrounding Area.** Surrounding features that should be considered when composing the design such as circulation patterns (pedestrian, bicycle, transit, and auto) and views.  
*Please See Downtown Design Guidelines A-1 Respond to the Physical Environment and B-1 Respond to Neighborhood Context.*



*Response: The plaza is located in a complex intersection of pedestrian, transit and vehicular traffic. The design responds to the existing circulation patterns as well as providing clear circulation into the public space with room for programmed activities. The final design of the Central City Line has not been determined, however the sidewalks, curb cuts and site lines support the current concept design.*

5. Street Trees. What creative options are available to address the code requirement for street trees along 1st Avenue?

*Response: Planting street trees along 1st Avenue will not be possible due to the limited planting space between the top of the CSO tank's mechanical room and the sidewalk. The planting depth would be less than two feet. In addition, the size of the tree is limited by the potential for the Central City line stop. We are working with the artist on a collaboration at mid-plaza along 1st Ave. to incorporate an element that provides additional pedestrian scale.*

6. Stormwater. How will the design demonstrate best practices?  
*Please See Downtown Design Guideline D-8 Create "Green Streets" and B-5 Explore Opportunities for Building "Green."*

*Response: The design limits the amount of hardscape and provides strategic landscape areas for stormwater infiltration.*

7. Placemaking. Are there opportunities for site and built elements to reference the area's history? Other ways to make the place unique to Spokane might be to use native plant species, or include local features or materials in the design. Will an artist be included in the design process?

*Please See Downtown Design Guideline D-3 Respect Historic Features that Define Spokane and D-4 Provide Elements that Define the Place. In addition, please see Comprehensive Plan policies included in this staff report.*

*Response: We have reviewed the Downtown Design Guidelines as well as a number of other references for placemaking. A key component of the placemaking strategy is to collaborate with the selected artist to fully integrate the art into the form and function of the plaza. Susan Zoccola is the artist that has been selected for the project and we are in discussions with her to collaborate and coordinate the integration of the art into the final design.*

*In addition, material selection including the incorporation of recycled*



*granite curb and brick pavers for the steps and performance area provide tangible links to the historic heritage of the site.*

8. Form, massing, and scale. What opportunities are there to engage the corner of First Ave. and Adams St.? Could a more prominent kiosk feature reinforce the distinctive character of the surrounding area?  
*Please See Downtown Design Guideline B-3 Reinforce the Urban Form and Architectural Attributes of the Surrounding Area.*

*Response: The design incorporates a large kiosk that serves a number of practical and design functions. The kiosk serves as an opportunity for communication of events in the neighborhood as well as interpretive information about the CSO tank function and the potentially STA's Central City Line. The kiosk serves an important infrastructure function by housing the site electrical service, KHQ broadcast connection, irrigation controller and hose bib for potable water service. The location of the kiosk was dictated by the limitations of the depth of the tank's mechanical room and the electrical service. It was also moved away from the corner to reduce potential congestion at the corner when the STA stop is constructed.*

9. Service Access. Are there opportunities to use built features to obscure or mitigate ventilation stacks and other service access areas?  
*Please See Downtown Design Guideline E-3 Minimize the Presence of Service Areas.*

*Response: The service area at the south end of the plaza is designed to accommodate a 60,000lb vactor jet truck and to facilitate access to the mechanical room. The service area is incorporated into the plaza with the extension of the paving pattern over the area.*

*Two critical elements that are visible on the surface in the SW corner are the air intake and reduced pressure back flow prevention device. The air intake structure character is going to be consistent with the architectural character of the built in seating and kiosk. The size has been expanded so that it defines the edge of the plaza, reinforces the proposed outdoor seating area and can be used for the restaurant. The intake louvers are on the planting bed side of the structure to be screened from the plaza. The location of the RP Device has been moved to the SE end of the intake structure to cluster these elements together. The double check valves for irrigation and potable water are located in the planting area on the east side of the structure.*



*The kiosk is going to house all the electrical service, irrigation controller, future STA communications requirements, KHQ junction box and other utility items.*

10. Materials, color, signage and lighting. At the time of the Recommendation Meeting, please present additional information on what will be proposed for built elements such as walls, trellises, plantings, paving, and kiosk signage as well as any pedestrian lighting that will be included.

*Please see suggestions for building materials to be used in the Downtown Character Area Considerations, West Downtown Character Area – page 11.*

*In addition please see Downtown Design Guidelines C-7 Install Pedestrian Friendly Materials at Street Level; D-4 Provide Elements That Define the Place and D-5 Provide Appropriate Signage; and D-6 Provide Appropriate and Attractive Lighting.*

*Response: We will present detailed character information about the construction of the built elements. Art installation concepts and details will be limited due to the artists schedule. See attached plans and illustrations.*

B. Design Review Board Recommendations from the 12/14/16 collaborative workshop.

Neighborhood:

- ◆ Explore opportunities to acknowledge and celebrate the historic character of the site in the context of the West Downtown Historic Transportation Corridor.

*Response: The design acknowledges and celebrates the historic character of the site with a contemporary interpretation. The design integrates forms, materials, shapes and elements that reflect the character of the Historic Transportation Corridor. The site is uniquely located between the historic district and the Riverside Avenue boulevard and triangle parks. Organizationally the greenspace at the north end relates to and embraces the historic turf and trees of the Riverside boulevard. The lawn and landscape areas offset the loss of the ability to plant street trees along 1st Avenue and Sprague. The southern 2/3 of is plaza designed to reflect and embrace the historic structure and character of the building along 1st Avenue and Adams Streets. These materials include granite, brick, steel and concrete. Elements include wheel forms (see artist concepts), environmental graphics of historic*



*automobile manufacturers. The kiosk will incorporate key architectural elements from historic buildings. These elements will include brick and steel.*

*Brick:*

- *For use in site elements, eat walls, pavers and as steps for the seating in the performance area. Reflects the historic use of bricks for street construction. Some examples are still evident in the neighborhood.*
- *As material for construction of seat walls, intake enclosure and other elements. Reflects the historic use of brick for construction of the warehouses and auto dealerships in the district.*



*Concrete:*

- *Concrete was historically used for the foundations of the districts buildings, sidewalks and the railroad viaduct. Concrete is used in the plaza for the paving as a durable surface that can support the weight of the service vehicles and other uses. The pattern in the plaza is an interpretation of window and façade patterns of the some of the historic buildings in the district.*

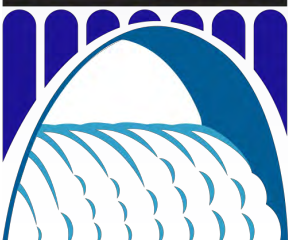


*Site:*

- ◆ Refine, edit and focus the programming and amenities to be provided.
- ◆ Explore further opportunities to integrate, communicate, and celebrate the stormwater solutions being implemented.
- ◆ Explore strategies to integrate art in a cohesive way.

*Response: The design has evolved and is more focused on providing spaces for the programming mentioned above. Most significantly is the expansion of the hardscape plaza to provide flexible, programmable space for events. The introduction of seating expands the opportunity for casual use during lunch or after work.*

- *Opportunities for integrate stormwater solutions. Through the design process it was determined that the interpretation of the stormwater solutions should take a tertiary position behind the relationship to the historic district and integration of art. Interpretive panels are planned to provide information about the plaza and tank.*



- *Explore strategies to integrate art in a cohesive way. We have had discussions with artist and are coordinating with Susan Zoccola to integrate the concepts that she proposed during the selection process into our design. That exploration is on-going due to the design process for the development of the art starting well after the plaza design.*

Building:

- ◆ Further, develop strategies for dealing with an unimproved façade on the west side of the park, should that be necessary.

*Response: City staff has been working with the new owners of the building to coordinate efforts including the establishment of an easement for outdoor dining along the east side of the building. We have not pursued any additional design options.*

General:

- ◆ Please address the items listed in the staff report, item number 10, at the recommendation meeting.

*See staff report item #10 above.*



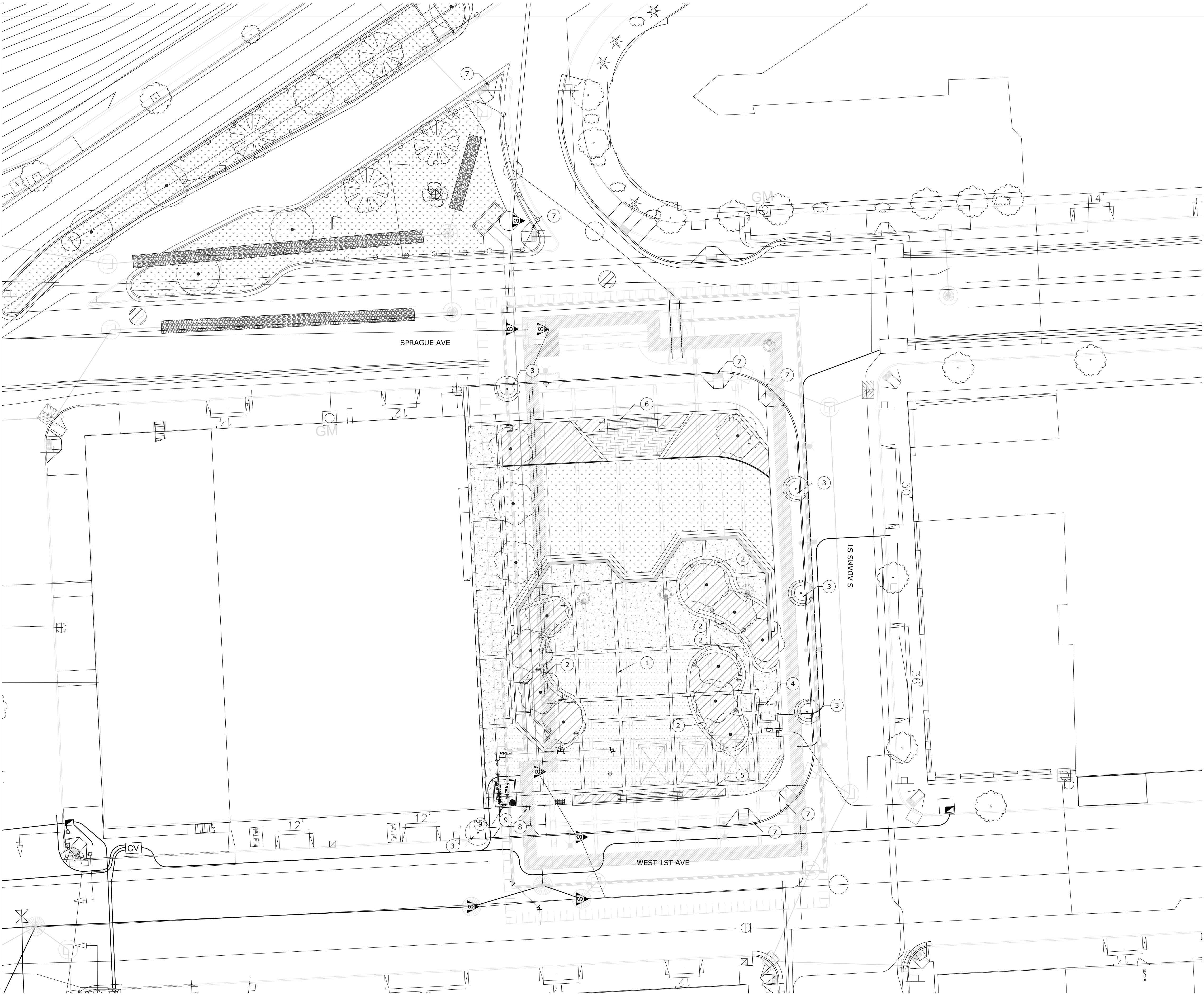
The proposed design incorporates many of the concepts developed during the preliminary design process. The limitations of building over the tank while providing maintenance access pose a significant challenge. The development of the design incorporates a number of the comments from stakeholders while preserving opportunities for input and coordination with both the neighborhood and adjacent businesses.



## 4. Exhibits

- A. CSO 24 Site Construction Plan Set
- B. Illustrative Plan





CALLOUTS

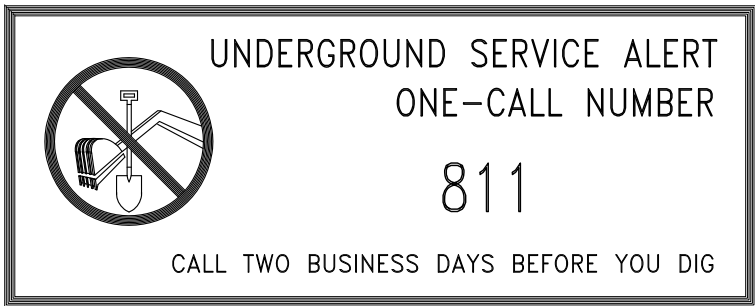
- 1 15" WIDE WHITE CONCRETE BANDS
- 2 18" BRICK VENEER SEATWALL
- 3 TREE GRATE/POSSIBLE ART INCORPORATION
- 4 KIOSK AND CSO ELEC-METER
- 5 BRICK PLANTER WITH OVERHEAD STRUCTURE/ART INSTALLATION
- 6 OVERHEAD STRUCTURE WITH ELECTRICAL FOR EVENTS
- 7 SIDEWALK APRON
- 8 DRIVEWAY ACCESS FOR CSO MAINTENANCE VEHICLES
- 9 BOLLARDS

LEGEND

- STREET LIGHT
- PEDESTRIAN LIGHT OR BOLLARD
- GRANITE CURB
- CONCRETE
- HEAVY VEHICLE CONCRETE
- PLANTER AREA - MIXED PERENNIALS AND GRASSES
- SODDED TURF

CONSTRUCTION NOTES

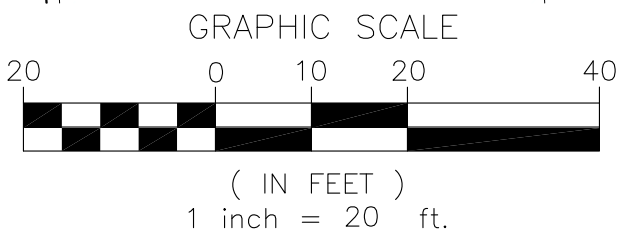
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFYING THE OWNER AND OWNERS REPRESENTATIVES OF DISCREPANCIES.
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES ON SITE, WITHIN CONSTRUCTION DISTURBANCE ZONE AFTER UTILITY METERS AND PUBLIC CONNECTIONS.
- THIS PLAN WAS DERIVED FROM SURVEY AND PLAN INFORMATION PROVIDED BY .....
- PRESERVE AND PROTECT EXISTING IMPROVEMENTS TO REMAIN. REPAIR OR REPLACE ALL CURBS AND WALKS DAMAGED DURING CONSTRUCTION.
- LAYOUT AND EXTENT OF EXCAVATION TO BE STAKED AND REVIEWED IN THE FIELD BY LANDSCAPE ARCHITECT AND/OR OWNER.
- REFER TO PROJECT DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ONLY SURFACE FEATURES ARE SHOWN ON THIS PLAN. ALL UTILITIES SHOWN ARE TO BE VERIFIED IN THE FIELD BY CONTRACTOR. PRESERVE AND PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE OR DISRUPTION, TYPICAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- LIABLE FOR ENCROACHMENT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ENCROACHMENT ONTO ADJACENT PROPERTY, RIGHTS-OF-WAY, EASEMENTS, SET-BACKS, OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR UNMARKED.
- MAINTAIN IRRIGATION TO EXISTING AND ADJACENT AREAS DURING CONSTRUCTION. NOTIFY OWNER OF ANY DISRUPTIONS LONGER THAN ONE WEEK. PROVIDE TEMPORARY IRRIGATION TO AREAS WHERE DISRUPTION OCCURS.
- SCOPE OF WORK: THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION AND SERVICES NECESSARY TO COMPLETE THE WORK SHOWN ON THE PLAN



MICHAEL TERRELL - LANDSCAPE ARCHITECTURE, PLLC  
1421 N. MEADOWWOOD LANE, SUITE 150  
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PHONE (509) 922-7449

A SITE PLAN

RIGHT OF WAY LINES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY



PRELIMINARY - NOT FOR CONSTRUCTION

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NAVDB8 ELEV. BENCH MARK LOCATION

NAVDB8 ELEV. CBM NO.

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IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

HORIZONTAL PLAN & PROFILE 1" = 10'

VERTICAL PROFILE ONLY N/A

SCALE

CITY OF SPOKANE

CITY OF SPOKANE, WASHINGTON

DEPARTMENT OF ENGINEERING SERVICES

808 WEST SPOKANE FALLS BLVD.

SPOKANE, WASHINGTON 99201-3343

(509) 625-6700

CURRENT C.O.S. DESIGN STANDARDS ADOPTED FEB. 2007

BY: SLH

DRAWN: SLH

REVISD: MDT

CHECKED: MDT

APPROVED:

DATES: 06/2017

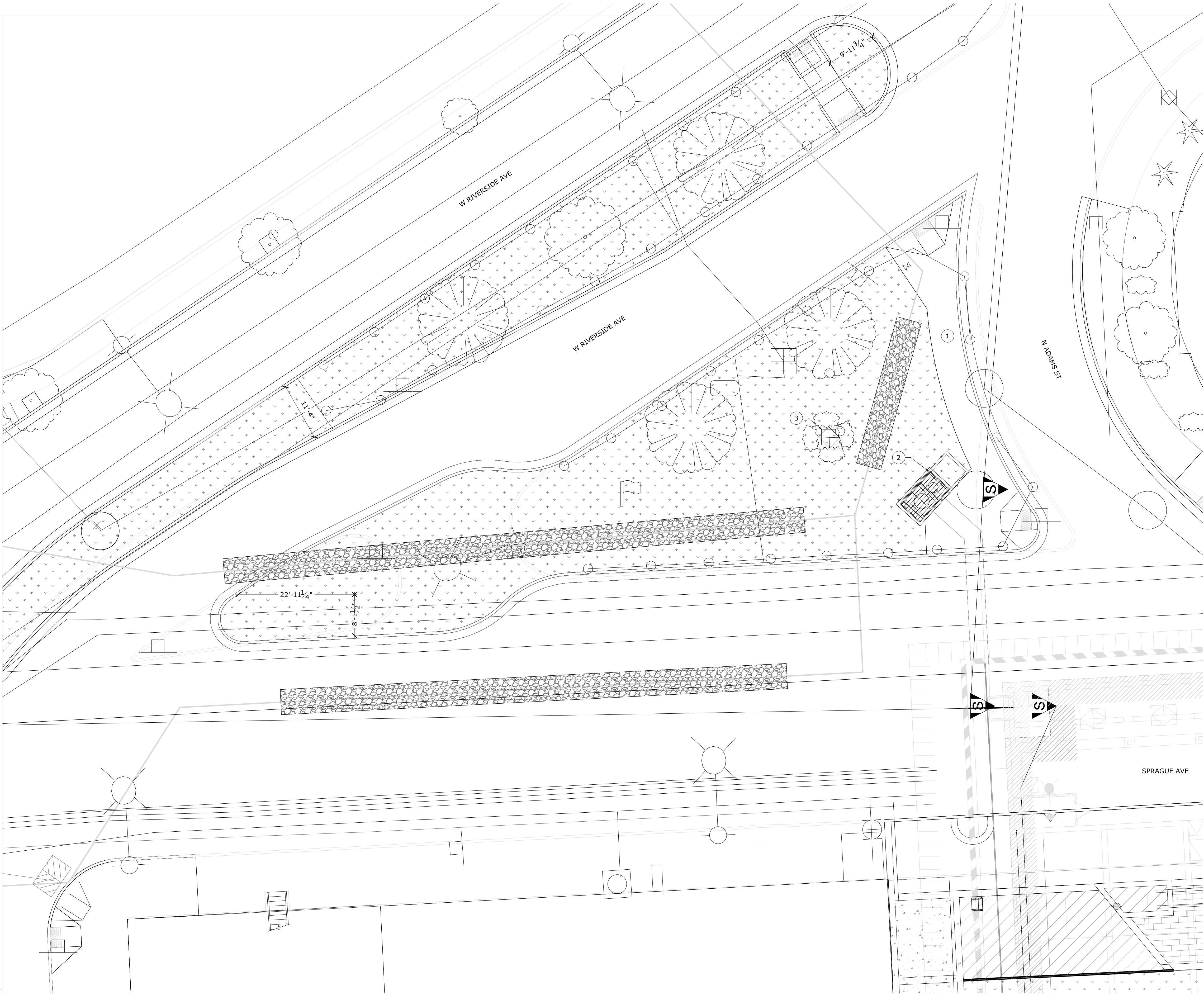
06/2017

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2 of 10



CALLOUTS


- 1 NEW CONCRETE SIDE WALK
- 2 CSO EXHAUST VENT
- 3 EXISTING MONUMENT. PRESERVE AND PROTECT.

LEGEND

- HB HOSE BIBB WATER SERVICE
- E ELECTRICAL OUTLET
- E-1 ELECTRICAL SERVICE FOR MUSIC EVENTS, AMPLIFIERS, AND LIGHTS.
- L-1 STANDARD STREET LIGHT WITH PEDESTRIAN LIGHT
- L-2 STANDARD STREET LIGHT
- L-3 PEDESTRIAN LIGHT OR BOLLARD
- GRANITE CURB
- CONCRETE
- HEAVY VEHICLE CONCRETE
- PLANTER AREA - MIXED PERENNIALS AND GRASSES
- SODDED TURF

CONSTRUCTION NOTES

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFYING THE OWNER AND OWNERS REPRESENTATIVES OF DISCREPANCIES.
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES ON SITE, WITHIN CONSTRUCTION DISTURBANCE ZONE AFTER UTILITY METERS AND PUBLIC CONNECTIONS.
- THIS PLAN WAS DERIVED FROM SURVEY AND PLAN INFORMATION PROVIDED BY .....
- PRESERVE AND PROTECT EXISTING IMPROVEMENTS TO REMAIN. REPAIR OR REPLACE ALL CURBS AND WALKS DAMAGED DURING CONSTRUCTION.
- LAYOUT AND EXTENT OF EXCAVATION TO BE STAKED AND REVIEWED IN THE FIELD BY LANDSCAPE ARCHITECT AND/OR OWNER.
- REFER TO PROJECT DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ONLY SURFACE FEATURES ARE SHOWN ON THIS PLAN. ALL UTILITIES SHOWN ARE TO BE VERIFIED IN THE FIELD BY CONTRACTOR. PRESERVE AND PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE OR DISRUPTION, TYPICAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- LIABLE FOR ENCROACHMENT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ENCROACHMENT ONTO ADJACENT PROPERTY, RIGHTS-OF-WAY, EASEMENTS, SET-BACKS, OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR UNMARKED.
- MAINTAIN IRRIGATION TO EXISTING AND ADJACENT AREAS DURING CONSTRUCTION. NOTIFY OWNER OF ANY DISRUPTIONS LONGER THAN ONE WEEK. PROVIDE TEMPORARY IRRIGATION TO AREAS WHERE DISRUPTION OCCURS.
- SCOPE OF WORK: THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION AND SERVICES NECESSARY TO COMPLETE THE WORK SHOWN ON THE PLAN



UNDERGROUND SERVICE ALERT  
ONE-CALL NUMBER  
**811**  
CALL TWO BUSINESS DAYS BEFORE YOU DIG



MICHAEL TERRELL - LANDSCAPE ARCHITECTURE, PLLC  
1421 N. MEADOWWOOD LANE, SUITE 150  
LIBERTY LAKE, WA 99019  
PHONE (509) 922-7449

L-3  
3 of 10

A CONSTRUCTION PLAN

RIGHT OF WAY LINES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY

DATE	BY	PROJ	DESCRIPTION	DATE	BY	PROJ.	E.F.N.	U.S.N.	FROM	TO	COUNCIL ACCEPT DATE	FROM	TO	ORD. NO.	DATE	FILE NO.
REVISIONS																
AS BUILT																
GRADE ORDINANCE LIST																

NAV088 = (OLD CBM ELEV.) - (13.13) AS OF JANUARY, 2000 USE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV088)

BENCH MARK LOCATION

NAV088 ELEV.

CBM NO.

BAR IS ONE INCH ON ORIGINAL DRAWING.

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

HORIZONTAL PLAN&PROFILE 1" = 10'

VERTICAL PROFILE ONLY N/A

SCALE

CURRENT C.O.S. DESIGN

STANDARDS ADOPTED FEB. 2007

BY DATES

DRAWN: SLH 06/2017

REVIS: MDT 06/2017

CHECKED: MDT 06/2017

APPROVED:

CITY OF SPOKANE

DEPARTMENT OF ENGINEERING SERVICES

808 WEST SPOKANE FALLS BLVD.

SPOKANE, WASHINGTON 99201-3343

(509) 625-6700

CITY OF SPOKANE, WASHINGTON  
DEPARTMENT OF ENGINEERING SERVICES

808 WEST SPOKANE FALLS BLVD.

SPOKANE, WASHINGTON 99201-3343

(509) 625-6700



PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT NAME: CSO 24 LANDSCAPE PLAN

SEGMENT LIMITS:

CONSTRUCTION PLAN - ISLAND

PROJECT LIMITS:

TYPE OF IMPROVEMENT:

LANDSCAPE

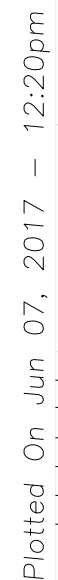
CITY PROJECT NUMBER

CITY PLAN NUMBER

EFN:

CALL BEFORE YOU DIG 1-800-424-5555

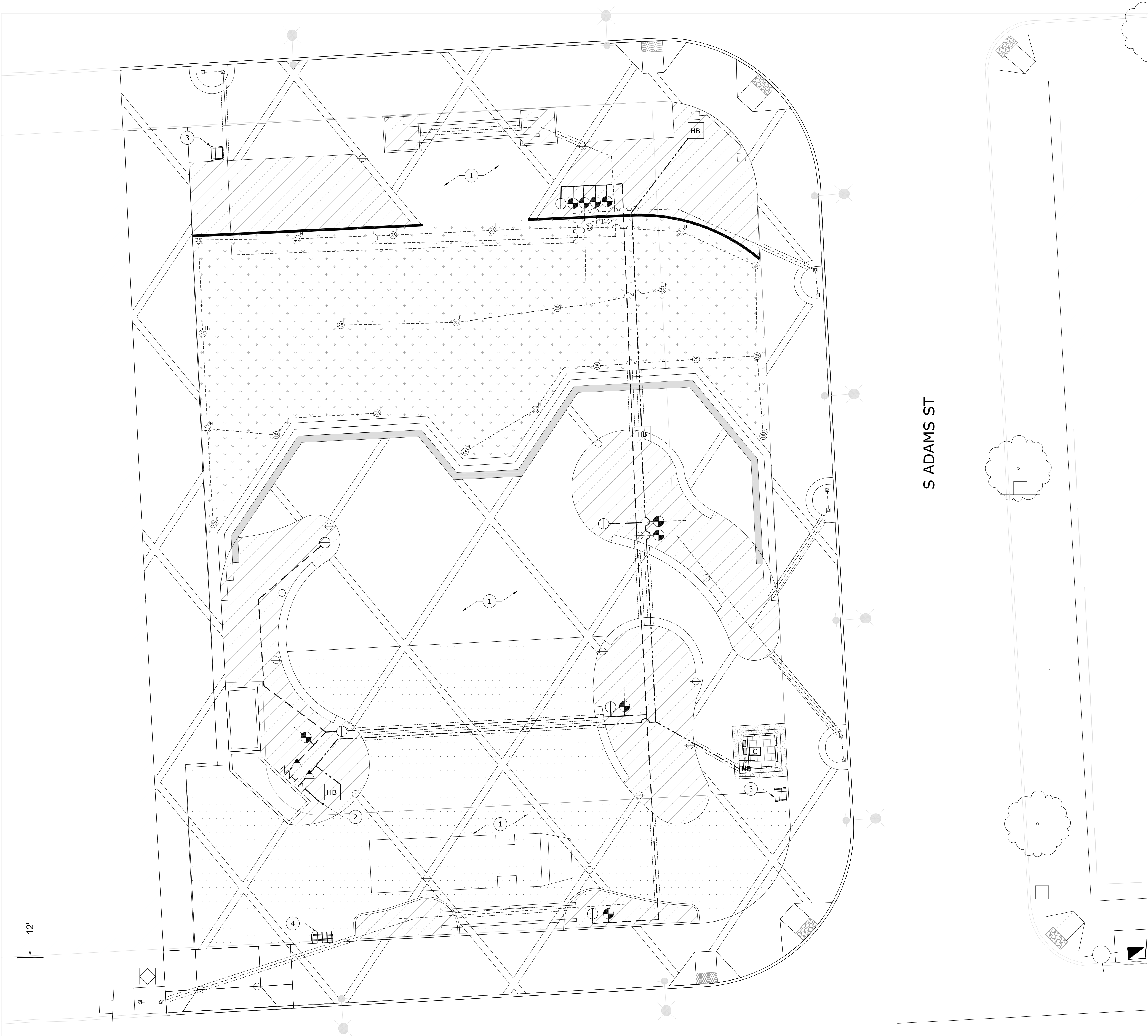
Plotted On Jun 07, 2017 - 12:17pm



RIGHT OF WAY LINES ARE SHOWN FOR  
INFORMATIONAL PURPOSES ONLY

EFN:

J DIG 1-800-424-5555



CALLOUTS

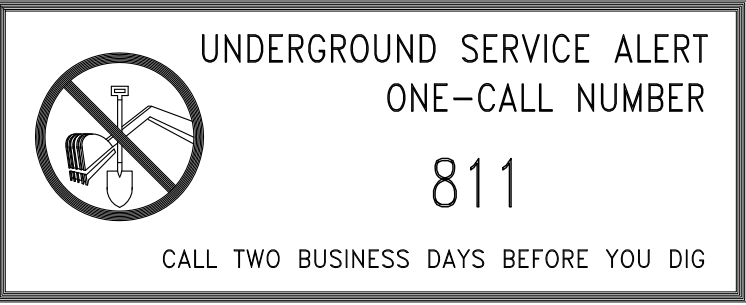
- 1 HARDSCAPE.
- 2 IRRIGATION POC. CONTRACTOR TO TAP WATER LINE FOR POC'S
- 3 TRASH RECEPTACLE.
- 4 BIKE RACK.

LEGEND

- SODDED TURF GRASS WITH OVERHEAD AUTOMATIC IRRIGATION SYSTEM
- RAIN BIRD XFS-06-12 (12) XFS SUB-SURFACE PRESSURE COMPENSATING DRIPLINE. 0.6GPH EMITTERS AT 12.0" O.C. LATERALS SPACED AT 12.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. STAKED EVERY 10'.
- RAIN BIRD 5004-R-PC,FC-MPR TURF ROTOR, 4.0" POP-UP, PLASTIC RISER, MATCHED PRECIPITATION ROTOR (MPR NOZZLE). ARC AND RADIUS AS PER SYMBOL. 25 FT=RED. PRESSURE REGULATING.
- RAIN BIRD RWS-B-C ROOT WATERING SYSTEM, MODEL 1402, 0.5 GPM.
- RAIN BIRD PEB 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.
- QUICK COUPLER RAIN BIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE.
- PRESSURE REDUCING VALVE. REDUCER TO 40 PSI
- FEBCO 850 DOUBLE CHECK BACKFLOW PREVENTION, 2".
- MAINLINE. PVC SCH 40. 2" NPS UNLESS OTHERWISE NOTED.
- LATERAL PIPE. PVC SCH 40. 1" NPS UNLESS OTHERWISE NOTED.
- PIPE SLEEVE. PVC SCH 40. 4" NPS OR 2X THE PIPE SIZE, WHICHEVER IS GREATER. CONTROL WIRE SHALL BE INSTALLED IN SEPARATE SLEEVE.
- IRRIGATION CONTROLLER. RAINBIRD ESP-LXME. LOCATE RAINBIRD IN KIOSK. CONTRACTOR TO CONNECT TO ELECTRICAL.
- HOSE BIBB.
- POTABLE WATER PIPING. PVC SCH 40. 1" NPS UNLESS OTHERWISE NOTED.

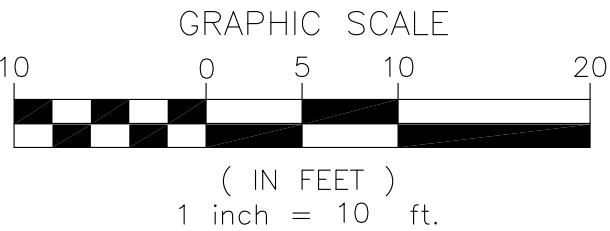
IRRIGATION NOTES

- CALL LOCATE 2 WORKING DAYS BEFORE YOU DIG (811). ALL UTILITIES & STRUCTURES ARE NOT SHOWN. THE LOCATION OF THOSE SHOWN ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY BOTH UNDERGROUND AND ABOVE GROUND EXISTING CONDITIONS. NOTIFY LANDSCAPE ARCHITECT FOR RESOLUTION AND MAKE MINOR CHANGES TO NEW CONSTRUCTION AT NO COST TO THE OWNER.
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES ON SITE, WITHIN CONSTRUCTION DISTURBANCE ZONE AFTER UTILITY METERS AND PUBLIC CONNECTIONS.
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- CONTRACTOR TO INSTALL THRUST BLOCKING AT MAINLINE CHANGES OF DIRECTION FOR PIPE 3" AND LARGER.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR SIZING AND CORRECTLY INSTALLING ALL PIPE. VELOCITIES SHALL NOT EXCEED 5 FEET PER SECOND. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF REJECTION.
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- INSTALL ALL VALVE BOXES PERPENDICULAR TO ADJACENT FENCES, WALKS, AND BUILDINGS.
- CONTRACTOR TO ENSURE 100% HEAD TO HEAD COVERAGE, ADJUST ROTORS ACCORDINGLY.
- 120V AC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER AND INCLUDE ALL PERMITS.
- INSTALL ALL BACK-FLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACK FLOW PREVENTER PER LOCAL CODES. SEE CIVIL ENGINEERING PLANS.



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LIBERTY LAKE, WA 99019  
PHONE (509) 922-7449

L-5  
5 of 10



PRELIMINARY - NOT FOR CONSTRUCTION

CURRENT C.O.S. DESIGN  
STANDARDS ADOPTED FEB. 2007  
BY: JCS  
DRAWN: JCS  
REVIEWED: MDT  
CHECKED: MDT  
APPROVED: MDT  
DATES: 06/2017



CITY OF SPOKANE, WASHINGTON  
DEPARTMENT OF ENGINEERING SERVICES  
808 WEST SPOKANE FALLS BLVD.  
SPOKANE, WASHINGTON 99201-3343  
(509) 625-6700

PROJECT NAME:	CSO 24 LANDSCAPE PLAN		TYPE OF IMPROVEMENT:	LANDSCAPE
SEGMENT LIMITS:			CITY PROJECT NUMBER	CITY PLAN NUMBER
PROJECT LIMITS:	IRRIGATION PLAN		EFN:	

CALL BEFORE YOU DIG 1-800-424-5555

Plotted On Jun 06, 2017 - 12:27pm

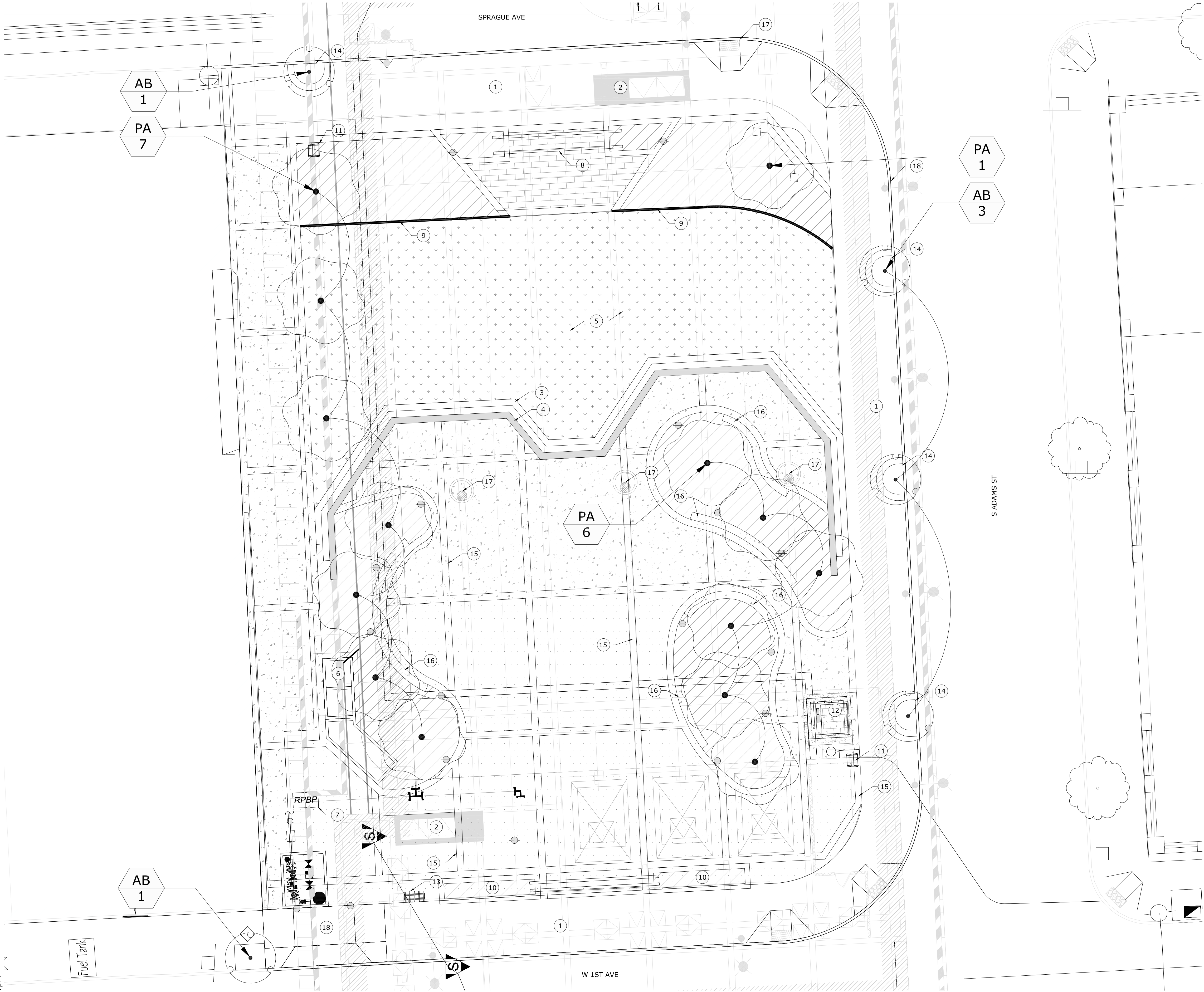
A IRRIGATION PLAN

RIGHT OF WAY LINES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY

DATE	BY	PROJ.	DESCRIPTION	DATE	BY	PROJ.	E.F.N.	U.S.N.	FROM	TO	COUNCIL ACCEPT DATE	FROM	TO	ORD. NO.	DATE	FILE NO.	CBM NO.
REVISIONS																	
AS BUILT																	
GRADE ORDINANCE LIST																	

NAVDSB = (OLD CBM ELEV.) - (13.13) AS OF JANUARY, 2000 USE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)  
BENCH MARK LOCATION  
NAVDSB ELEV.  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

HORIZONTAL PLANS/PROFILE 1" = 10'  
VERTICAL PROFILE ONLY N/A  
SCALE



## CALLOUTS

- 1 STREET SIDEWALK
- 2 CSO ACCESS STAIRS
- 3 BRICK STAIRS/ELEVATION CHANGE. SEE SHEET L-8 DETAIL D.
- 4 GRANITE CURB
- 5 OPEN USE AND AMPHITHEATER
- 6 INTAKE AIR VENT AS SEAT WALL
- 7 RPBP LOCATION
- 8 OVERHEAD STRUCTURE WITH ELECTRICAL FOR EVENTS
- 9 6" CONCRETE MOWCURB. SEE SHEET L-9 DETAIL B.
- 10 BRICK PLANTER WITH OVERHEAD STRUCTURE/ART INSTALLATION.
- 11 GARBAGE CAN. MAGLIN MCWR1400-32-PCB-FB.
- 12 KIOSK AND CSO ELEC-METER.
- 13 PROPOSED BIKE RACK LOCATION .
- 14 TREE GRATES/POSSIBLE ART INCORPORATION.
- 15 WHITE CONCRETE BANDS.
- 16 18" CONCRETE SEATWALL. SEE SHEET L-8, DETAIL F.

## LEGEND

HB	HOSE BIBB WATER SERVICE
E	ELECTRICAL OUTLET
E-1	ELECTRICAL SERVICE FOR MUSIC EVENTS, AMPLIFIERS, AND LIGHTS.
L-1	STANDARD STREET LIGHT WITH PEDESTRIAN LIGHT
L-2	STANDARD STREET LIGHT
L-3	PEDESTRIAN LIGHT OR BOLLARD
	GRANITE CURB
	CONCRETE
	HEAVY VEHICLE CONCRETE
	PLANTER AREA -
	SODDED TURF

## PLANT LEGEND

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
AB	Acer rubrum 'Bowhall' / Bowhall Maple	2" Cal	5
PA	Prunus x yedoensis 'Akebono' / Flowering Cherry	2" Cal	14
TR	Tilia americana 'Redmond' / Redmond American Linden	2" Cal	5

PLANT QUANTITY NOTE: CONTRACTOR SHALL VERIFY QUANTITIES IN PLANT LEGEND WITH PLANT SYMBOLS ON PLANS.

## PLANT CALLOUTS

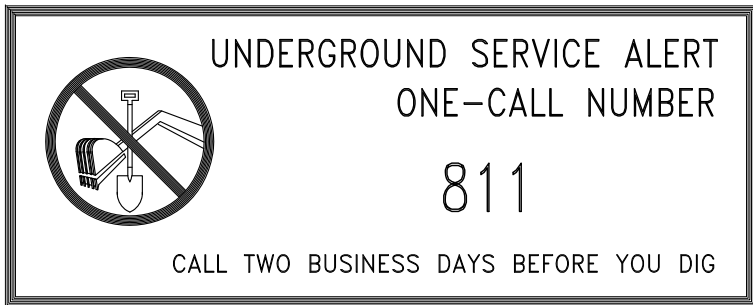
XX	PLANT ABBREVIATION
##	NUMBER OF PLANTS
EX	EXISTING

## PLANTING NOTES

1. TREES AND SHRUBS TO MEET REQUIREMENTS OF AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND MATERIAL CONDITION.
2. ALL PLANTING AREAS TO RECEIVE 4" OF TYPE A PLANTING SOIL.
3. INSTALL 2" OF MINERAL MULCH WITH PRE-EMERGENT IN ALL PLANTING AREAS.
4. ALL TURF AREAS TO RECEIVE 4" OF TYPE A PLANTING SOIL PRIOR TO SEEDING. TILL INTO EXISTING SOIL.
5. TREE LOCATIONS MAY VARY DEPENDING ON WALK, DRIVEWAY, AND UTILITY LOCATIONS.
6. DO NOT COMPACT BOTTOMS OF SWALES, PROTECT SWALES FROM CONSTRUCTION TRAFFIC AND DEBRIS.
7. ALL TREES TO BE SINGLE TRUNKED, UNLESS OTHERWISE NOTED. MULTI-TRUNKED TREES TO INCLUDE MAIN LEADER EQUAL OR GREATER TO SIZE SPECIFIED.
10. TREES SHALL BE MATCHED FROM SAME LOT.
11. FINISH GRADE TO BE: PLANTING AREAS: 2" BELOW ADJACENT WALKS OR HARDSCAPE ELEMENTS.
12. ALL SHRUB AREAS, INCLUDING BUFFER AREAS TO BE IRRIGATED WITH DRIP IRRIGATION. INSTALL 2 X 1 GPH EMITTERS PER SHRUB, 3 X 1 GPH EMITTERS PER TREE.

## CONSTRUCTION NOTES

1. CALL 811 TO LOCATE UTILITIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
2. CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES ON SITE, WITHIN CONSTRUCTION DISTURBANCE ZONE AFTER UTILITY METERS AND PUBLIC CONNECTIONS.
3. ALL TOPSOIL ON SITE TO BE STOCKPILED FOR REUSE IN TURF AND PLANTING AREAS.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFYING THE OWNER AND OWNERS REPRESENTATIVES OF DISCREPANCIES.
5. PRESERVE AND PROTECT ALL IMPROVEMENTS TO REMAIN.
6. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, AND SERVICES NECESSARY TO COMPLETE THE CONSTRUCTION SHOWN ON THE DRAWINGS.
7. PRESERVE AND PROTECT EXISTING HARDSCAPE TO REMAIN.
8. ALL AREAS DISTURBED BY DEVELOPMENT MUST HAVE DUST CONTROL PLACEMENT (PASCO).



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LIBERTY LAKE, WA 99019  
PHONE (509) 922-7449

L-6  
6 of 10

PRELIMINARY - NOT FOR CONSTRUCTION

## A PLANTING PLAN

RIGHT OF WAY LINES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY

DATE	BY	PROJ.	DESCRIPTION	DATE	BY	PROJ.	E.F.N.	U.S.N.	FROM	TO	COUNCIL ACCEPT DATE	FROM	TO	ORD. NO.	DATE	FILE NO.
			REVISIONS													
			AS BUILT													
			GRADE ORDINANCE LIST													

NAV088 = (OLD CBM ELEV.) - (13.13) AS OF JANUARY, 2000 USE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV088)  
BENCH MARK LOCATION  
NAV088 ELEV.  
CBM NO.  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

HORIZONTAL PLAN&PROFILE 1" = 10'  
VERTICAL PROFILE ONLY N/A  
SCALE

CURRENT C.O.S. DESIGN STANDARDS ADOPTED FEB. 2007  
BY DATES  
DRAWN: SLH 06/2017  
REVISED:  
CHECKED: MDT 06/2017  
APPROVED:



CITY OF SPOKANE, WASHINGTON  
DEPARTMENT OF ENGINEERING SERVICES  
808 WEST SPOKANE FALLS BLVD.  
SPOKANE, WASHINGTON 99201-3343  
(509) 625-6700

PROJECT NAME: CSO 24 LANDSCAPE PLAN

SEGMENT LIMITS:

PLANTING PLAN

PROJECT LIMITS:

TYPE OF IMPROVEMENT:

LANDSCAPE

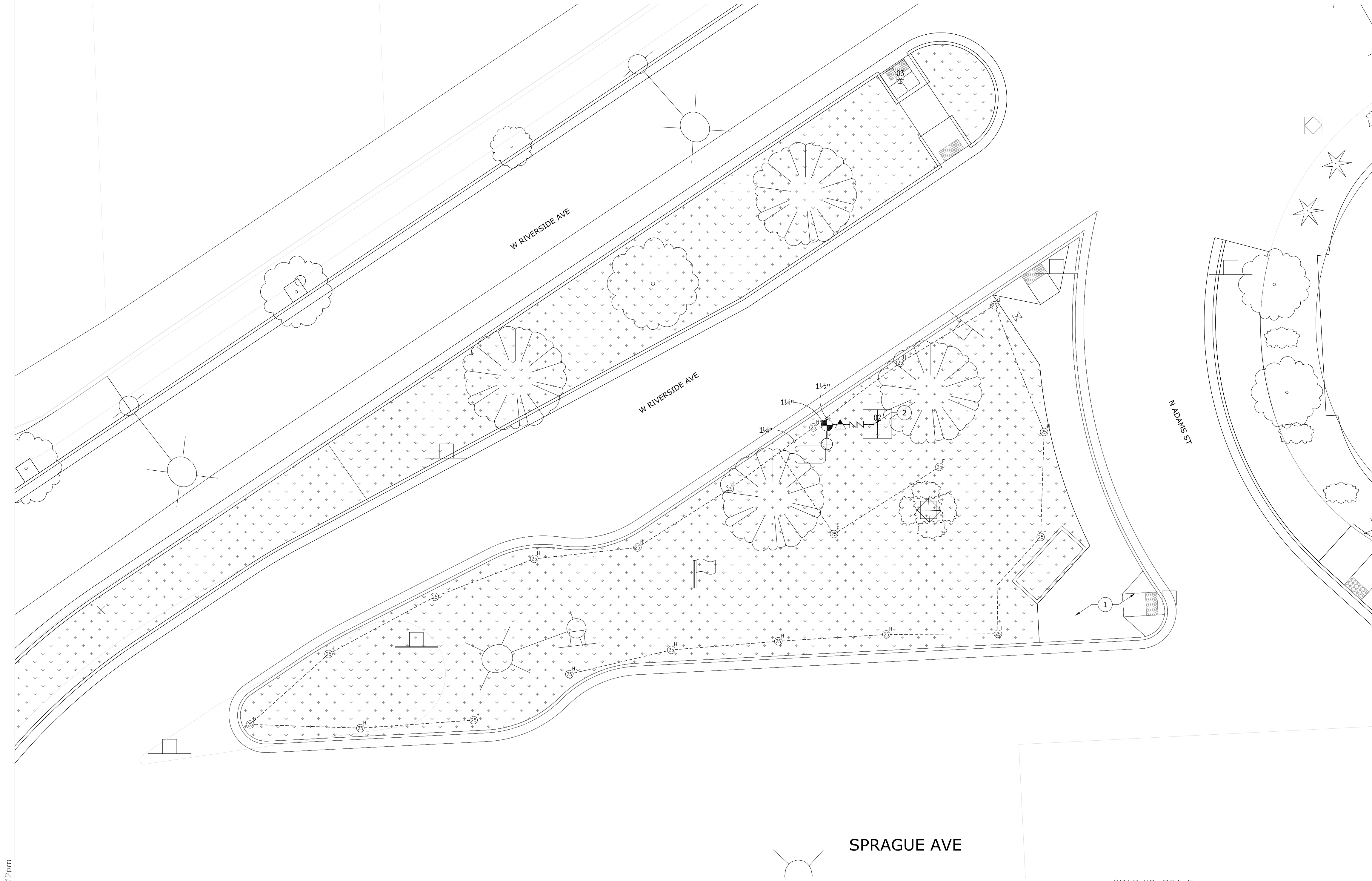
CITY PROJECT NUMBER

CITY PLAN NUMBER

E.F.N:

CALL BEFORE YOU DIG 1-800-424-5555

Plotted On Jun 06, 2017 - 12:42pm



## CALLOUTS

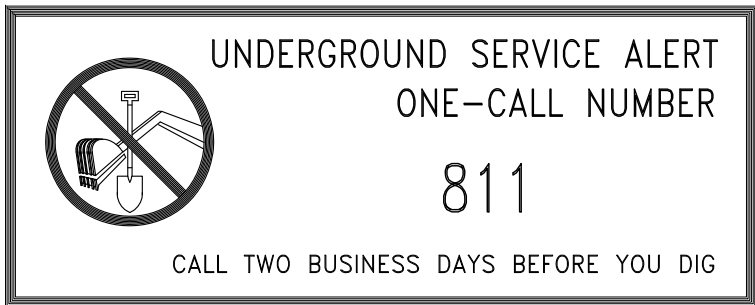
- 1 HARDSCAPE.
- 2 IRRIGATION POC. CONTRACTOR TO TAP WATER LINE FOR POC.

## LEGEND

- SODDED TURF GRASS WITH OVERHEAD AUTOMATIC IRRIGATION SYSTEM
- RAIN BIRD XFS-06-12 (12) XFS SUB-SURFACE PRESSURE COMPENSATING DRIPLINE. 0.6GPH EMITTERS AT 12.0" O.C. LATERALS SPACED AT 12.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. STAKED EVERY 10'.
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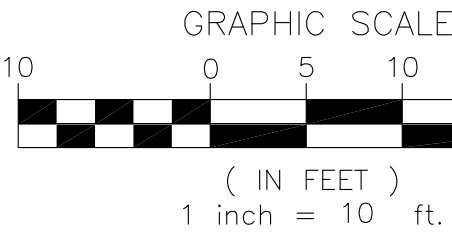
## A IRRIGATION PLAN

RIGHT OF WAY LINES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY

DATE	BY	PROJ.	DESCRIPTION	DATE	BY	PROJ.	E.F.N.	U.S.N.	FROM	TO	COUNCIL	FROM	TO	ORD. NO.	DATE	FILE NO.	CBM NO.
REVISIONS										AS BUILT							
										GRADE ORDINANCE LIST							

NAVDB8 = (OLD CBM ELEV.) - (13.13) AS OF JANUARY, 2000 USE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDB8)	
BENCH MARK LOCATION	
NAVDB8 ELEV.	
CURRENT C.O.S. DESIGN STANDARDS ADOPTED FEB. 2007	
BY	DATES
DRAWN: JCS	06/2017
REVIEWED:	
CHECKED:	
APPROVED:	

BAR IS ONE INCH ON ORIGINAL DRAWING.  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.  
HORIZONTAL PLAN/PROFILE 1" = 10'  
VERTICAL PROFILE ONLY N/A  
SCALE

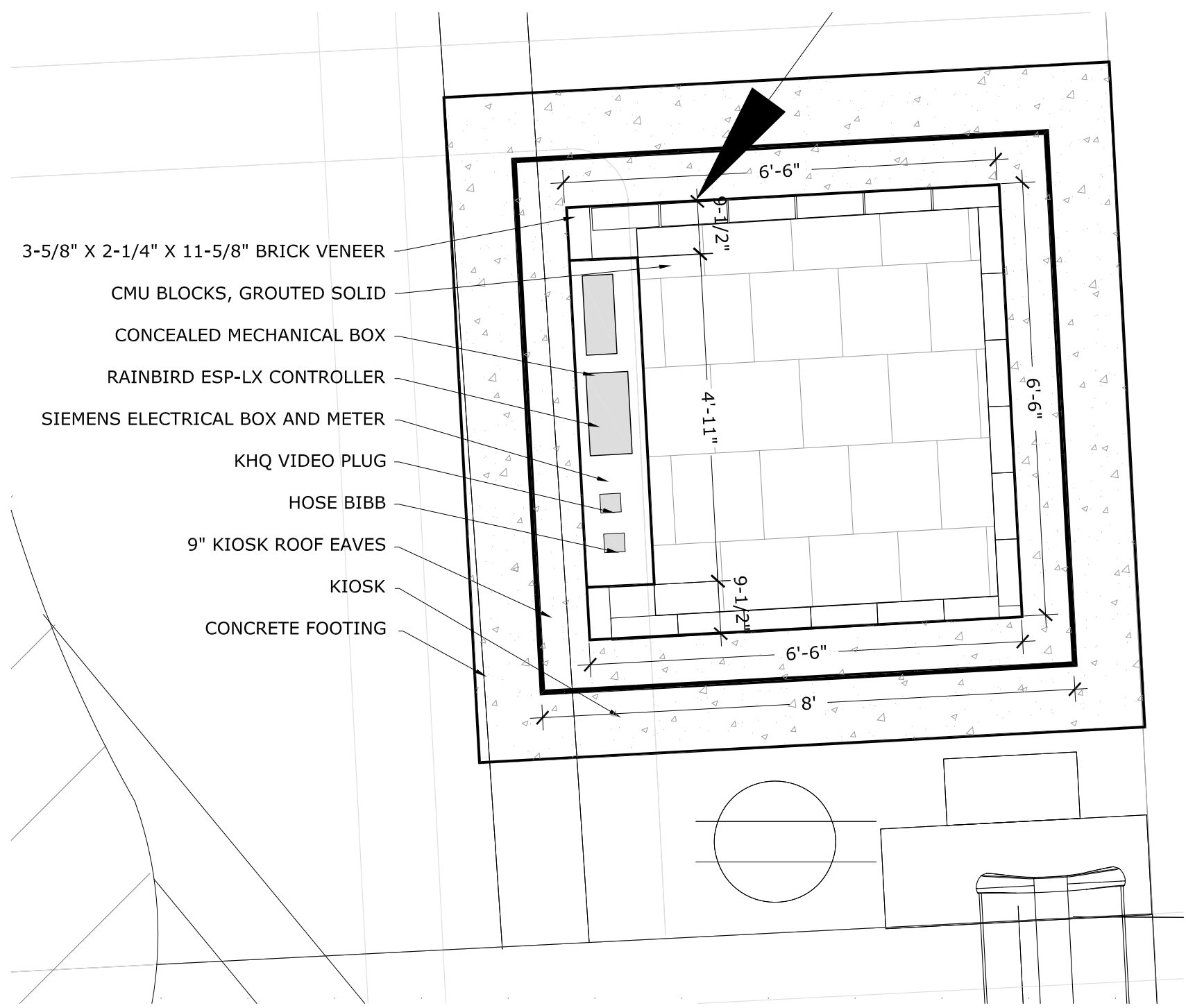


PRELIMINARY - NOT FOR CONSTRUCTION

L-7  
7 of 10

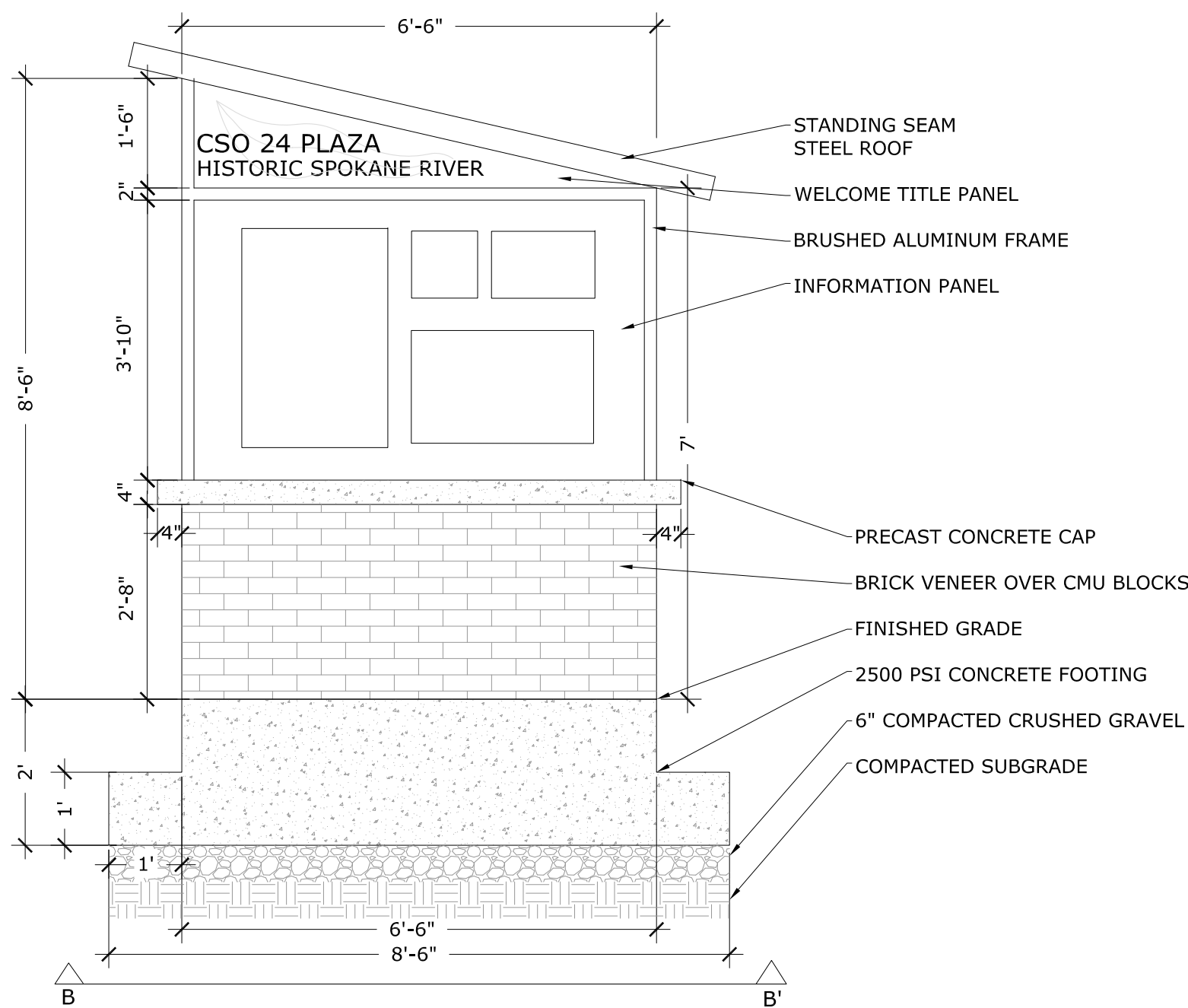
PROJECT NAME:	CSO 24 LANDSCAPE PLAN	
SEGMENT LIMITS:	IRRIGATION - ISLAND	
PROJECT LIMITS:	E.F.N.	
TYPE OF IMPROVEMENT:		LANDSCAPE
CITY PROJECT NUMBER		CITY PLAN NUMBER

CALL BEFORE YOU DIG 1-800-424-5555



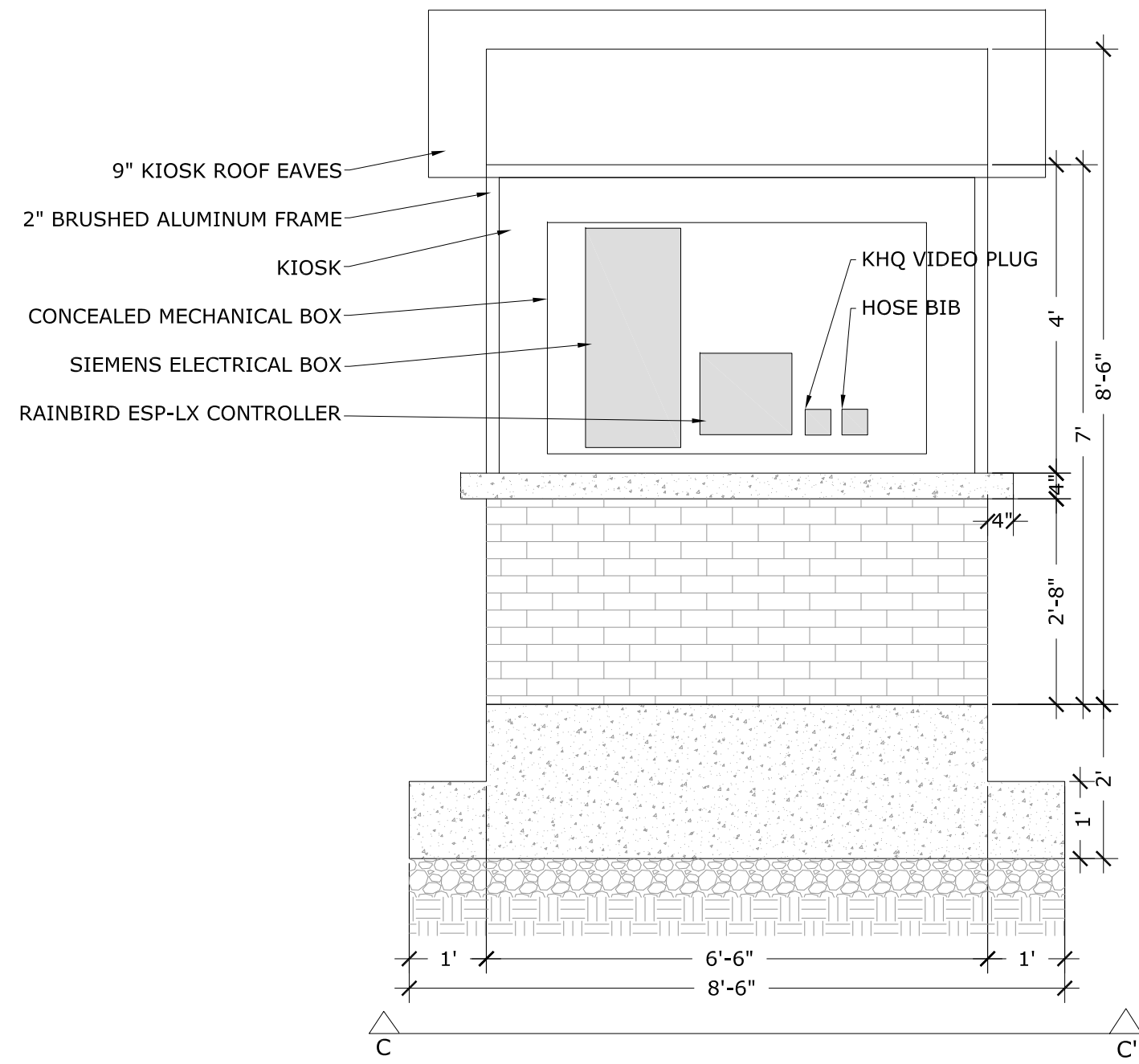
A KIOSK DETAIL

SCALE: 1/2" = 1' - 0"



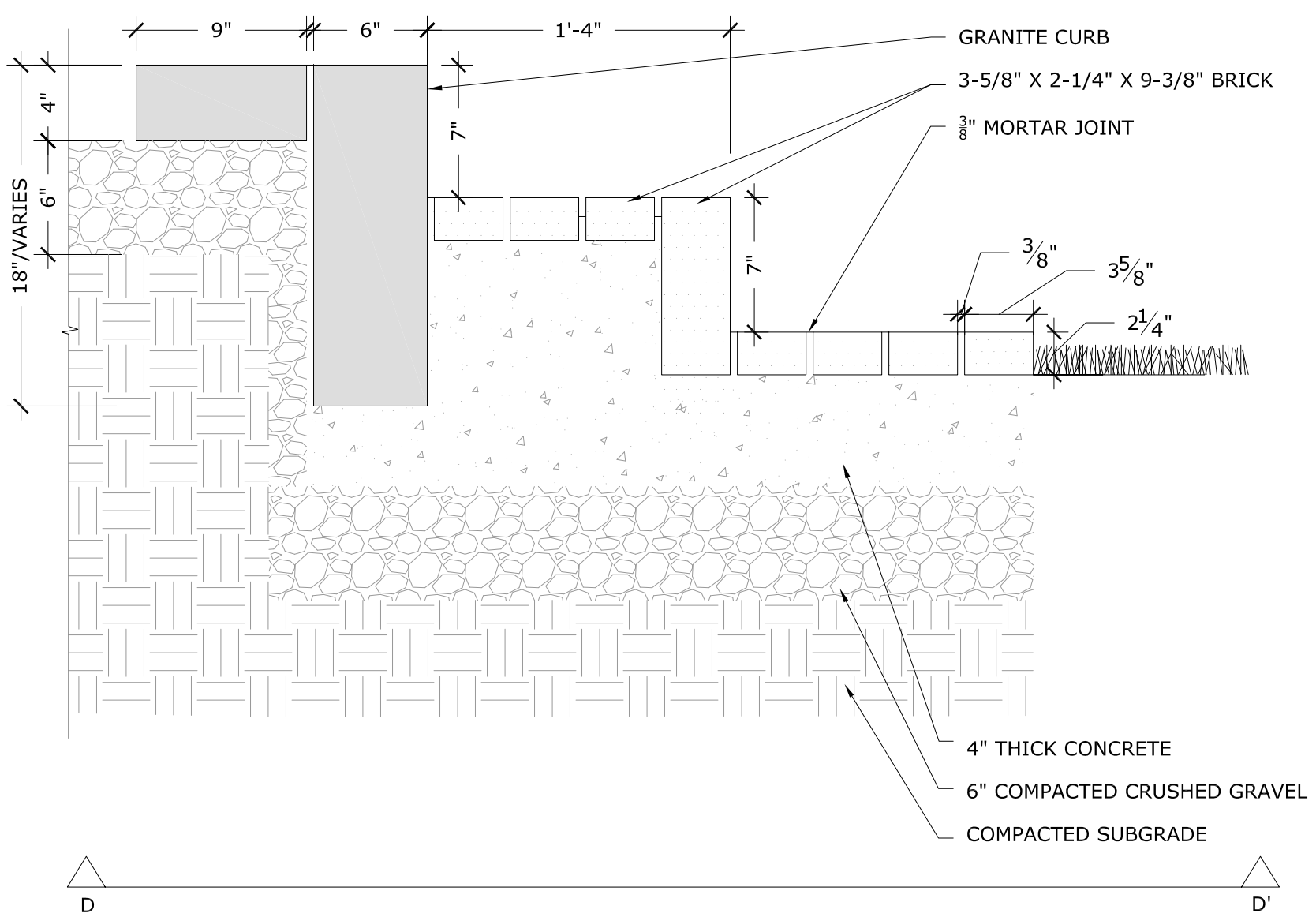
B - B': KIOSK ELEVATION

SCALE: 1/2" = 1' - 0"



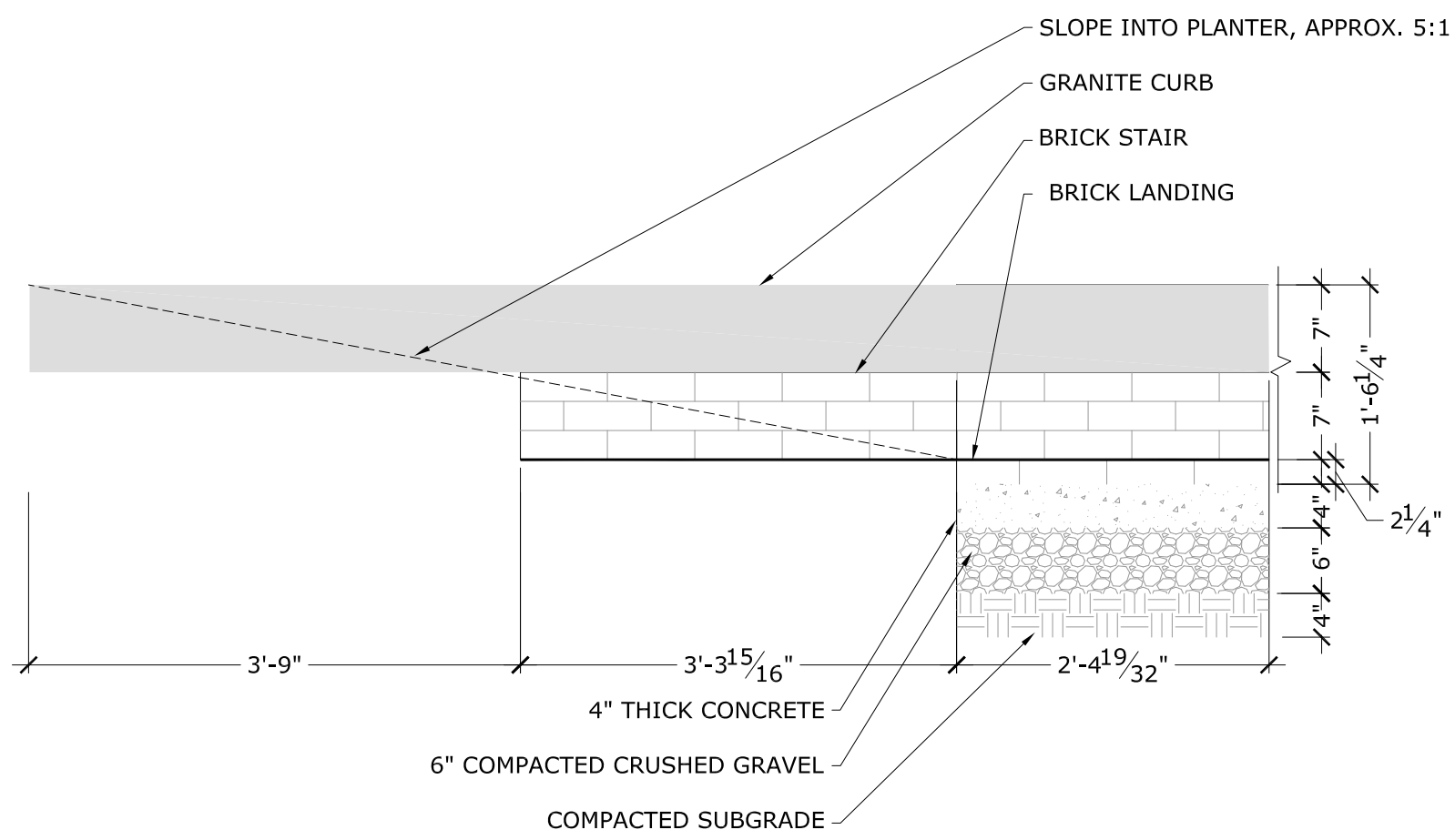
C C - C': KIOSK ELEVATION

SCALE: 1/2" = 1' - 0"



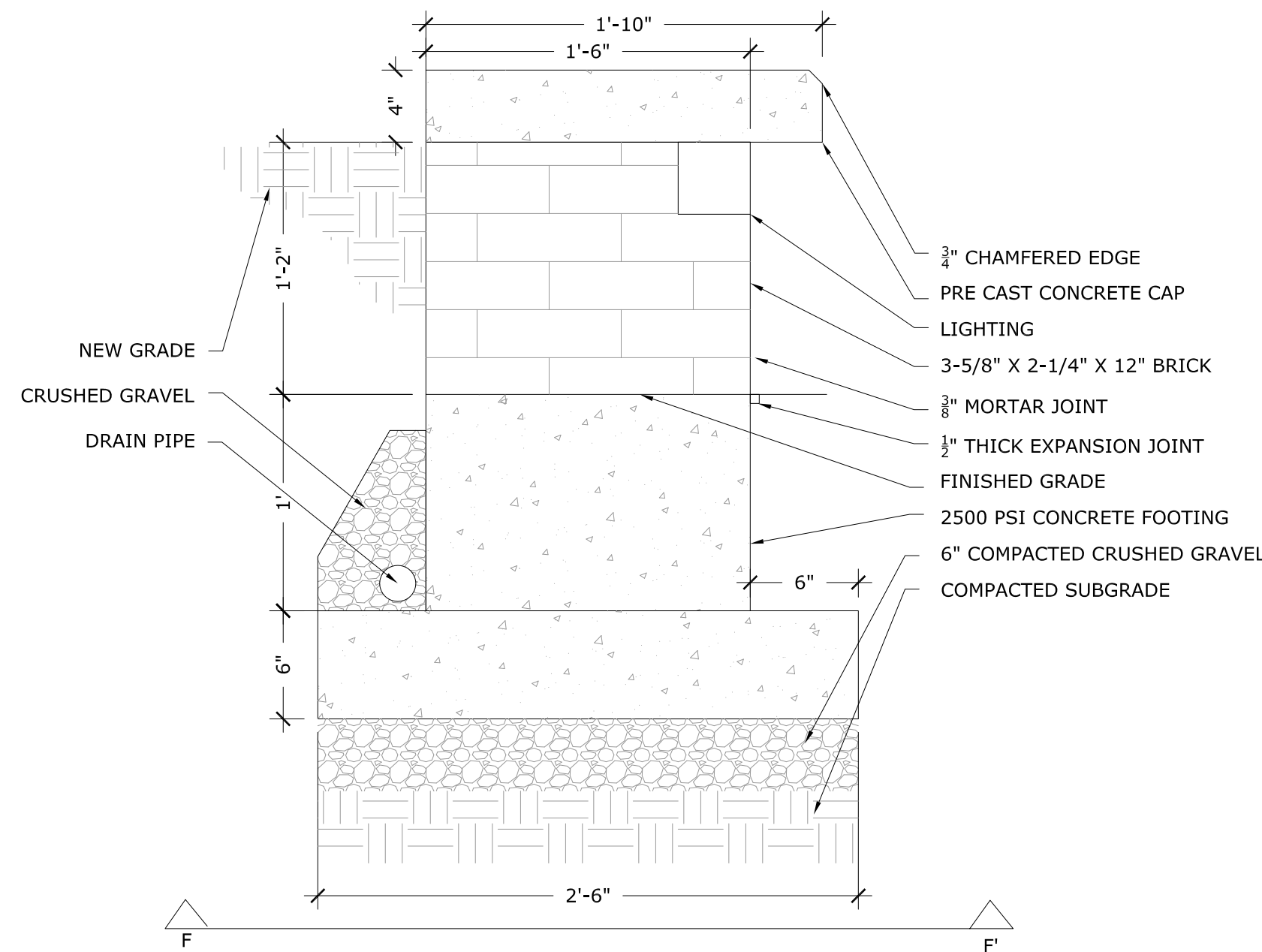
D D - D': BRICK STAIR SECTION

SCALE: 1-1/2" = 1' - 0"



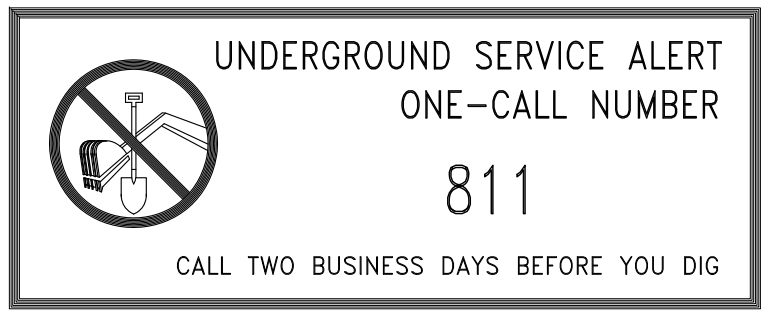
E E - E': STAIR TO SLOPE ELEVATION

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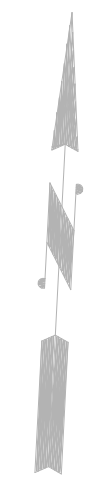


F F - F': SEAT WALL SECTION

SCALE: 1-1/2" = 1' - 0"



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L-8  
8 of 10

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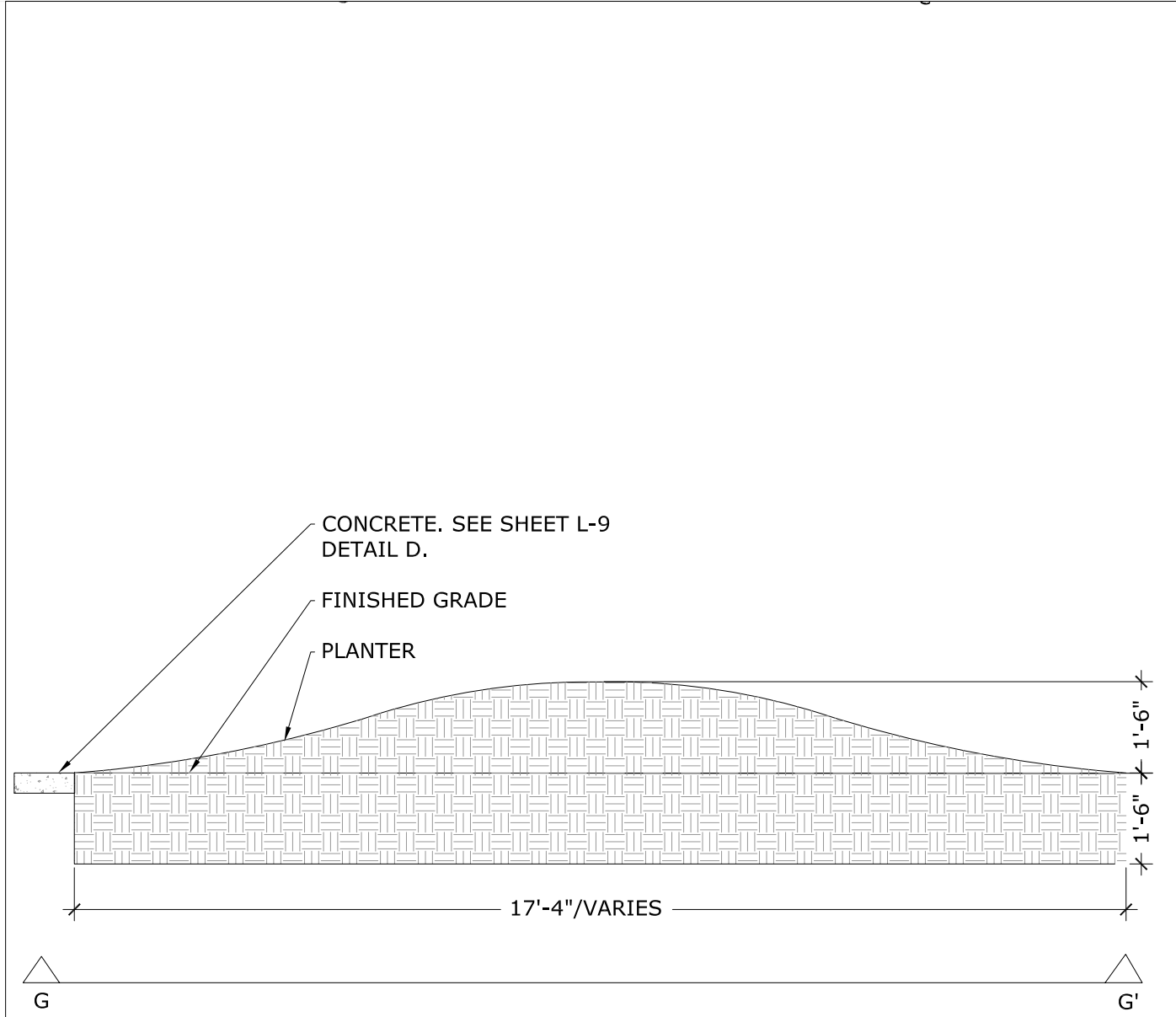
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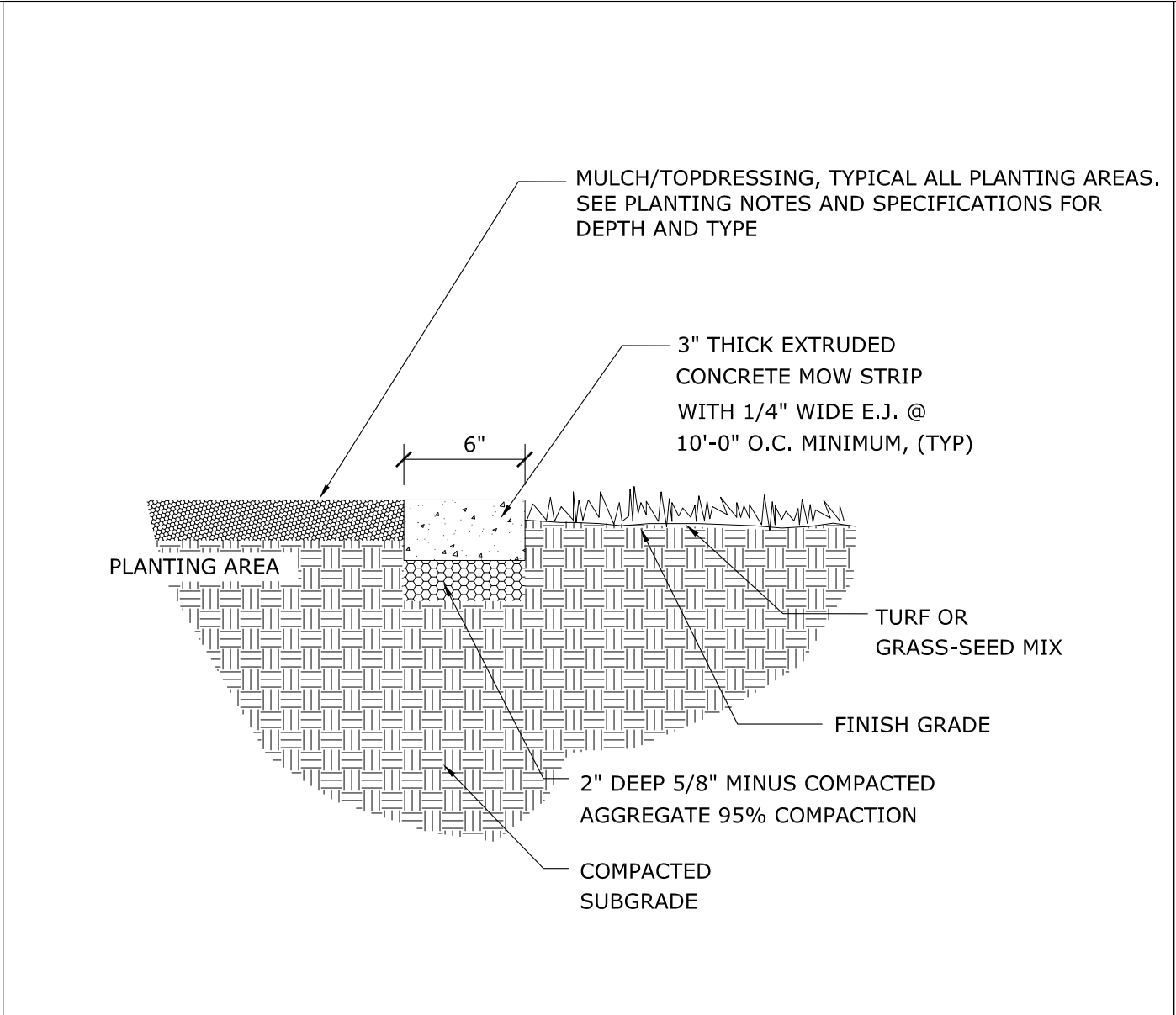
CITY OF SPOKANE, WASHINGTON  
DEPARTMENT OF ENGINEERING SERVICES  
808 WEST SPOKANE FALLS BLVD.  
SPOKANE, WASHINGTON 99201-3343  
(509) 625-6700

PROJECT NAME:	CSO 24 LANDSCAPE PLAN		TYPE OF IMPROVEMENT:	LANDSCAPE
SEGMENT LIMITS:			CITY PROJECT NUMBER	CITY PLAN NUMBER
PROJECT LIMITS:	CONSTRUCTION DETAILS		EFN:	

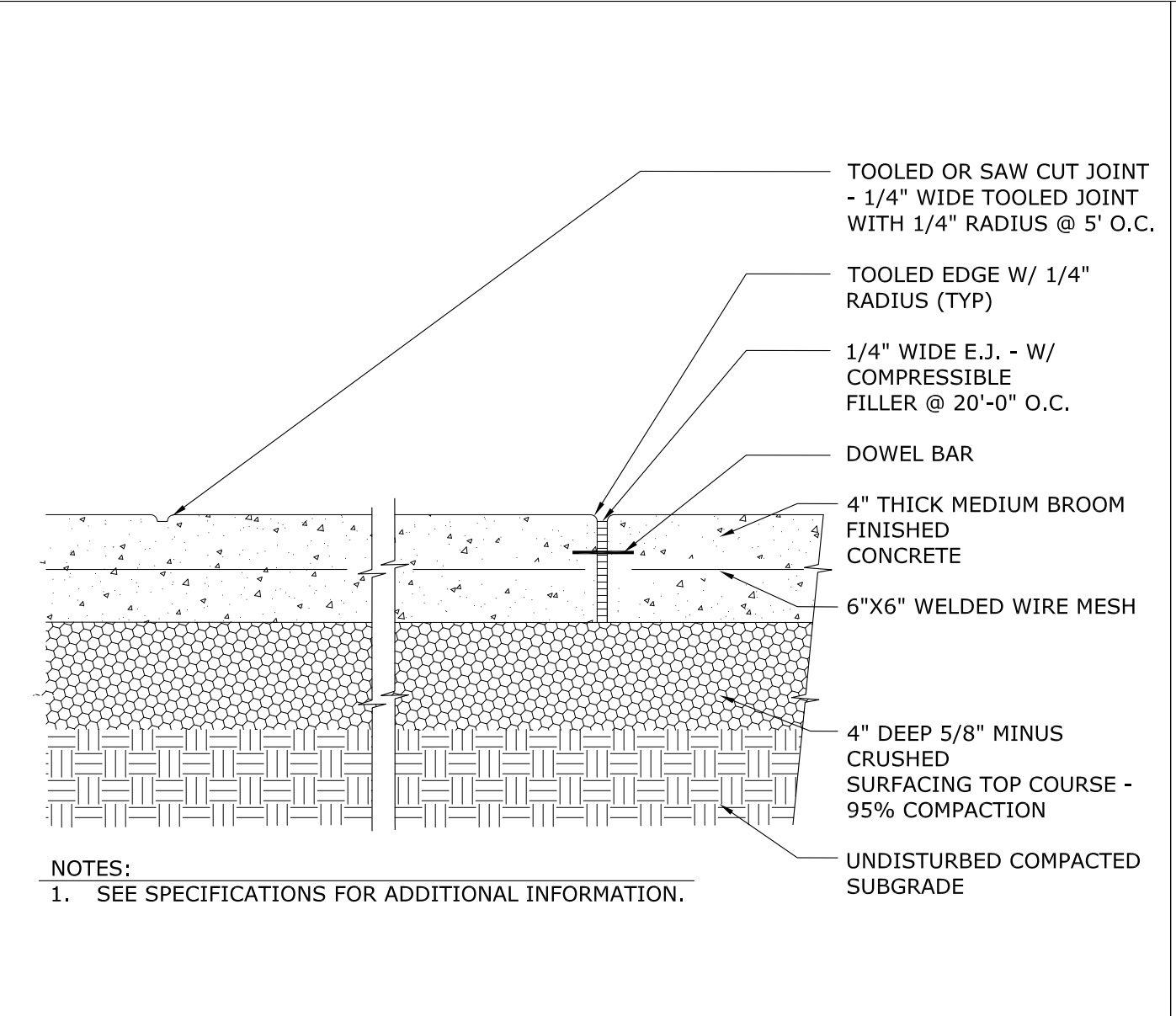
CALL BEFORE YOU DIG 1-800-424-5555



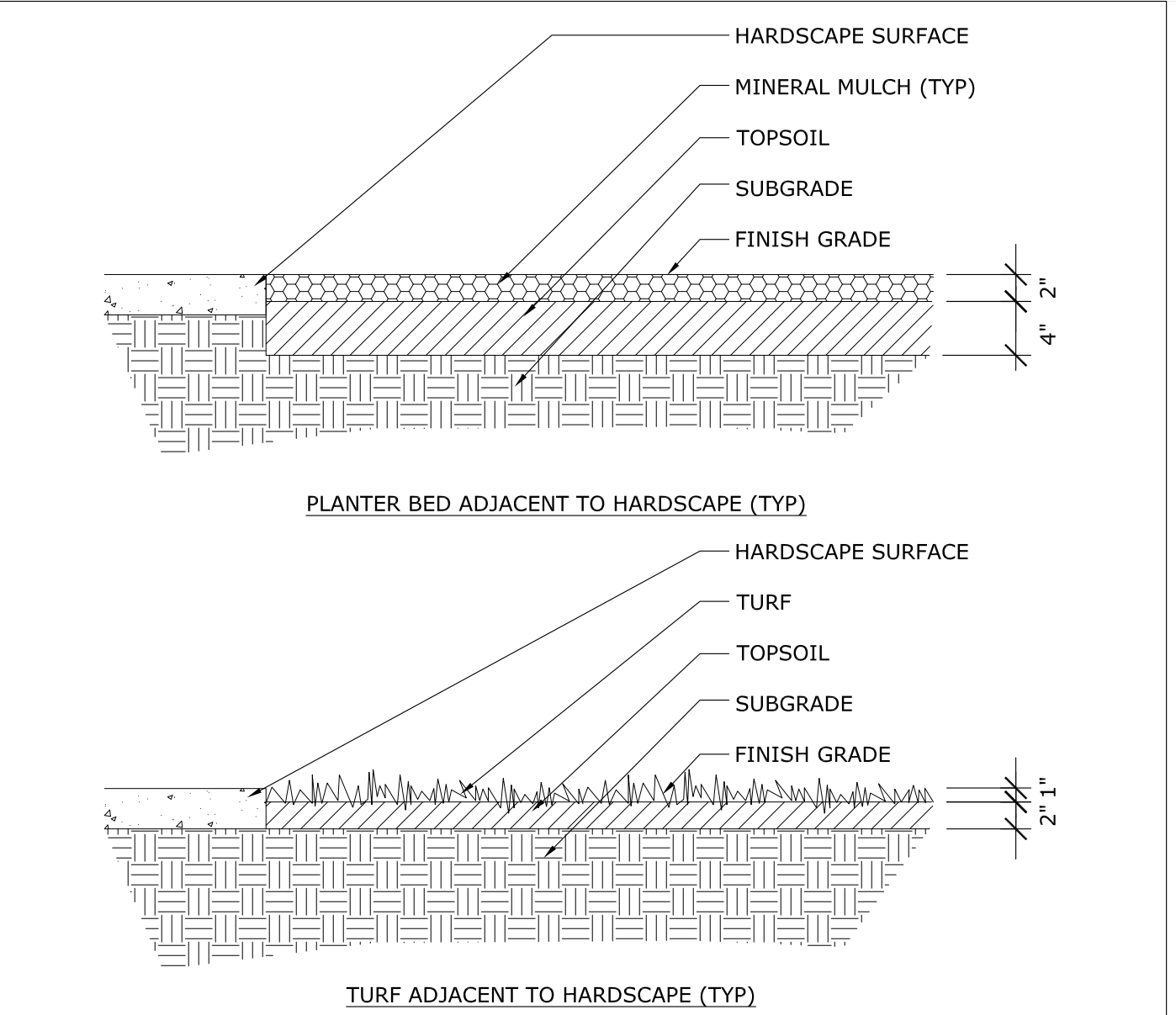
A G - G': SECTION THROUGH PLANTER  
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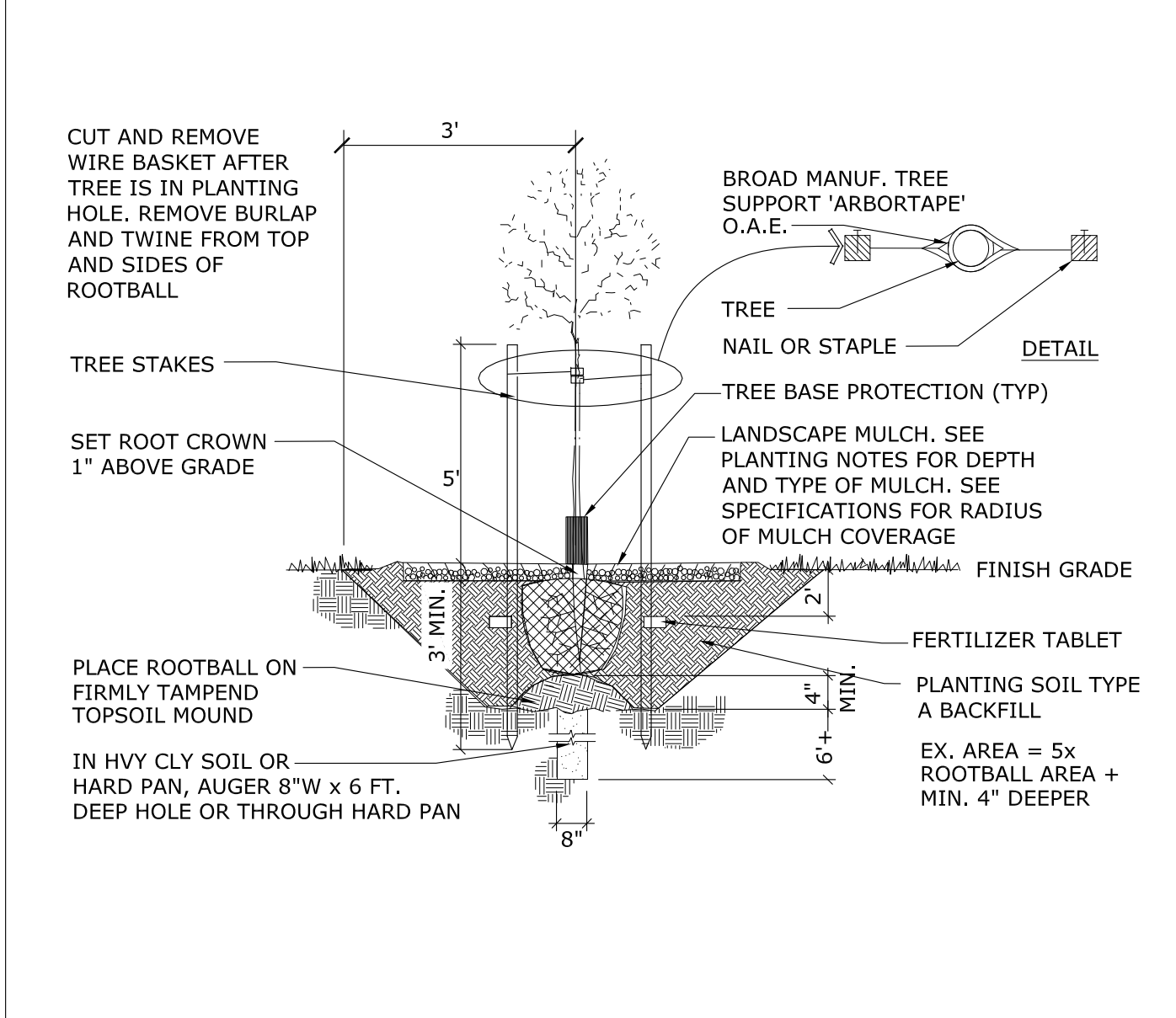
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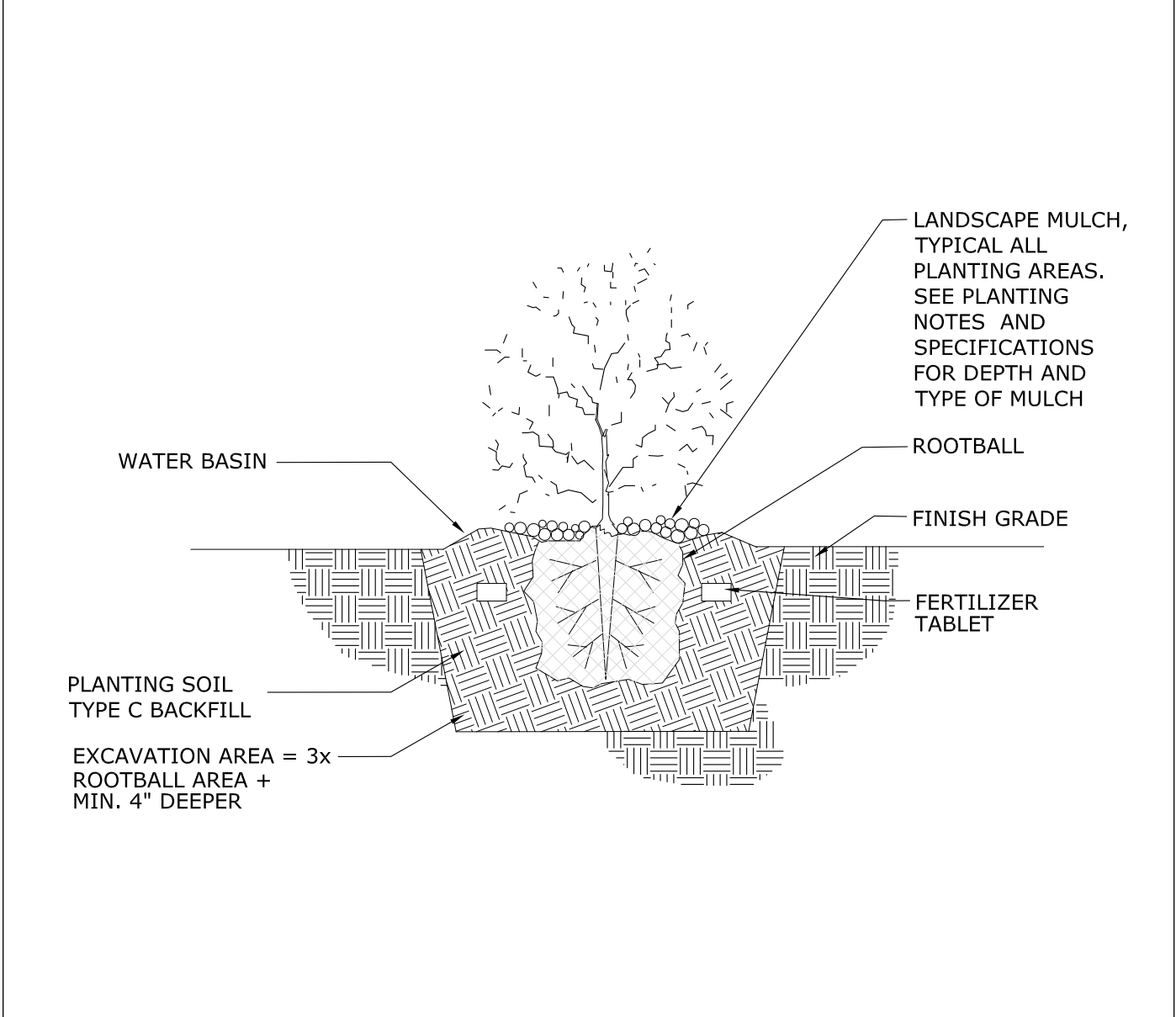
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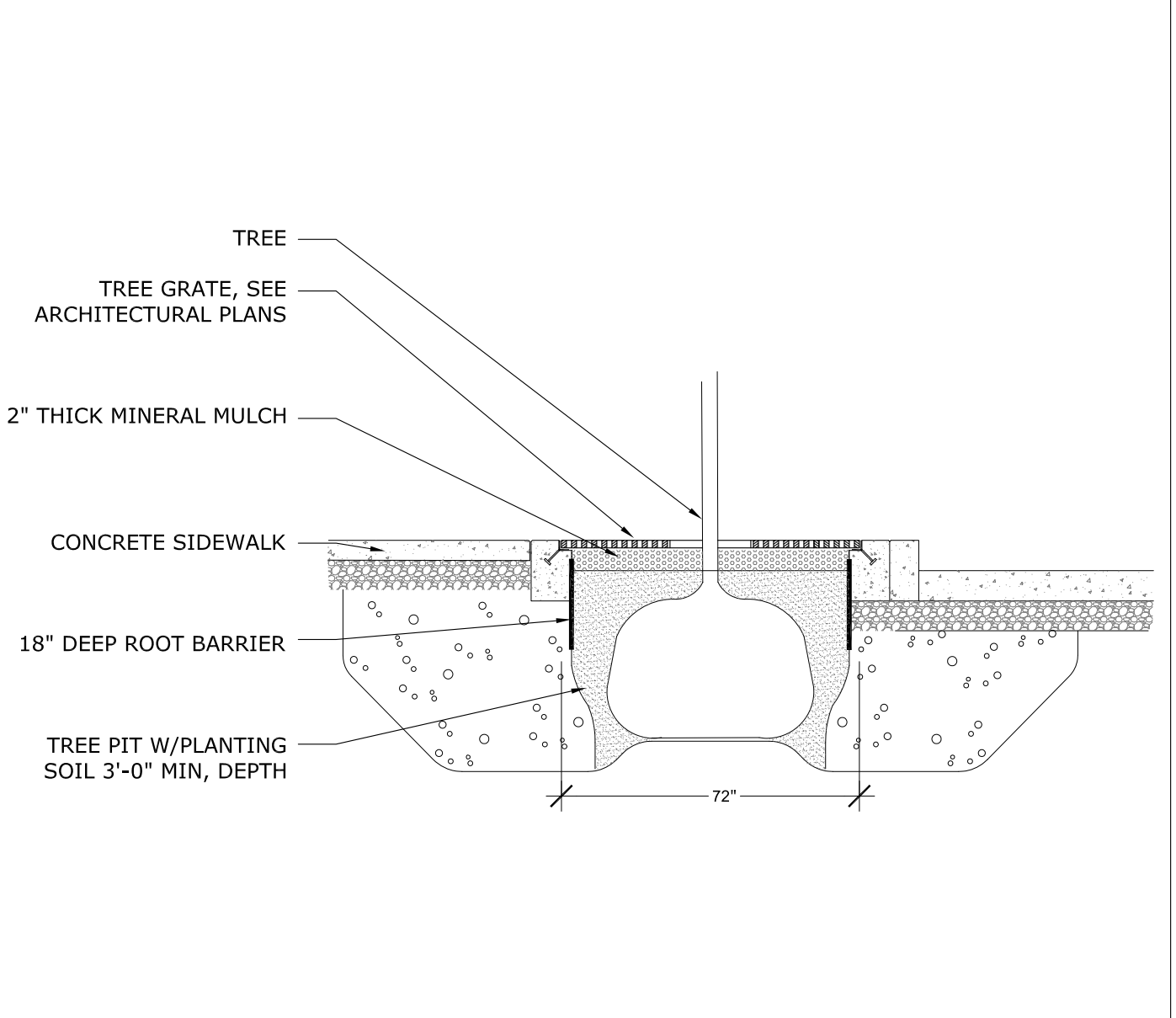
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E TREE PLANTING  
SCALE = NTS



F SHRUB PLANTING  
SCALE = NTS



G TREE PLANTING WITH GRATE (TYP.)  
SCALE: NTS



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L-9  
9 of 10

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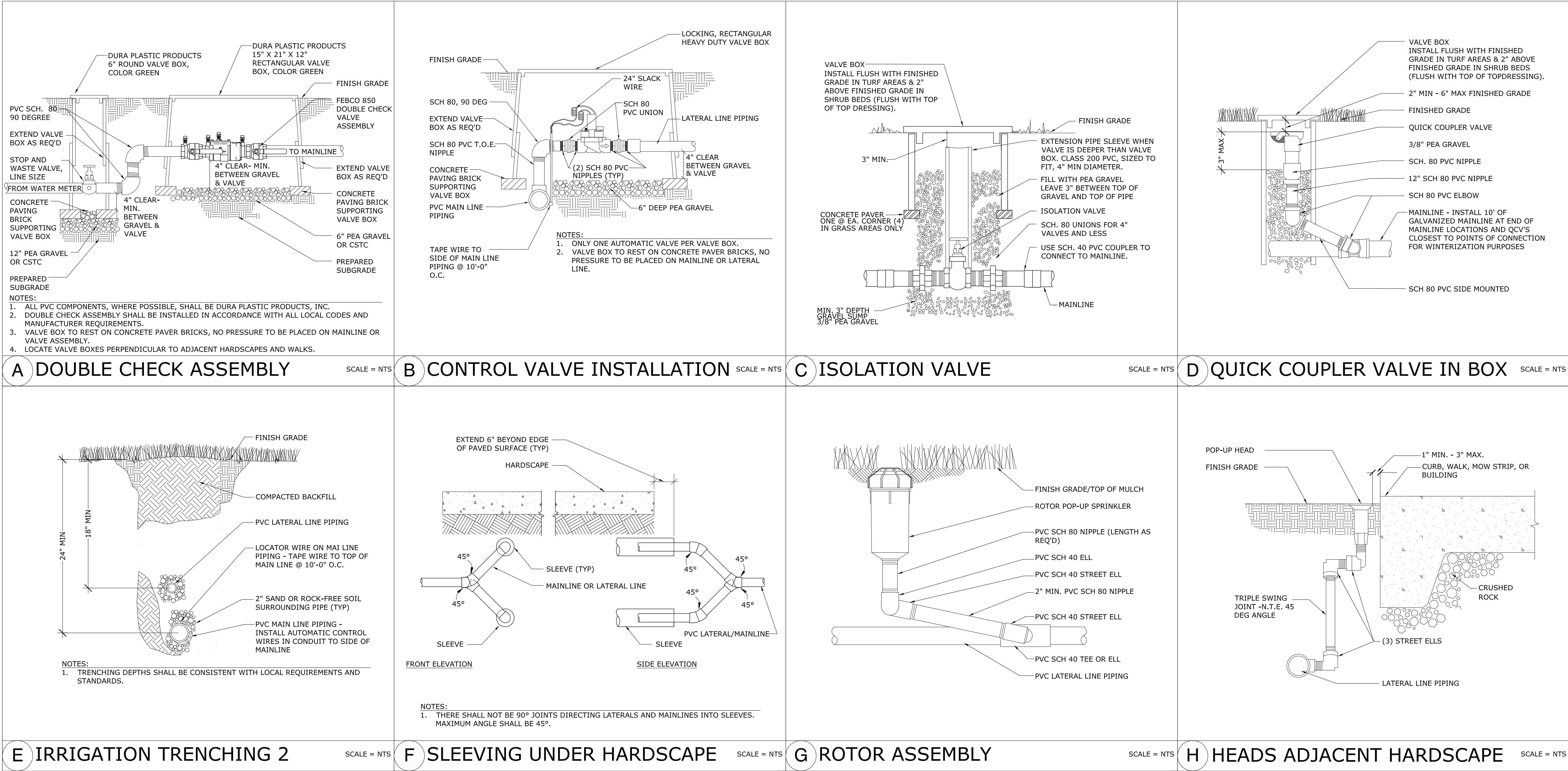
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BY	DATES
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APPROVED	



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DEPARTMENT OF ENGINEERING SERVICES  
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SPOKANE, WASHINGTON 99201-3343  
(509) 625-6700

PROJECT NAME: CSO 24 LANDSCAPE PLAN	
SEGMENT LIMITS:	
TYPE OF IMPROVEMENT: LANDSCAPE	
CITY PROJECT NUMBER	CITY PLAN NUMBER
CONSTRUCTION AND PLANTING DETAILS	
PROJECT LIMITS:	
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BENCH MARK LOCATION

NAVDB88 ELEV.

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IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

HORIZONTAL PLAN/PROFILE 1" = 10'  
VERTICAL PROFILE ONLY N/A  
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CURRENT C.O.S. DESIGN STANDARDS ADOPTED FEB. 2007

BY	DATES
DRAWN: SLH	06/2017
REVISED:	
CHECKED: MDT	06/2017
APPROVED:	



CITY OF SPOKANE, WASHINGTON  
DEPARTMENT OF ENGINEERING SERVICES

808 WEST SPOKANE FALLS BLVD.  
SPOKANE, WASHINGTON 99201-3343  
(509) 625-6700

PROJECT NAME: CSO 24 LANDSCAPE PLAN

SEGMENT LIMITS:

IRRIGATION DETAILS

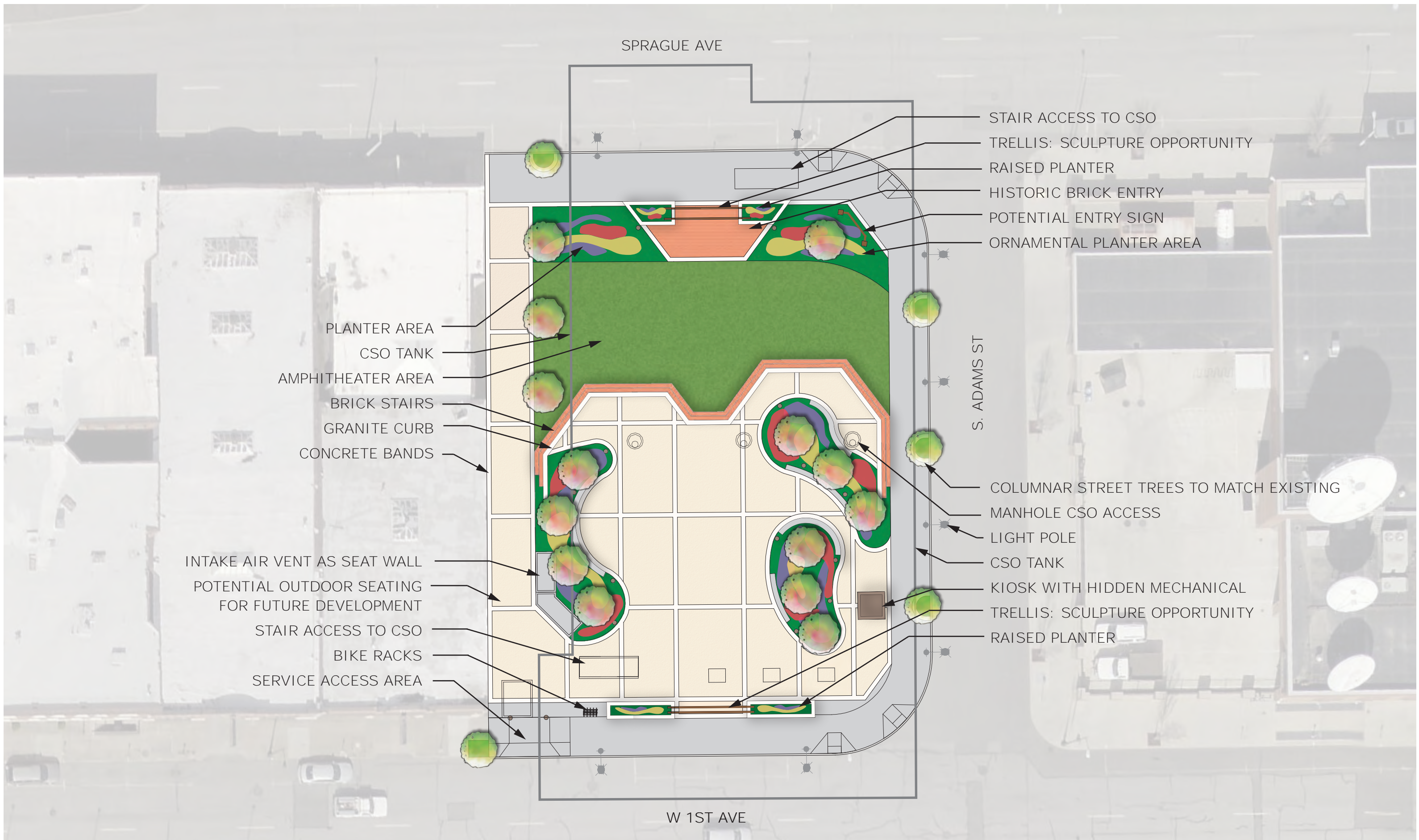
PROJECT LIMITS:

TYPE OF IMPROVEMENT: LANDSCAPE

CITY PROJECT NUMBER CITY PLAN NUMBER

EPN:

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## DRB Submittal - CSO 24

*Email response to staff questions received 06.09.2017 from Michael Terrell.*

Omar,

Please see my responses in red below.

On Fri, Jun 9, 2017 at 4:39 PM, Akkari, Omar <[oakkari@spokanecity.org](mailto:oakkari@spokanecity.org)> wrote:

Hi Michael,

Please provide us with a conceptual grading plan or at minimum, spot elevations. Also provide some further description of materials being used and please bring the applicable brick, granite, and concrete color samples to the Recommendation Meeting.

We will provide the grading plan shortly, the street profiles should be complete in the next week or so.

We will provide more specific information regarding materials, color, description at the meeting.

### Questions

1. In your Collaborative Workshop submittal you showed six trees along Adams and four along Sprague. Why in this submittal were street trees so greatly reduced in number on Sprague and Adams? The current proposal would not meet the street tree requirements.

The trees along Adams were reduced to provide conceptual spacing with street lighting. The street lighting design is not yet complete, when it is complete we'll re-evaluate the opportunity to add more trees along Adams.

The trees specified for Adams are columnar to minimize conflict with trucks accessing adjacent businesses.

The street trees were eliminated along 1st and Sprague due to shallow soils over the top of the tank and mechanical room. In addition, there are significant utilities supporting the the tank operations that need to be considered.

The Sprague Avenue sidewalk has utility access for maintenance that requires access by a 60,000 lb vactor truck. The truck will have to park on the sidewalk. The City Center line infrastructure is in development and our information is that there will not be room for the vactor truck at curbside.

Are there opportunities to increase the number of street trees or their size?

We will review and see if there are opportunities once the lighting design is completed.

Could the planting beds next to the two trellises be enlarged to accommodate street trees and to increase the planting depth (A similar strategy is proposed on CSO 26 next to City Hall.)?

We have looked at a number of alternatives and we are limited on 1st to the size of the planters by the requirements for large vehicle access on the north side of the planters and the sidewalk width requirement.

We are limited to small trees over the tank per the design of the tank. We will discuss alternatives with the engineers.

2. The Bowhall Maple is not on the city's approved street tree list. Please select all street tree species from the approved city street tree list. For further information about street tree selection, consult with the Urban Forester (Angel Spell).

Not my first choice, the tree was selected to match the trees on the other side of Adams. I would substitute the maples for Columnar Liriodendron's.

3. Are there opportunities to provide seating or picnic tables within the large triangle island? The Riverside Ave has several tables / seats within the boulevard islands to the east. If there were seating provided, the space would have some continuity with the rest of Riverside Ave and a street activating amenity.

Yes, we will work with parks on further refining the amenities in the triangle island.

4. Are the "white concrete bands" a different in color from the concrete used in other areas of the plaza? The poured in place concrete detail (L-9 Detail C) does not indicate any differences. Please describe all concrete colors and surface treatments being used.

The white concrete bands are currently designed to be light, natural concrete. The field is to be an integral color concrete that is still under discussion. We will provide a full palette of colors and materials at the recommendation meeting.

5. Have you considered using granite in other areas of the site? If granite was used more throughout the park it could strengthen the parks continuity, its historic character, and durability. Have you considered using granite to replacing the precast concrete caps use for the benches and kiosk.

We have considered granite for other locations and specifically on the benches. We are evaluating the budget and see if that is a possibility. As currently planned, the granite is recycled granite curb.

6. The stairs / landscape bed intersection (L-8 Detail E) seems awkward because this detail does not guide users to the useable park areas and the granite extends in to the beds quite far. Have you considered revising (inverting) this detail to have the further intrusion in to the beds at the base of the mound slope rather than higher up the mound? This change would "round off the edges" and guide users in to the park.

That intersection includes a transition between the stairs and the sloping sidewalk. The walk slopes from south to north along Adams with about a 1'-3" drop. We have incorporated the stairs/seating to provide

additional soil depth for planting and to create additional seating. The stairs extend into the bed to minimize the hazard of tripping on the decreasing riser. We'll clarify the detail with spot elevations.

Thanks,

Mike

# Design Review Board Program Updates

## Proposed Code Amendments

Design Review Board Special Meeting, June 13, 2017

### Introduction

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***Maintenance of the Design Review Board Program includes new member orientation, retreats or training, periodic review of the program, and adjustments as necessary to keep the process running smoothly. This summary includes recent actions and recommendations to update and maintain the program.***

### Background

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Since it was established in 1994, there have been several minor updates to the DRB process and more significant changes were made in conjunction with the Downtown Plan Update in 2008-2009. The current re-evaluation of the process is timely as staff is beginning to scope the next Downtown Plan Update. This project is anticipated to begin in late 2017-18 and presents an opportunity to further refine the DRB process. Over the past several years, increasing applications in conjunction with the reorganization of Planning Department staff into two separate departments indicate the need to re-evaluate several areas of concern including the following:

- **Capacity.** Increasing numbers of DRB applications, and limited board and staff capacity, could negatively affect the timeliness of permit applications. The number of permit applications has been steadily increasing over the past several years, and the timing of the applications is not always predictable or evenly distributed. It would be important to identify the projects that most benefit from the process, and eliminate others.
- **Focus.** The board is currently reviewing a wide range of diverse projects. Sharpening the focus and criteria used in reviews is likely to improve efficiency and effectiveness.
- **Criteria.** Design guidelines have not been adopted to assist the DRB with a productive review of all the various types of projects subject to review. Instead, staff researches potential supporting policy for inclusion in staff reports. Clear design criteria should be adopted for all projects subject to design review.
- **Staffing.** Appropriate staff roles and responsibilities need to be identified and standardized to avoid miscommunication and duplication of effort between Current Planning and Long Range Urban Design. *In 2009, a collaborative workshop prior to permit application was introduced. While this is an important step, it's created challenges for staff in terms of how to appropriately and consistently communicate code and permitting requirements. The 2013 staff reorganization further complicated the matter as Design Review is housed in Long Range Planning whereas permitting is handled by Current Planning staff in Business and Developer Services. To help address concerns, a team approach to design review that includes Current Planning and Urban Design was adopted during summer 2016.*

# Design Review Board Program Updates

## Proposed Code Amendments

Design Review Board Special Meeting, June 13, 2017

### Update Project Outline

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The project was divided into three general phases and is still in Phase I.

#### Phase I – Information Gathering and Outreach

*Informal outreach began in 2016 and a series of meetings were set up in early 2017 as follows:*

February 22, 2017 – DRB Special Meeting | Design Review Program Updates

March 8, 2017 – Planning Staff | All Public Projects

March 15, 2017 – Planning Staff | Non-Municipal Public Projects

March 23, 2017 – Planning Staff | Downtown Projects

March 28, 2017 – Interdepartmental Staff | Municipal Public Projects

April 12, 2017 – Downtown Spokane Partnership | Downtown Projects

Please see APPENDIX A – MEETING SUMMARIES.

#### Phase II – Develop Recommendations

*The “low hanging fruit” or adjustments to help focus and improve the process have been identified in this report. In addition to further review during the Downtown Plan Update, outreach is recommended to address topics including exemptions from design review and review of non-municipal public projects.*

#### Phase III – Adoption

### Recommendations

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**1. To address capacity, staff would recommend making minor amendments to 17G.040.020 Development Applications Subject to Design Review as part of the 2017 “code cleanup” process.**

Please see APPENDIX B – PROPOSED CODE UPDATES for additional information.

Staff is requesting the Design Review Board recommend in favor of making the amendments identified in Appendix B.

Similar revisions were previously discussed in 2012 and include the following:

**a. Remove shoreline conditional use permit applications.** However, departures from code design standards must still be forwarded to the Design Review Board.

*For the following reasons:*

There are adequate shoreline protections including the code design standards administered by staff, and there is no additional design criteria intended for use by the Design Review Board.

## Design Review Board Program Updates

### Proposed Code Amendments

Design Review Board Special Meeting, June 13, 2017

**b. Remove downtown façade modifications to existing buildings.** However, departures from code design standards must still be forwarded to the Design Review Board.

*For the following reasons:*

The vast majority of downtown façade renovations are reviewed “administratively” and a typical recommendation is that applicants work with Current Planning Staff to meet the code design standards. This is already standard procedure so design review appears to be an unnecessary step.

**2. Staff to convene an interdepartmental meeting and develop amendments to 17G.040.030 Projects Exempt from Design Review.** This topic was tabled during the 3/8/17 staff discussion on public projects to allow for a more focused discussion. Once revised language has been developed and reviewed with the Design Review Board, it could potentially be included as a “code cleanup” item.

**3. Continue the DRB Program Update Project in conjunction with the update of the Downtown Plan in late 2017-2018. Updates should address the following topics:**

**a. Municipal and non-municipal public projects outside downtown.** The general consensus to date is that municipal buildings should continue to be subject to design review. However, additional review is needed to determine whether non-municipal public projects such as those proposed by federal or state agencies, the county, and public schools should continue to be subject to design review.

Currently there are no adopted design guidelines for these projects. **Council adoption of the *Public Projects or Structures Guidelines, March 14, 2001* or other design guidelines for public structures should be a priority.**

**b. Skywalk applications over a public right-of-way.** Currently there are no design guidelines for these projects. If skywalk applications over a public right-of-way will continue to be reviewed, then **it should be a priority to develop and adopt design guidelines.** The *Downtown Skywalk Design Guidelines, December 1999* may be a useful reference.

**4. Staff to continue to nurture and build on the team approach adopted by Current Planning and Long Range Urban Design during the summer of 2016. In addition, Urban Design Staff will begin attending Integrated Capital Management monthly charter meetings.**

# **Design Review Board Program Updates**

## **Proposed Code Amendments**

Design Review Board Special Meeting, June 13, 2017

### **APPENDIX A – MEETING SUMMARIES**

#### **Meeting 1 Design Review Program Updates**

February 22, 2017 5:30pm to 7:30pm

#### **DESIGN REVIEW BOARD**

##### **Attendees:**

Austin Dickey, Chair

Steven Meek, Vice-Chair

Dave Buescher (part-time)

Anne Hanenburg

Kathy Lang

Ryan Leong

Ted Teske

Omar Akkari, Nathan Gwinn, Julie Neff, Lisa Key, City of Spokane Planning

##### **Staff Summary**

##### ***General Agreement***

1. Frustration when recommendations have not been followed.
2. Perceived lack of “teeth.” Even when the board makes a unanimous decision.
3. Acknowledgement that the recommendations themselves could be improved.
4. The political realities of a business friendly environment may undermine design review to support developers.
5. Observation that the current permitting system seems to value speed above other considerations.
6. Concern whether there’s political backing for design quality and this board? Are there instances when city leadership is willing to waive the board’s recommendations for certain developers or even city projects? Knowing where we have political support is important for knowing where to focus.
7. Recognition that there is value in continuing to push for higher design standards. Overall it’s going well and the board has a positive influence.
8. Shorelines could be removed. Beyond that however, there were varying perspectives on the approach. The three general categories are as follows:
  - a. Wherever public dollars are being spent.
  - b. Downtown because we have criteria. Possibly add Centers & Corridors.
  - c. No change. Broad focus with minor adjustments such as removing shorelines and downtown facades.
9. Staff to return with a recommendation following further outreach.

## Design Review Board Program Updates

### Proposed Code Amendments

Design Review Board Special Meeting, June 13, 2017

#### *Other comments*

1. Distrust (from some) that staff will properly enforce codes.
2. Many thought downtown should be major part of the scope. Reasons included because we have criteria, and downtown is important to most everyone.
3. The board should focus where our public dollars are being spent, as advocates for the community. Concern that even municipal projects do not value the DRB process or recommendations. Ex. Wall St., Riverside State Park Water Reclamation, etc. Comment that if the board is focused on municipal projects throughout the city, then design guidelines should be adopted by Council.

## Meeting 2 Design Review Program Updates | All Public Projects

March 8, 2017 10am-11am

### PLANNING STAFF

#### **Attendees:**

Lisa Key  
Nathan Gwinn  
Omar Akkari  
Melissa Owen  
Boris Borisov  
Teri Stripes  
Jacqui Halvorson  
Tirrell Black  
Tami Palmquist  
Julie Neff

**Staff Summary:** Discussion on exemptions from design review including options for formalizing the exemption process. It was agreed to table this topic and revisit it as a focus item. Agreement to continue the public project discussion on March 15 with a focus on non-municipal public projects.

A meeting with additional staff “clients” has been set for Tuesday, March 28 to discuss municipal projects.

# Design Review Board Program Updates

## Proposed Code Amendments

Design Review Board Special Meeting, June 13, 2017

### Meeting 3 Design Review Program Updates | Non-Municipal Public Projects

March 15, 2017 10am-11am

#### PLANNING STAFF

##### Attendees:

Lisa Key  
Nathan Gwinn  
Omar Akkari  
Andrew Worlock  
Teri Stripes  
Jacqui Halvorson  
Tami Palmquist  
Julie Neff

#### Staff Summary of Recommendations:

#### NON-MUNICIPAL PUBLIC PROJECTS

##### Institutional Facilities

Continue to exempt institutional facilities inside a campus and not facing a public street or right of way (exemption as currently written is ok). These projects are less impactful and there is no criteria beyond the code design standards. Leave design departure process in place.

##### K-12 Public Schools

Consider exempting from design review because there is no criteria beyond the code design standards Current Planning Staff administered. Leave design departure process in place.

Other ways to assess design quality may include an interdisciplinary staff design review committee. Include staff review of public input at community meetings (at staff review committee). Tighten code language (Tami will review for easy fixes).

##### Public Facilities District

-Most are downtown and include public outreach.

##### WSDOT

- There's value in reviewing these projects because it may be one of the few opportunities to evaluate how the proposal looks.
- These projects represent an extremely important impact and investment in the city, so a process is needed.
- However, the DRB recommendation goes to a city decision maker. When there is no city decision, there is no opportunity for follow through.
- Need to talk with Louis about how to engage with WSDOT. How to get into the process, how to ensure DSC has an opportunity to weigh in. Internal interdisciplinary design review committee?

## Design Review Board Program Updates

### Proposed Code Amendments

Design Review Board Special Meeting, June 13, 2017

#### Municipal Projects

Observation that many municipal projects do not include review by Current Planning, and sometimes do not meet code. Possibly consider a DRB or staff review committee process at the time of scoping rather than at the time of design because review at that time cannot fix budget constraints.

## Meeting 4 Design Review Program Updates | Downtown Projects

March 23, 2017 10am-11am

### PLANNING STAFF

#### Attendees:

Lisa Key  
Nathan Gwinn  
Omar Akkari  
Andrew Worlock  
Teri Stripes  
Melissa Owen  
Jacqui Halvorson  
Donna DeBit  
Julie Neff

#### Staff Summary

### DOWNTOWN PRIVATE AND PUBLIC PROJECTS

#### New Buildings

**Benefits** include that design review raises the expectations for design. Allows for a public discussion on contextual fit and ways to support the surrounding district.

**Follow-up** can be done by the Planning Department during permitting and certificate of occupancy.

**Recommendation:** *There is value in continuing design review of new buildings, especially for design departures.*

#### Façade Renovations

**Recommendation:** *Façade modifications may not merit the time needed for a design review process. Possibly staff review only as in most cases applicants are simply asked to meet code. There is value in maintaining a design review option for design departures.*

## Design Review Board Program Updates

### Proposed Code Amendments

Design Review Board Special Meeting, June 13, 2017

## Meeting 5 Design Review Program Updates | Municipal Public Projects

March 28, 2017 1pm to 2pm

### INTERDEPARTMENTAL CITY STAFF

#### Attendees:

Lisa Key, Planning  
Leroy Eadie, Parks and Recreation  
Garrett Jones, Parks and Recreation  
Kyle Twohig, Design Engineering  
Dan Buller, Design Engineering  
Marcia Davis, Integrated Capital Programs  
Melissa Owen, Planning  
Nathan Gwinn, Planning  
Omar Akkari, Planning  
Andrew Worlock, Planning  
Ali Brast, Current Planning  
Teri Stripes, Planning  
Jacqui Halvorson, Planning  
Julie Neff, Planning

### Municipal Projects – Staff Summary

#### A. BUILDINGS

##### *Discussion related to the question of benefits and effectiveness of Design Review*

- Municipal buildings are fairly rare and important occurrences so they should remain on the DRB scope
- The DRB helped Park buildings to have contextual identity to the Park and between buildings. Helpful to have consistent set of eyes to maintain cohesiveness.

##### *Preliminary recommendations*

- Continue to review public buildings, especially buildings intended for public use and interaction.

#### B. PUBLIC RIGHT-OF-WAY IMPROVEMENTS

##### *Discussion related to the question of benefits and effectiveness of Design Review*

- Administrative review has been very important and timely for streets projects. The board does not have the same ability to make quick responses, or the dialog and depth that's available with a staff review.
- The board process creates challenges in terms of material preparation and delays waiting for feedback.

## **Design Review Board Program Updates**

### **Proposed Code Amendments**

Design Review Board Special Meeting, June 13, 2017

- The DRB schedule doesn't work well for these projects because the surface design is happening late in the process, and by the time the DRB sees the project it is set and has had neighborhood public input.
- The DRB process begins after the charters for Public Right-of-Way Improvements are developed, and is not integrated with other separate public outreach processes.

#### ***Preliminary recommendations***

- Update the review procedures
  - Continue with internal staff reviews, and consider establishing/formalizing an internal review committee rather than board process. Begin early at the scoping stage with ICM.
  - Make provisions to allow exceptions for projects that may merit design review.

## **C. STORMWATER FACILITIES**

### ***Discussion related to the question of benefits and effectiveness of Design Review***

- CSO tanks are almost completed. Two or three projects left. The designers are fairly constrained on these projects.
- Administrative review, or staff review is helpful.
- It's not clear whether there's been adequate briefing to inform discussion with regard to the initial and ongoing costs of board recommendations. Earlier involvement may be helpful. On-going maintenance is a critical concern.
- Political realities weigh heavily on sensitive / contentious projects and tend to diminish the recommendations of the DRB.
- There are currently high levels of public outreach to surrounding neighbors and "demand for public engagement is going up."
- The DRB process begins after the charters for stormwater facilities are developed, and is not integrated with other separate public outreach processes.

#### ***Preliminary recommendations***

- The process needs further review.
  - Look at establishing an internal staff review process rather than board process to address compliance with adopted criteria.
  - Make provisions to allow exceptions for projects that may merit design review.

## **D. PARKS**

### ***Discussion related to the question of benefits and effectiveness of Design Review***

- Great value added for parks projects. Park buildings benefit from oversight as the Parks Department does not have any architecture professionals on staff. The DRB helps fill this role in

## **Design Review Board Program Updates**

### **Proposed Code Amendments**

Design Review Board Special Meeting, June 13, 2017

maintaining consistency of built elements or building design throughout a park. The aquatic center recommendations were helpful.

- Parks now has LA's on staff with greater expertise to help guide other park projects and there is typically public outreach to adjacent neighbors so design review is less needed except for buildings.
- The exemptions are not broad enough to prevent smaller projects from triggering design review so need more refinement. Struggle with when and what types of projects should come to the DRB.
- Increased grant funding requires more public meetings.

#### ***Preliminary recommendations***

- The Parks Dept. does not have the staff expertise to review buildings and would suggest buildings continue to be subject to design review.
- The process for other park projects needs further review.
  - Administrative review is most appropriate for typical projects (except?) high value / complete remodel projects.
  - Exemptions need to be further explored and formalized.

## **Design Review Board Program Updates**

### **Proposed Code Amendments**

Design Review Board Special Meeting, June 13, 2017

#### **Meeting 6**

#### **Design Review Program Updates | Design Review of Downtown Projects**

Wednesday, April 12, 2017, 10am to 11am

### **DOWNTOWN SPOKANE PARTNERSHIP**

#### **Attendees:**

Mark Dailey, Integrus Architecture

Jeff Warner, ALSC Architecture

Mark Richard, Juliet Sinisterra, Andrew Rowles, Downtown Spokane Partnership

Lisa Key, Julie Neff, Omar Akkari, City of Spokane

#### **Meeting Summary**

##### **Benefits of a Design Review Board**

- Codifying good design is difficult.
- The Design Review Board process is helpful when there's a desire or need for a design departure.
- The Design Review Board helps raise the bar for design quality throughout the downtown and aids in buffering against development patterns that might negatively affect the neighborhood's character.
- Design Review Board provides a valuable function in reviewing public projects.

##### **Board Scope and Process**

- Supportive of review of public projects especially those within the downtown.
- Could consider requiring design review only for departures. But, it is possible to meet standards and still have a poorly designed, ugly project.
- Encouraging innovation is good for the downtown.
- It may be possible to remove façade renovations from the DRB's purview unless a departure from code standards is requested.

##### **Design Standards**

- Tightening the standards so there's a higher bar for design in the downtown may be something to consider, in conjunction with a staff design review process that would broaden review beyond one planner. Continue to allow flexibility from code through the DRB process.
- Properties with more than one street facing frontage have much more difficulty meeting glazing requirements. Glazing standards should be reviewed to seek out more equitable standards for these types of projects. Energy code seems at odds with glazing requirements.

## **Design Review Board Program Updates**

### **Proposed Code Amendments**

Design Review Board Special Meeting, June 13, 2017

#### **Board Composition**

- The board should be made up of accomplished, experienced design professionals so there's credibility and teeth.
- The board composition may need more work.
- It's important that DRB members clearly understand their role and focus.

#### **General Observations**

- Portland seems to have a good review process. It may be worth researching how they've achieved results such as the Pearl District.
- There may be a cultural expectation for design in Portland and Seattle that hasn't developed yet in Spokane.
- Politics sometimes seems to override discussions about design, including those in the DRB process.
- Desire for design standard updates to be linked with Downtown Plan Update.

## Proposed Code Updates

June 13, 2017



To: Lisa Key, Planning Director

**Design Review Board**

Austin Dickey, DRB Chair

Julie Neff, DRB Secretary

Planning & Development

808 W. Spokane Falls Blvd.

Spokane, WA 99201

### The Design Review Board recommends

#### Title 04 Administrative Agencies and Procedures

##### Chapter 04.13 Design Review Board

##### Section 04.13.015 Design Review Board

**Purpose.**

The design review board is hereby established to:

- A. improve communication and participation among developers, neighbors, and the City early in the design and siting of new development subject to design review under the Spokane Municipal Code;
- B. ensure that projects subject to design review under the Spokane Municipal Code are consistent with adopted design guidelines and help implement the City's comprehensive plan;
- C. advocate for the aesthetic quality of Spokane's public realm;
- D. encourage design and site planning that responds to context, enhances pedestrian characteristics, considers sustainable design practices, and helps make Spokane a desirable place to live, work, and visit;
- E. provide flexibility in the application of development standards as allowed through development standard departures; and

F. ensure that public facilities and projects within the City's right-of-way serve as models of design quality.

~~F.~~: ~~wisely allocate the City's resources,~~

- ~~1. serve as models of design quality.~~

Date Passed: Monday, December 14, 2009

Ordinance C34527 Section 3

Section 04.13.020 REPEALED (Authority)

## **Chapter 17G.040 Design Review Board Administration and Procedures**

### **Section 17G.040.020 Development and Applications Subject to Design Review**

Development Applications Subject to Design Review.

The board shall review the design elements of the following developments and/or project permit applications:

- A. All public projects or structures.
- ~~B. Shoreline conditional use permit applications.~~
- C. Skywalk applications over a public right-of-way.
- D. Projects seeking a design departure per [chapter 17G.030 SMC](#), Design Departures, [SMC 17G.030.030](#), Review Process.
- E. Within downtown zones:
  - 1. Within the central area identified on the [Downtown Design Review Threshold Map 17G.040-M1](#):
    - a. New buildings and structures greater than twenty-five thousand square feet.
    - b. Modification of more than twenty-five percent (at minimum three hundred square feet) of a building façade visible from an adjacent street.
  - 2. Within the perimeter area identified on the [Downtown Design Review Threshold Map 17G.040-M1](#):
    - a. New buildings and structures greater than fifty thousand square feet.
    - b. Modification of more than twenty-five percent (at minimum three hundred square feet) of a building façade visible from an adjacent street.
  - 3. Within the gateway areas identified on the [Downtown Design Review Threshold Map 17G.040-M1](#):
    - a. All new buildings and structures.
    - b. Modification of more than twenty-five percent (at minimum three hundred square feet) of a building façade fronting on a designated gateway street or within one hundred feet of an intersection with a gateway street.
  - 4. Sidewalk encroachment by private use.
- F. Within Centers & Corridors zones, application for Design Departures from the Design Standards and Guidelines for Centers and Corridors. (not applicable in 2012)
- G. Any other development proposal or planning study about which the ~~plan commission, planning director, or hearing examiner~~ **approving authority** requests to have the board's advice pertaining to any design elements.
- ~~H. Other developments or projects listed within the Unified Development Code that require design review.~~

Date Passed: Monday, July 20, 2015

Effective Date: Wednesday, September 2, 2015

ORD C35280 Section

### **Section 17G.040.040 Design Review Criteria**

Design Review Criteria.

The board shall base its review, report, and/or recommendation on the following criteria:

- A. The requirements, guidelines, and applicable provisions of [Title 17 SMC](#) that apply to the property in question including ~~all additional zoning development~~ regulations which may apply to the use or to its area by provision for overlay district, or made applicable by any conditional use or variance approval.
- B. A summary of the design guidelines adopted by the City is found in the Design Review Application Handbook on file in the planning department.

Date Passed: Monday, December 14, 2009

Effective Date: Saturday, January 16, 2010

**Section 17G.040.050 Design Review Process**

A. Design Review Process.

The design review process is found in the Design Review Application Handbook. The planning director is responsible for maintaining **and amending** the Design Review Application Handbook and design review process. Changes to the Design Review Application Handbook and design review process must be approved by the design review board and adopted as official City administrative policy.

B. Design Review Board Operating Rules.

The board shall adopt rules of procedure for the conduct of its duties and shall provide in such rules for the time and place for holding regular board meetings.

Date Passed: Monday, December 14, 2009

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Ordinance C34526 Section 1

**Section 17G.040.060 Design Review Board Meetings**

Design Review Board Meetings.

The board meets twice a month ~~if necessary to respond to development applications unless there is no agenda~~. The meetings are open to the public.

Date Passed: Monday, December 14, 2009

Effective Date: Saturday, January 16, 2010

Ordinance C34526 Section 1

**Section 17G.040.080 Design Review Board Recommendations**

Recommendations.

Recommendations of the board are made according to the design review criteria adopted by the city council. In no case may the recommendations of the board contain design solutions contrary to other applicable provisions of this title. The design review criteria reflect the policies of the comprehensive plan.

- A. The functions of the board shall be advisory. ~~The board makes recommendations on matters in which the hearing examiner, planning director, city council, building official, or city engineer is the action approving authority.~~
- B. The board makes recommendations to the ~~responsible City official~~ approving authority on all ~~other~~ matters for which design review is required.
- C. The board's recommendation shall be recorded in writing and available within seven days of the board's recommendation meeting.
- D. The action approving authority shall consider the board's recommendation, provided that, if there is a unanimous recommendation to the action approving authority, the action approving authority shall issue a decision that makes compliance with the board's recommendation a condition of permit approval, unless the action approving authority concludes that the recommendation:
  - 1. reflects inconsistent application of the design criteria; or
  - 2. exceeds the authority of the board; or

3. conflicts with SEPA conditions or other regulatory requirements applicable to the site; or
4. conflicts with the requirements of state or federal law.

Date Passed: Monday, December 14, 2009  
Ordinance C34526 Section 1

#### **Section 17G.040.100 Expiration of Application**

Expiration of Design Review Application.

~~Design Review Applications will expire upon expiration of the project permit application. Applications which have been certified complete for either a design review collaborative workshop or an administrative design review process as set forth in chapter 17G.040 SMC shall have one year to complete the design review process. After one year the application expires by limitation and becomes null and void. The director may grant one extension of up to one hundred eighty days if the application has been pursued in good faith, the request is in writing, and justifiable cause demonstrated.~~

Date Passed: Monday, December 14, 2009  
Ordinance C34526 Section 1

Austin Dickey, Chair, Design Review Board

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## Proposed Code Updates

June 13, 2017



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